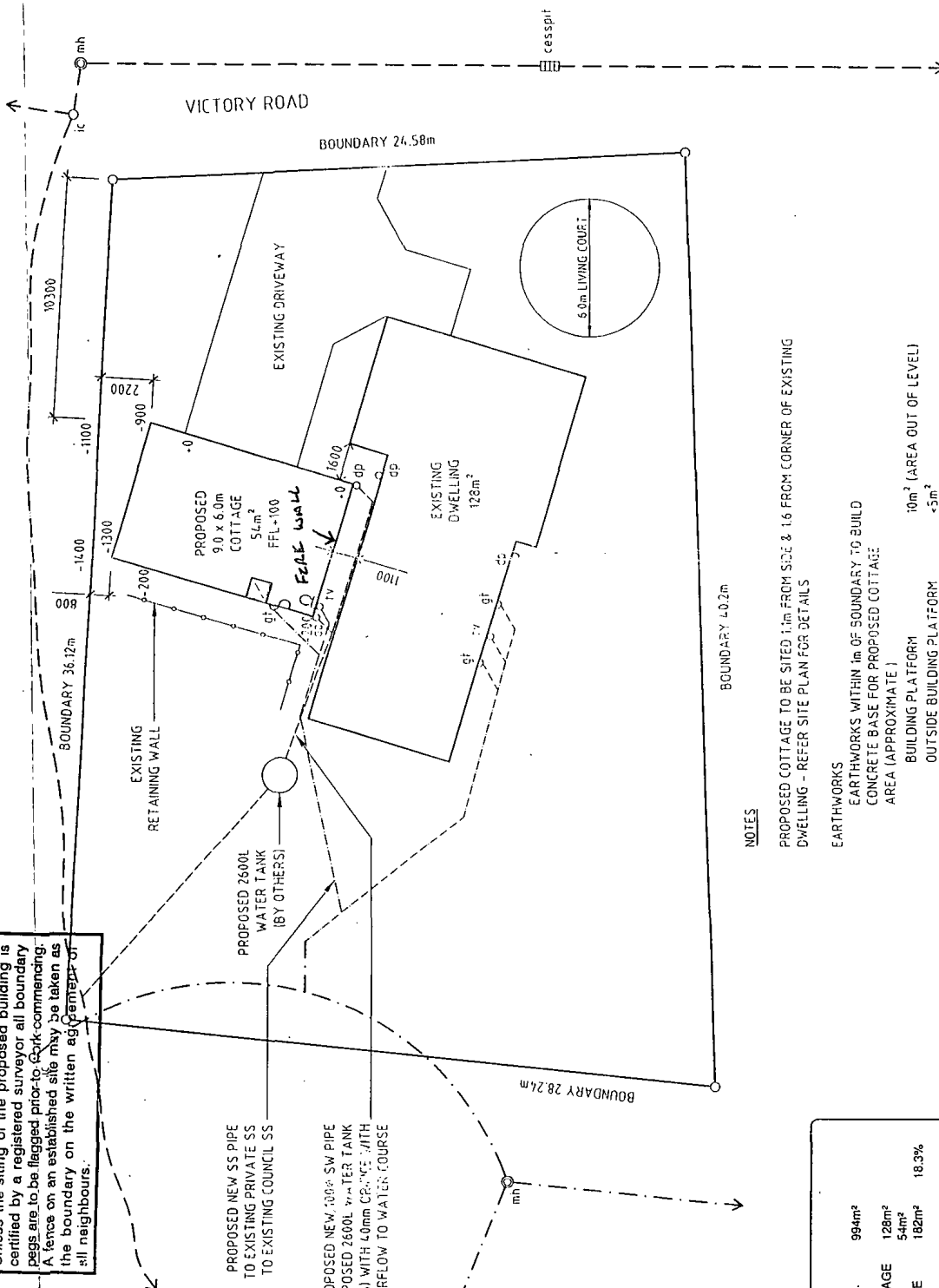
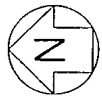


CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED

IMPORTANT NOTICE
 All Building consent documents must be kept on site during construction.
 Unless the siting of the proposed building is certified by a registered surveyor all boundary pegs are to be flagged prior to work commencing.
 A fence on an established site may be taken as the boundary on the written agreement of all neighbours.

PROPOSED NEW SS PIPE TO EXISTING PRIVATE SS TO EXISTING COUNCIL SS

PROPOSED NEW 100mm SW PIPE TO PROPOSED 2600L WATER TANK (BY OTHERS) WITH OVERFLOW TO WATER COURSE



17/4/07

PLANS AND SPECIFICATIONS APPROVED
SUBJECT TO CONDITIONS ENDORSED ON BUILDING CONSENT
 SIGNED: *[Signature]* DATE: *18 Nov*
 AUTHORISED OFFICER

LEGEND

---	EXISTING COUNCIL SW
---	EXISTING PRIVATE SW
---	EXISTING PRIVATE SS
○	MANHOLE
○	DOWNPIPE
D	GRASS
○	GULLY TRAP
○	TERMINAL VENT

Notes: Construction to comply with NZS 7604 (1999) and the New Zealand Building Code 1992
 WINDOW SIZES INDICATE ROUGH OPENING

SCALE: 1:200
 DATE: 18/03/2004
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 FILE: [Name]

NOTES

PROPOSED COTTAGE TO BE SITED 1.1m FROM SIDE & 1.6 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS

EARTHWORKS

EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE AREA (APPROXIMATE)

BUILDING PLATFORM

OUTSIDE BUILDING PLATFORM 10m² (AREA OUT OF LEVEL)

BUILDING PLATFORM (APPROXIMATE - BASED ON LEVELS) 45m²

BUILDING PLATFORM 6m²

OUTSIDE BUILDING PLATFORM 41m²

SECTION 220(2)(b)
 LOT 644
 DP 35446
 CT NAT1069/48

TOWN PLANNING

SITE AREA	994m ²
EXISTING BUILDING COVERAGE	128m ²
PROPOSED BUILDING COVERAGE	54m ²
TOTAL BUILDING COVERAGE	182m ²
IMPERMEABLE SURFACES (DRIVEWAY, BUILDINGS, DECKS)	282m ²
PERMEABLE AREA	712m ²
	71.6%

PROJECT TITLE
K HITCHENS
31 VICTORY ROAD, LAINGHOLM

DATE: 18/03/2004

SITE PLAN

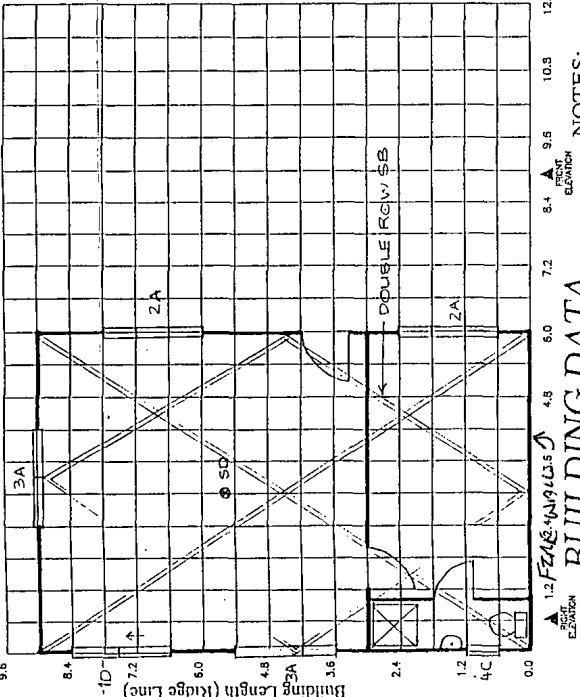
VERSATILE BUILDINGS

HEAD OFFICE:
 112 WATERLOO ROAD
 PH: (03) 348-9704
 FAX: (03) 348-9093

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

FLOOR PLAN

Building Width (Gable)



BUILDING DATA

Length	9.0m	Width	6.0m	Area	54.0m ²
STUD HEIGHT	2.1m	2.4m	2.7m	3.0m	
CLADDING	Versatiled	Superclad	<input checked="" type="checkbox"/>	Other	
WIND ZONE	Low	Med	<input checked="" type="checkbox"/>	High	<input checked="" type="checkbox"/>
FLOOR	Concrete	Timber	<input type="checkbox"/>	Other	
ROOF PITCH	15°	20°	<input checked="" type="checkbox"/>	25°	other

NOTES:
 Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000. Copyright. These drawings must not be reproduced without express permission of Versatile Buildings Ltd.

GENERAL:
 All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Ltd/Maker Producer Statement for Design, dated July 2002, VB2000 Series.

FOUNDATIONS:
 Concrete floor shall be 200mpa, 100mm thick. Footing as detailed.

WALL FRAMING:
 All timber shall be machine graded and treated to T.P.A. specification H1.2 or C.F. MCP 10 framing. Studs shall be spaced centres at 600 crs and into plates, Lay Superclad D1.0, under all plates. Refer to Producer Statement VB2000 Series for details of wall framing. Fix hardware in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING:
 Purlins shall be 90mm x 45mm on edge at 1500 max crs fixed to G-irongrail 15 degree trusses. Fix purlins, nusses and ridge braces as detailed in Producer Statement VB2000, Sheets 14 & 15. For raking ceiling (skillion roof) refer VB2000 page 13.

SIDE ENTRY OPENING LINTELS:
 LVL beams stepspan as per Producer Statement VB2000 Sheet 4, Fixing details VB2000 Sheet 9

ROOFING:
 Shall be steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet (uv) flashing.

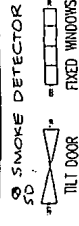
WALL CLADDING:
 Fix in accordance with NZ 3604 & as wall bracing fixing specification

ROOF BRACING:
 For all buildings fix timber/rod not plane strap bracing in accordance VB2000 Producer Statement, Sheet 17. For 2.7 & 3.0m stud, refer VB2000 Sheet 8

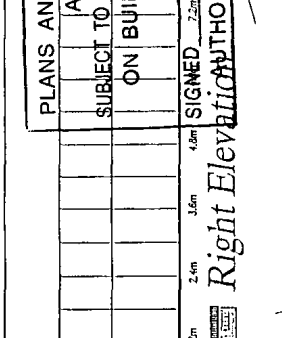
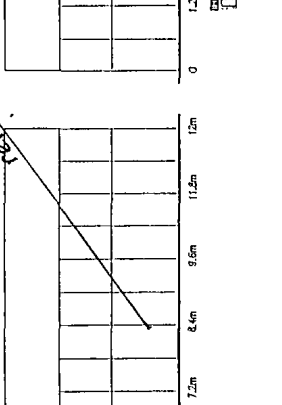
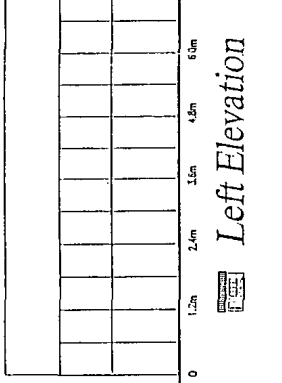
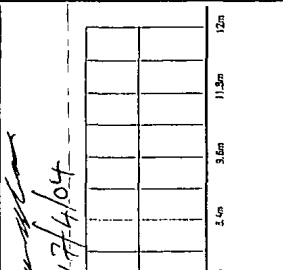
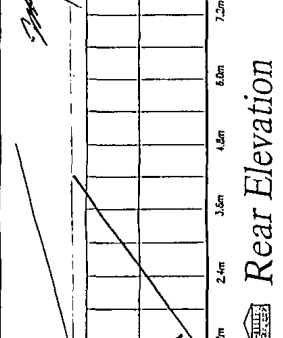
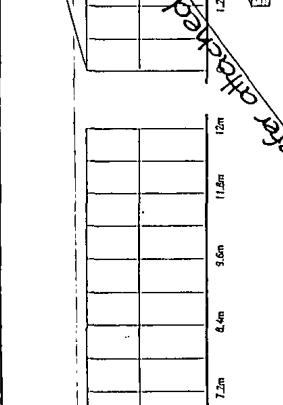
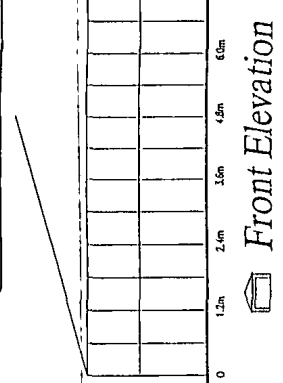
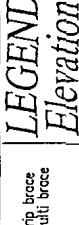
WALL BRACING:
 Fix Bracing per VB2000 Sheet 17, Bracing Panel locations and fixing refer: Wall Bracing: 600 Series, Feb 04 Ver 1.4

SPECIFICATIONS

LEGEND Plan



LEGEND Elevation



PLANS AND SPECIFICATIONS APPROVED SUBJECT TO CONDITIONS ENDORSED ON BUILDING CONSENT 10 NOV 2004 SIGNED DATE: 11.11.04 AUTHORIZED OFFICER

VERSATILE BUILDINGS

Proposed Garage For: **K HITCHENS**
 31 Victory Road, Laingholm

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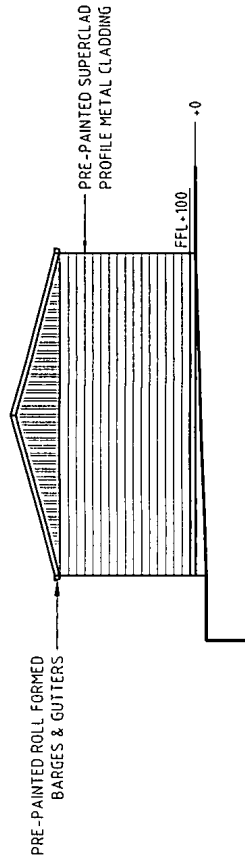
Construction Details, 600 Series
VERSATILE BUILDING

GARAGE SECTION LINED ROOM SKILLION CEILING OPTION LINED ROOM FLAT CEILING

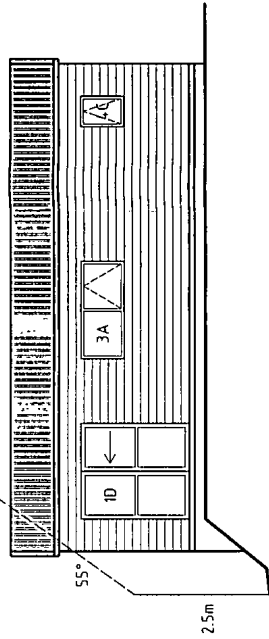
SCALE: 1:100 DATE: Feb 04 SHEET: 1
 DRAWN BY: V.B. Ltd FILE: VG-136A

HEAD OFFICE: 112 WATERLOO ROAD PH: (03) 346-8704 FAX: (03) 346-9033

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED



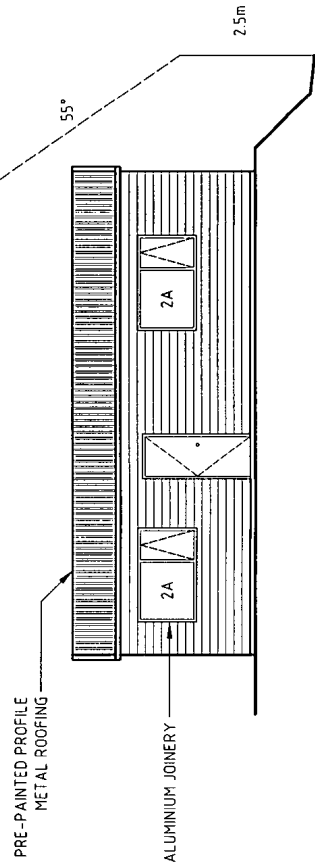
① FRONT ELEVATION



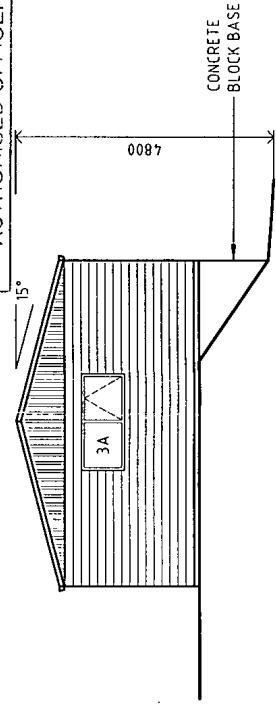
② SIDE ELEVATION

PLANS AND SPECIFICATIONS APPROVED SUBJECT TO CONDITIONS ENDORSED ON BUILDING CONSENT

SIGNED: *[Signature]* DATE: *18/03/2004*
 AUTHORIZED OFFICER



③ SIDE ELEVATION



④ REAR ELEVATION



HEAD OFFICE:
 112 WATERLOO ROAD
 PH: (03) 348-8704
 FAX: (03) 348-9083

PROJECT TITLE
K HITCHENS
 31 VICTORY ROAD, LAINGHOLM

DRAWING TITLE
ELEVATIONS

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 1992 WINDOW SIZES INDICATE ROUGH OPENING

SCALE: 1:100
 DATE: 18/03/2004
 DRAWN: VERSATILE
 SHEET: OF:

ATTN COLIN Y G THURS

Dainty Alderton & Associates

CONSULTING ENGINEERS

387 Great North Road, P.O. Box 21 424, Henderson, Auckland 1231

Telephone 09-835 1747 Fax 09-835 1847

Unit 1, 100 Bush Road, P.O. Box 300-191, Albany

Telephone 09-414 1650 Fax 09-414 1556

Proposed Sleepout

at

31 Victory Road,

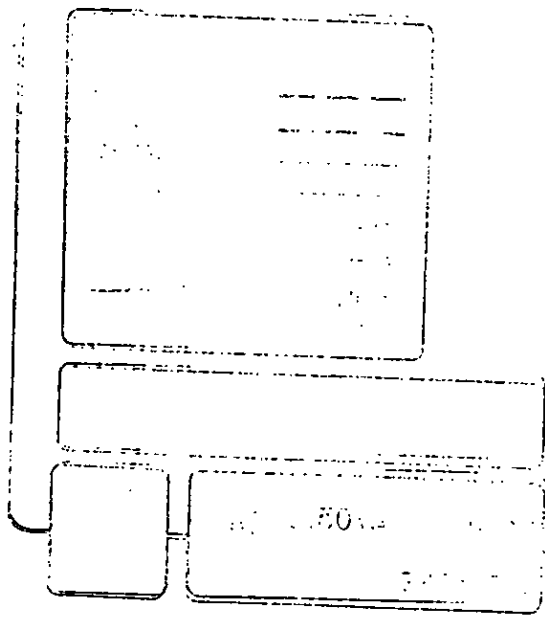
Laingholm

for

Mr and Mrs Hitchens

CALCULATIONS

H418



SITE PLAN

Dainty Alderton

CONSULTING ENGINEERS

West Auckland: 387 Gt North Rd, P.O. Box 21-424, Henderson
Ph: 835-1747 Fax: 835-1847 Email: info@daintyalderton.co.nz

JOB TITLE: Hitchens

PAGE:

ADDRESS: 31 Victory Rd, Laingholm

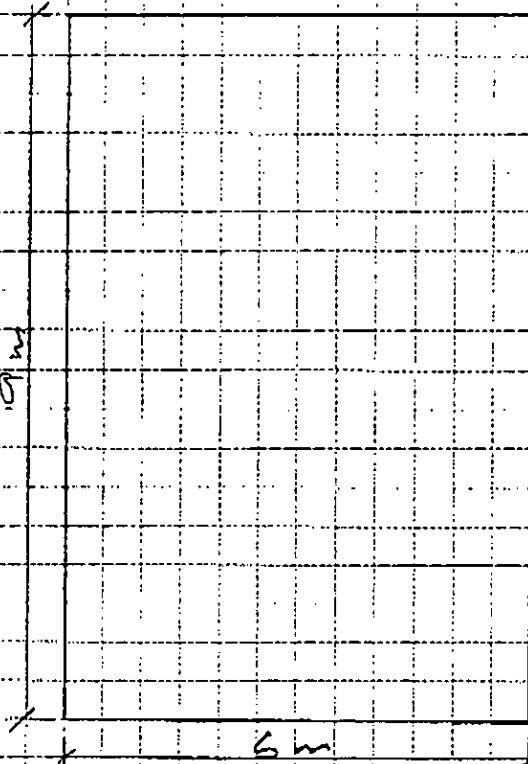
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JOB No: H418

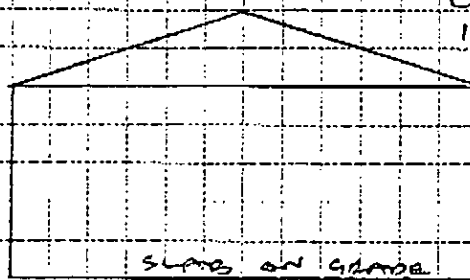
DATE: 28/1/04

BY: BK

PROPOSED SLAB-POUT



PLAN



ELEVATION

Dainty Alderton

CONSULTING ENGINEERS

West Auckland: 397 Gt North Rd, P.O. Box 21-424, Henderson
 Ph: 835-1747 Fax: 835-1847 Email: info@daintyalderon.co.nz

JOB TITLE: Hitchens

PAGE: 1

ADDRESS: 31 Victory Rd, Loingholm

FOR:

JOB NO: H418

DATE: 28/1/04

BY: BK

SLABS

DEAD LOADS - $1.2 \times 24 \times 0.1 = 2.9 \text{ kPa}$

U - $1.6 \times 1.5 = 2.4 \text{ kPa}$

USE 100 mm THICK SLAB
 GG5 MASS

FOOTINGS

LOADS

UPL

G

S

ROOF - $0.35 \times \left(\frac{6}{2} + 0.5\right) \times 1.1 = 1.4 \text{ kN/m}$ 0.9 kN/m

WALL - $0.5 \times 2.4 = 1.2 \text{ kN/m}$ -

FLOOR - $24 \times 0.1 \times 1 = 2.4 \text{ kN/m}$ 1.5 kN/m

BRICKWORK - $20 \times 0.2 \times 0.6 = 2.4 \text{ kN/m}$ -

FOOTING - $24 \times 0.3 \times 0.3 = 2.2 \text{ kN/m}$ -

9.6 kN/m 2.4 kN/m

ULTIMATE LOADS:

$1.2G + 1.6S = 1.2 \times 9.6 + 1.6 \times 2.4 = 15.36 \text{ kN/m}$

$1.4G = 1.4 \times 9.6 = 13.44 \text{ kN/m}$

∴ LOAD ON FOOTING = 15.36 kN/m

Dainty Alderton

CONSULTING ENGINEERS

West Auckland: 387 Gl North Rd, P.O. Box 21-424, Henderson
Ph: 835-1747 Fax: 835-1847 Email: info@daintyalderon.co.nz

JOB TITLE: Hitchens

PAGE: 2

ADDRESS: 31 Victory Rd, Laingholm

FOR:

JOB No: H418

DATE: 28/1/04

BY: BK

FOOTING DESIGN

FROM SOIL REPORT:

BEARING CAPACITY = 90 kPa - DRIVEN PILE
ULTIMATE

FOOTING AREA:

STEEL FOOTING
LOAD = 15.36 kN/m

WIDTH REQD: $\frac{15.36}{90 \times 1} = 0.171 \text{ m}$

USE 300 WIDE STEEL
FOOTING,
R - D12, R6 - 150

FOUNDAION DATA

MIN 650 BELOW FINAL GL
OR
MIN 300 INTO STIFF NATURAL
SOIL - BUT NOT MORE THAN
600 mm.

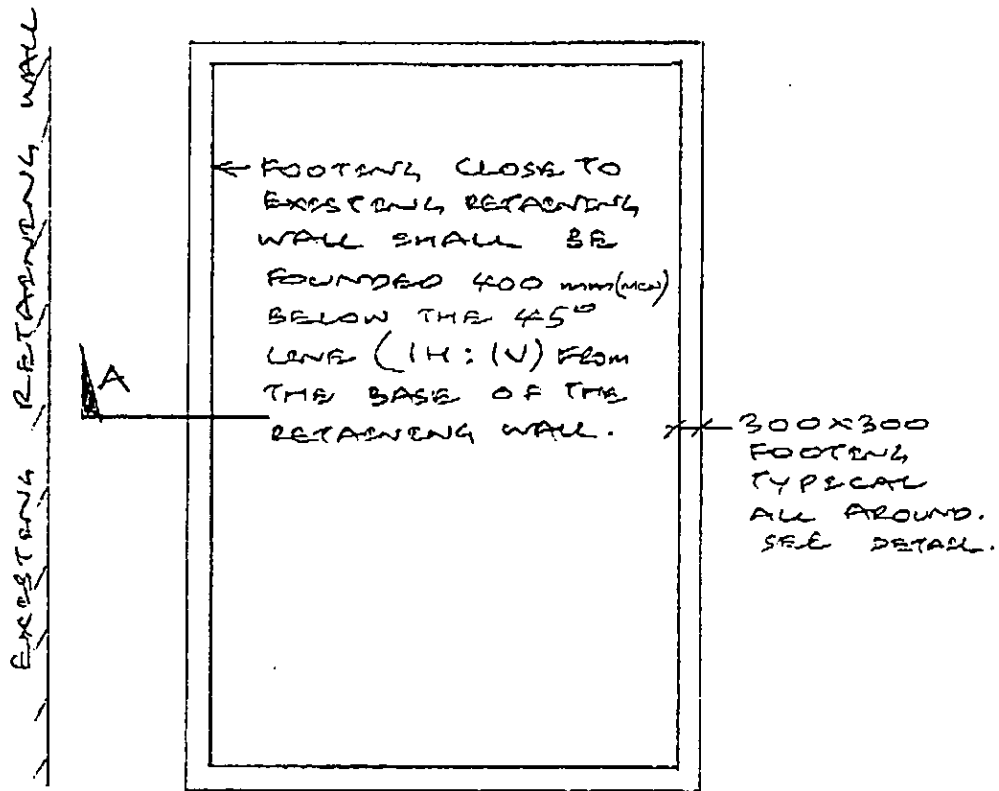
Dainty Alderton

CONSULTING ENGINEERS

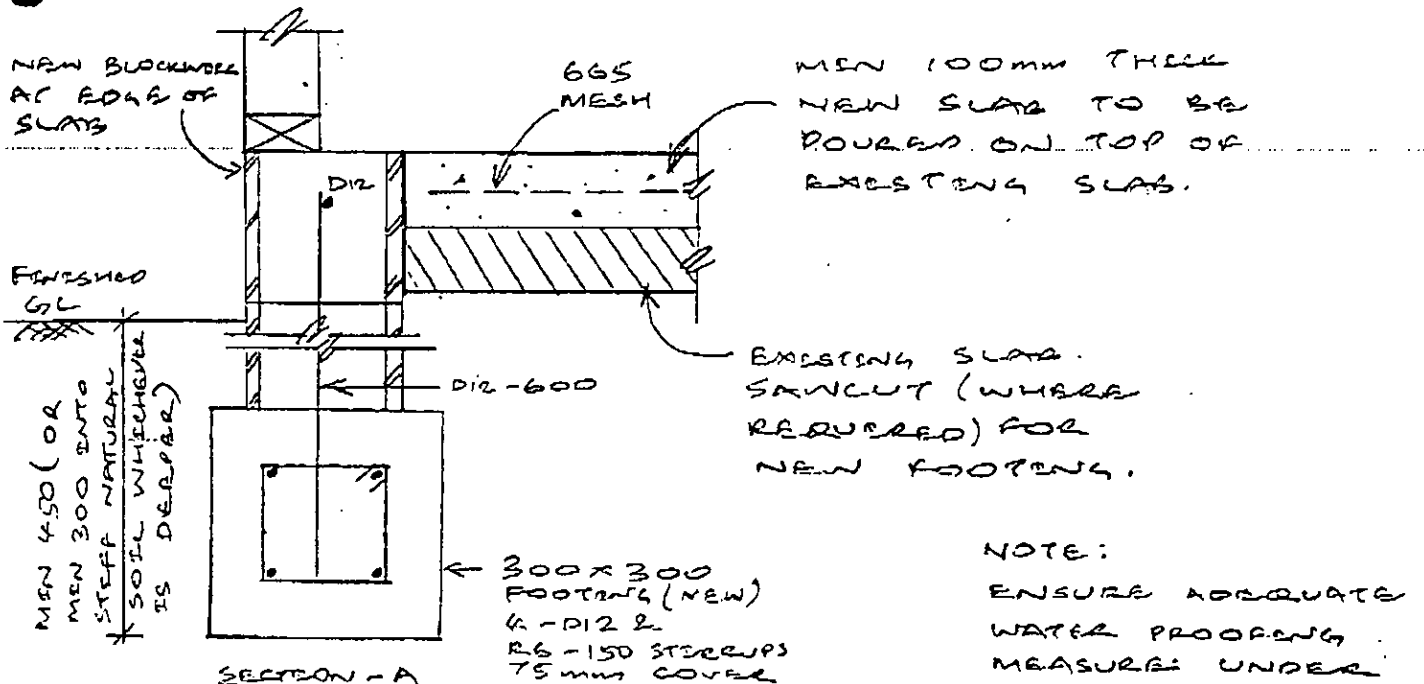
West Auckland, 367 Gt North Rd, P.O. Box 21-424, Henderson
 Ph: 835-1747 Fax: 835-1947 Email: info@daintyalderton.co.nz

JOB TITLE	Hitchens	PAGE	3
ADDRESS	31 Victory Rd, Laingholm		
FOR:			
JOB No:	H418	DATE:	28/1/04
BY:	BK		

NOTE:
 ADVISE SOIL ENGINEER
 TO INSPECT ALL FOUNDATION
 EXCAVATIONS.



PLAN



SECTION - A

NOTE: FOOTINGS SHALL NOT BE FOUNDED DEEPER THAN 600mm IN NATURAL SOIL.

NOTE:
 ENSURE ADEQUATE
 WATER PROOFING
 MEASURED UNDER
 NEW SLAB.



**Dainty Alderton
Consulting Engineers**

387 Great North Road, P.O. Box 21-424, Henderson
Ph. 835-1747, Fax. 835-1847

Cnr Bush Rd & Rosedale Rd, P.O. Box 300-191, Albany
Ph. 414-1650, Fax. 414-1556

Hitchens

4

31 Victory Road, Laingholm

H418

28/01/04

BK

General Notes

1. All foundation and pads shall be min depth 450 and founded onto firm non-organic original ground.
2. When hardfill under slab is in excess of 600mm, it will be necessary for a geotechnical engineer to investigate the underlying soils and the compaction of hardfill.
3. Construction details have been provided as a guide but may need to be altered to suit site conditions. Advise engineer.



Designed by:

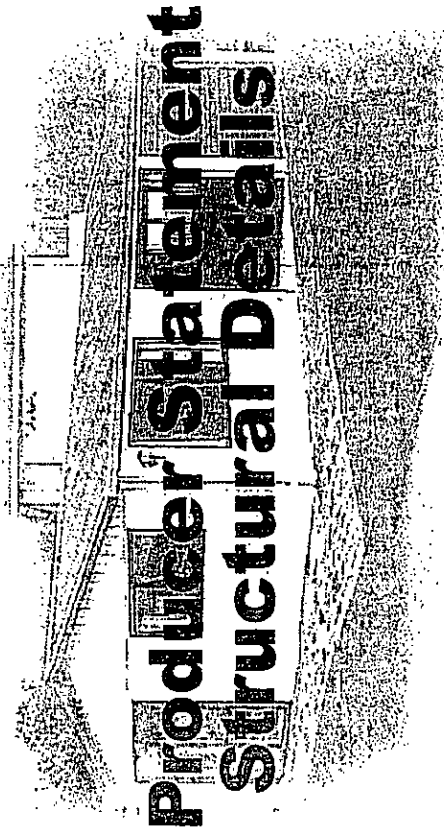
Mi™ **MiTek** New Zealand Ltd.

PO Box 3887

Riccarton, CHRISTCHURCH

www.mitek.nz.co.nz

HOME OF GANG-NAIL® BUILDING SYSTEMS



Notes

Copyright: These drawings must not be reproduced without express permission from Mitek NZ Ltd and Versatile Buildings Ltd.

BRANZ Note: Copies of Bracing Test Report for wall cladding, Test number STR346, available for inspection from Versatile Buildings Ltd, 112 Waterloo Road, Christchurch.

Building Classification: Buildings designed for Class 4 & 5 Category as defined in NZS4203:1992 Table 2.3.1

Patent: 'Flexi-Brace' subject to Patent Application No: 504428 Mitek NZ Ltd

Steel 'Stud Saver' subject to Registered Patent No's 330803 & 314494.

Index

Index	Cover Page
Page 1	Producer Statement: MiTek NZ Ltd- Design
Page 2	Producer Statement: Versatile Buildings/BHP - Durability
VB2000-3	Detail Index
VB2000-4	Floor slab/bolting & Size Tables/Charts
VB2000-5	Hardware Fixing Details
VB2000-6	1000 Series Wall Bracing Studs (1000mm stud centers)
VB2000-7	600 Series Wall Bracing Studs (600mm stud centers)
VB2000-8	Roof & Wall Bracing (3.0m Stud)
VB2000-9	Fire-Wall Details
VB2000-10	Ply-bracing (Type of Floor and rear opening)
VB2000-11	Partially wall bracing
VB2000-12	Internal lining details
VB2000-13	Bracing Wall Brace (end wall brace) details
VB2000-14	Truss details 2.4m to 2.8m span
VB2000-15	Truss details 3.2m to 10.2m span
VB2000-16	Roof bracing (600 & 1000 series)
VB2000-17	Garaport / Verandah & Deck details
VB2000-18	Alternative Truss Stiffener Detail

CONVENTIONS:

"600 series" refers to buildings with studs at 600mm centers.

"1000 series" refers to buildings with studs at 1000mm centers.

VB20000 SERIES

February 2004 Version 1.4

VB Ltd



MiTek New Zealand Ltd.

Correspondence from: CHRISTCHURCH
20 Kotzikas Place, Sockburn
PO Box 8387, Riccarton
Phone: (03) 348 8691
Fax: (03) 348 0314

AUCKLAND
5 Zelanian Drive, East Tamaki
PO Box 58-014, Greenmount
Phone: (09) 274 7109
Fax: (09) 274 7100

HOME OF GANG-NAIL® BUILDING SYSTEMS

www.mitek.nz.co.nz

PRODUCER STATEMENT - DESIGN MiTek New Zealand Ltd.

VB 2000 MiTek DESIGN

The building design VB 2000 sheets VB2000/3 through to VB2000/18 has been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000
I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

Stephen Anthony COLL

A.E. IPENZ, MNZIOB

for MiTek New Zealand Ltd
20 Kotzikas Place
CHRISTCHURCH
NEW ZEALAND

Date: 3 February, 2004



BHP New Zealand Steel



MAKING BUILDINGS EASY

VERSATILE BUILDINGS LTD

PRODUCER STATEMENT – DURABILITY

The building designs VB2000 have been designed using the external metal cladding on the walls to assist in their structural stability. To satisfy the requirements of Clause B2: "Durability" of the proposed NZBC Nov.2004 and to ensure the cladding material meets a 50-year durability life the following provisions must apply:

Range of Product and Use

- Specification: AS1397: 1994
- Coating Type: Zinalume & G2z
- Steel thickness range: 0.35mm – 0.95mm BMT
- Steel grade range: G300 – G550
- Application: Standard Versatile Walls on Class IV & V Building category as per NZS4203: 1992
- Fasteners: Heavy Zinc or Zinc-tin coated clouts to comply with AS3566 Classes 3 & 4.
Aluminium rivets for all BHP Cladding products.

Requirements, Limitations and Exclusions

- Applicable to buildings in Coastal Very Severe, Coastal Severe, Coastal Moderate and Inland Moderate environments as described in BHP New Zealand Steel Environment Categories Sept 2003.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Fixing Guide VB2000
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance

- **Moderate Coastal**
Rain washing only required on exposed sections, sheltered or protected areas require washing every 3 months for areas 1000m from breaking surf or immediate vicinity of calm salt water such as estuaries.
- **Severe and Very Severe Environment**
Rain-washing only required on exposed areas. Sheltered and protected areas require washing down every month and whenever corrosive salts are present.

Extended Maintenance, Painting or Repainting

- **Extended Durability**
Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufactures recommendations are to be followed for surface preparation and paint type to be used.
- **Evident Corrosion**
Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required. Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.
If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

References

1. BHP New Zealand Steel
"Environmental Categories" Sept 2003
2. Versatile Buildings Assembly Instructions
3. New Zealand Building Code 1992

Brett Waterfield

for Versatile Buildings Ltd
112 Waterloo Road
Christchurch

NEW ZEALAND

Gary Bonniface

for BHP New Zealand Steel
Private Bag 92121
Auckland

NEW ZEALAND

Dated: 1st Feb 2004

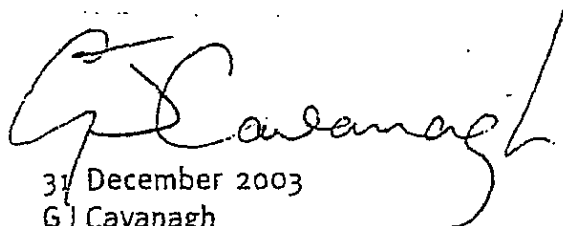
Producer Statement – Manufacture
Versatile Buildings Ltd

This is to certify that 90x35 Laserframe MGP Timber Framing produced by Carter Holt Harvey and supplied to Versatile Buildings Ltd for their VB2000 Series buildings and specified for building work in relation to the performance requirements of the NZ Building Code will be fit for purpose and meets the objectives of Clause B1 Structure subject to:

1. The design being properly completed in accordance with:
 - a) NZS 3603 : 1993 Timber Design Code.
 - b) Laserframe Product Information sheet dated November 1997.

2. The Laserframe framing work being properly completed in accordance with the drawings and specifications of Versatile Buildings Ltd. for the VB2000 Series buildings.

I, Guy John Cavanagh being a professional engineer experienced in timber products development, specification and design, have taken all reasonable steps to verify that Laserframe structural timber for residential and non-residential framing will comply with the strength and serviceability performance requirements of the NZ Building Code clause B1 Structure.



31 December 2003
G J Cavanagh
BE MICE
Registered Engineer No 5282

detail P Sheet 13
PURLIN TO TRUSS FIXING

detail Q Sheet 13
RIDGE BRACE DETAIL

Sheet 14 & 15
TRUSS DETAILS

detail J Sheet 10
FRONT & REAR TILT DOOR

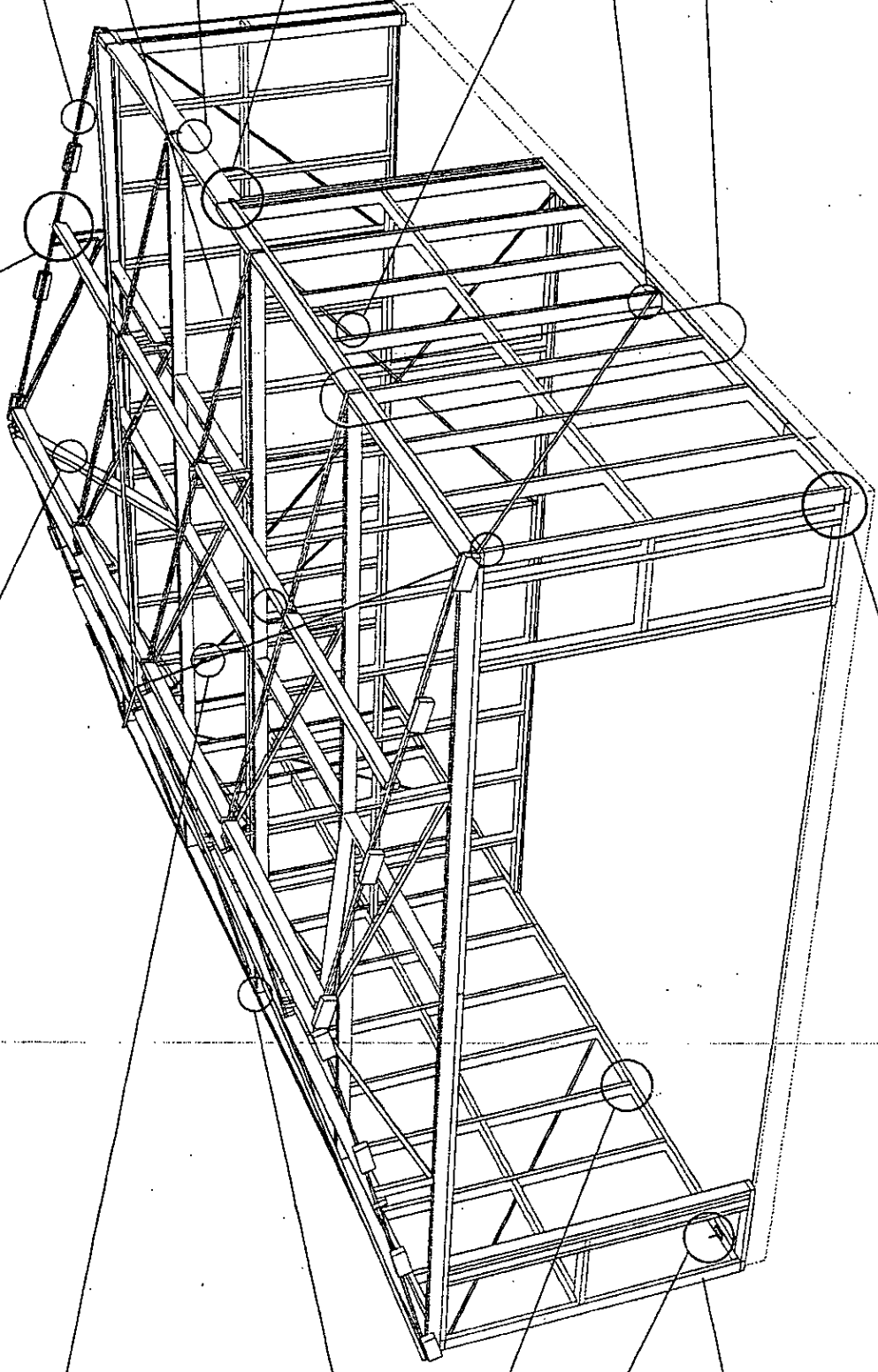
detail K Sheet 4
LINTELS CHART

detail H Sheet 9
LYC BEAM END CONNECTION

Sheet 11
PARTITION WALL BRACING

Sheet 6 & 7
WALL BRACING DETAILS

detail F Sheet 5
TRUSS/STUD/PLATE CONNECTION



Sheet 17
ROOF BRACING LAYOUT

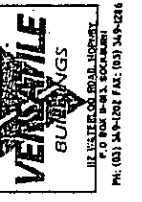
detail F Sheet 5
TOP PLATE (SIDE) JOIN

detail G Sheet 9
FIREWALL DETAIL

detail A Sheet 4
BOTTOM PLATE FIXING

detail B Sheet 4
TIMBER GRADE

detail F Sheet 5
CORNER FIXINGS



VERSATILE BUILDINGS LTD
Construction Details

DRAWING TITLE:
Detail Index

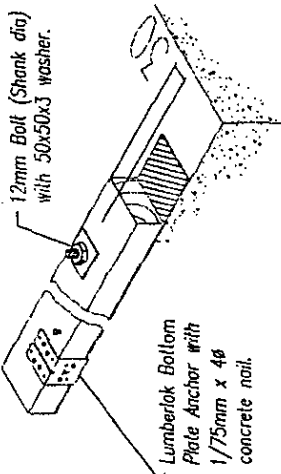
DESIGN: DRAWN:
S.A. Coll YB Ltd
DRAWING: DATE:
YB2000-3 Feb '04

SHEET:
3

OF SHEET:
18

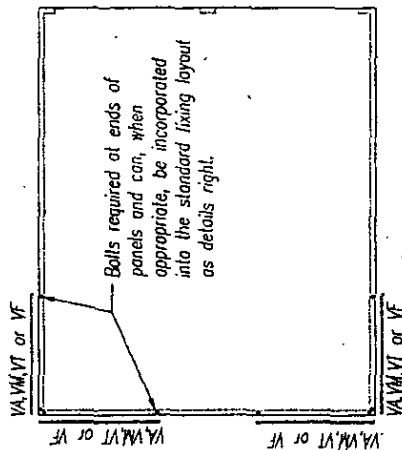
Wind Load	Max. Truss Span or Building Width	Bottom Plate Anchor or M12 Bolt
Low	12000	
Medium	10600	
High	9600	
Very High	8400	

NOTE: For fastener spacing @ 900 crs, truss spans building width can be increased by 25%.



Detail A Bottom plate fixing

2.7 & 3.0m stud plate fixing Detail C

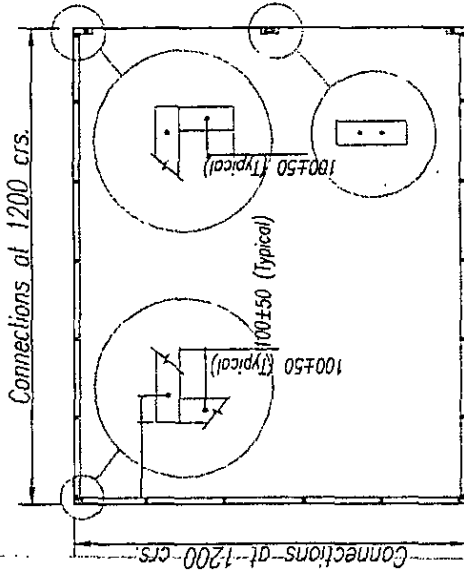


Detail B Timber grades

TIMBER GRADES:

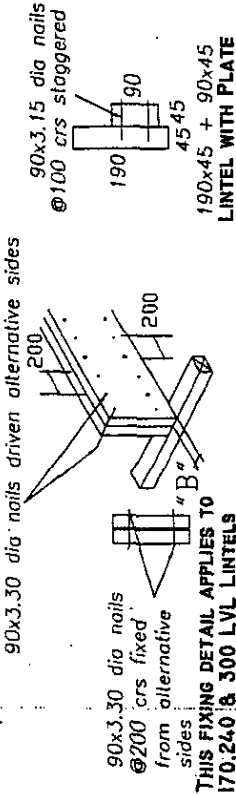
LOCATION	STUD	2.1 to 3.0m stud	Low/Med.& High Wind	V.High Wind (600 series only)
90x35 STUDS (Machine Stress Graded)	MGPI0	2.1m to 2.7m	MGPI0	3.0m stud
90x35 PLATES (Machine Stress graded)	MGPI0	2.7m to 3.0m	MGPI0	MGPI0
90x45 PURLINS (Machine Stress Rated)	MSR F5		MSR F5	MSR F5

Detail D 2.1 & 2.4m stud plate fixing



NOTE:

- Connections must be applied at all corners and door openings shown and then spaced, as per layout above, between these points.



THIS FIXING DETAIL APPLIES TO 170,240 & 300 LVL LINTELS

Detail E Lintel charts

SIDE ENTRY: ALUMINIUM JOINERY			
2.1m stud height			
Opening Width	Bldg Width	Lintel Size	
865mm clear span	up to 9.0m	190x45 + 90x45	
1165mm clear span	up to 9.0m	190x45 + 90x45	
1765mm clear span	up to 9.0m	190x45 + 90x45	
2365mm clear span	up to 9.0m	190x45 + 90x45	
2.4m - 3.0m stud height			
Opening Width	Bldg Width	Lintel Size	
865mm clear span	up to 9.0m	2x 90x45	
1165mm clear span	up to 9.0m	2x 90x45	
1765mm clear span	up to 9.0m	2x 140x45	
2365mm clear span	up to 9.0m	190x45 + 90x45	

SIDE ENTRY: TILT-DOORS

2.7m wide opening			
Bldg Wth/Truss Span	Low/Med/High Snowload	High & or 1.00 kPa snowload	
up to 6.0	170x45 LVL	2x170x45 LVL	
over 6.0 to 12.0	2x170x45 LVL	2x170x45 LVL	
3.0m - 4.5m wide opening			
Bldg Wth/Truss Span	Low/Med/High Snowload	High & or 1.00 kPa snowload	
up to 6.0	240x45 LVL	2x 240x45 LVL	
over 6.0 to 12.0	2x240x45 LVL	2x 240x45 LVL	
4.8m wide opening			
up to 12.0	2x 300x45 LVL	2x 300x45 LVL	

DESIGN NOTES: Dead load: 0.20kPa
 Live Load: 0.25kPa, Snow Load: 0.50 kPa & 1.0kPa
 Max. long term deflection: (L/300 or 15mm)/max.
 Wind Load in accordance with NZS 3604:1999
 to low wind, Medium wind, High wind & V High wind



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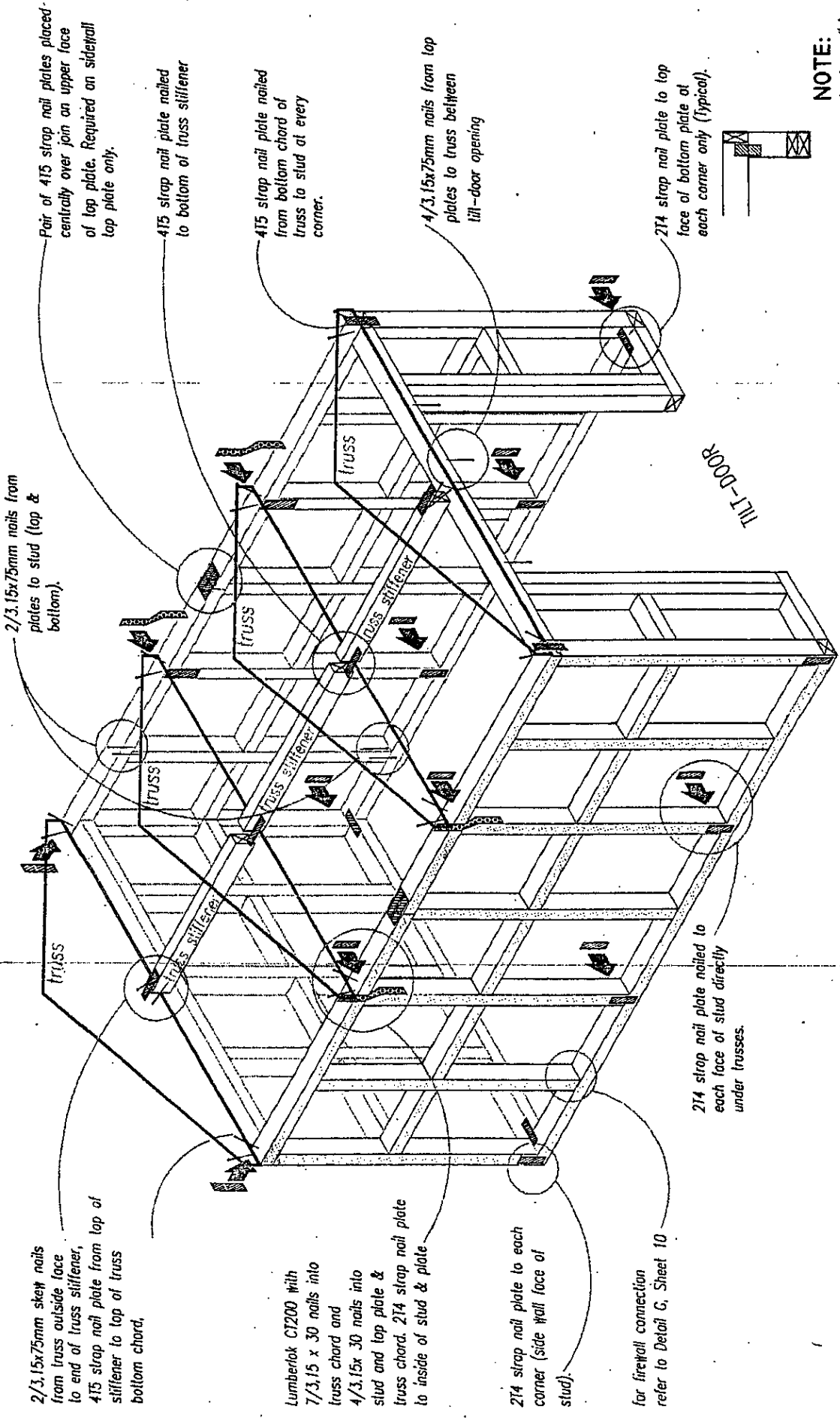
DRAWING TITLE:
Floor Slab & Tables

DESIGN: S.A. Coll
 DRAWING: VB2000-4
 DRAWN: VB Ltd
 DATE: Feb '04

SHEET: **4**

OF SHEET: **18**

Detail F Hardware Fixing Locations



2/3.15x75mm skew nails from truss outside face to end of truss stiffener, 415 strap nail plate from top of stiffener to top of truss bottom chord.

Lumberlok CT200 with 7/3.15 x 30 nails into truss chord and 4/3.15x 30 nails into stud and top plate & truss chord. 214 strap nail plate to inside of stud & plate

214 strap nail plate to each corner (side wall face of stud).

for fire/rail connection refer to Detail G, Sheet 10

2/3.15x75mm nails from plates to stud (top & bottom).

Pair of 415 strap nail plates placed centrally over join on upper face of top plate. Required on sidewall top plate only.

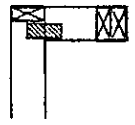
415 strap nail plate nailed to bottom of truss stiffener

415 strap nail plate nailed from bottom chord of truss to stud at every corner.

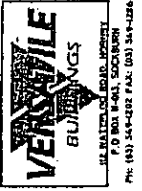
4/3.15x75mm nails from top plates to truss between lilt-door opening

214 strap nail plate to top face of bottom plate at each corner only (typical).

214 strap nail plate nailed to each face of stud directly under trusses.



NOTE:
hardware fixings apply to both 600 & 1000 series buildings.



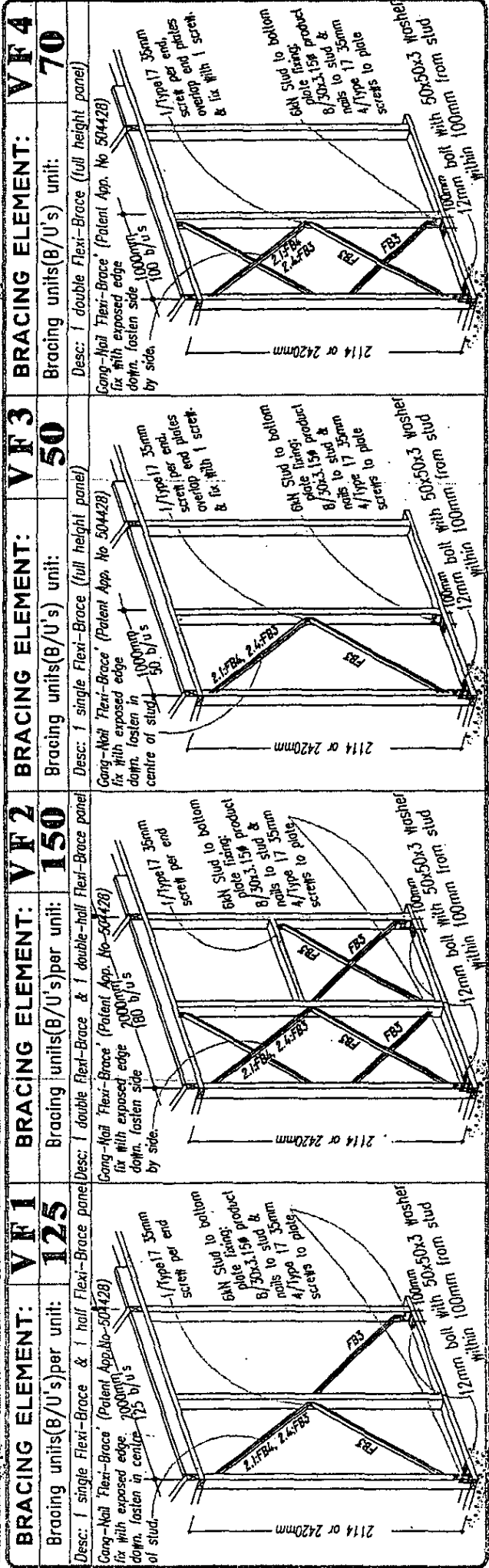
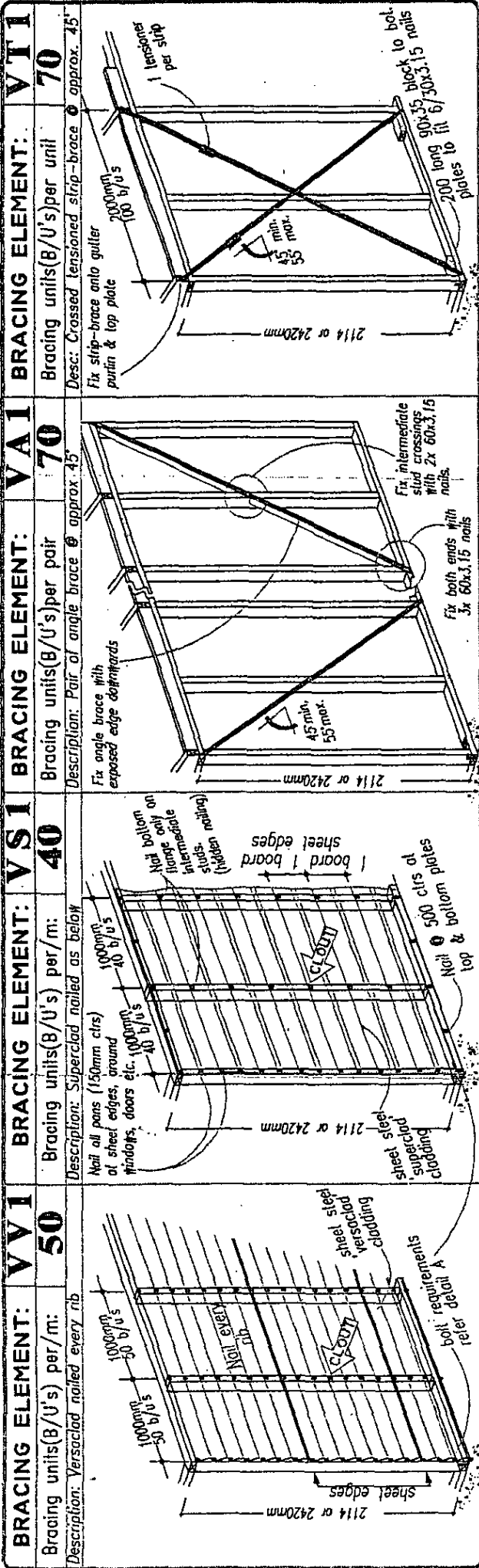
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DRAWING TITLE:
Hardware Fixing

DESIGN: S.A. Coll
DRAWING: YB2000-5
DRAWN: YB Ltd
DATE: Feb '04

SHEET:
5

OF SHEET:
18





VERSATILE BUILDINGS LTD
Construction Details

DRAWING TITLE:
1000 Series Wall Bracing

DESIGN: DRAWN:
S.A. COIL YB L24

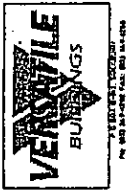
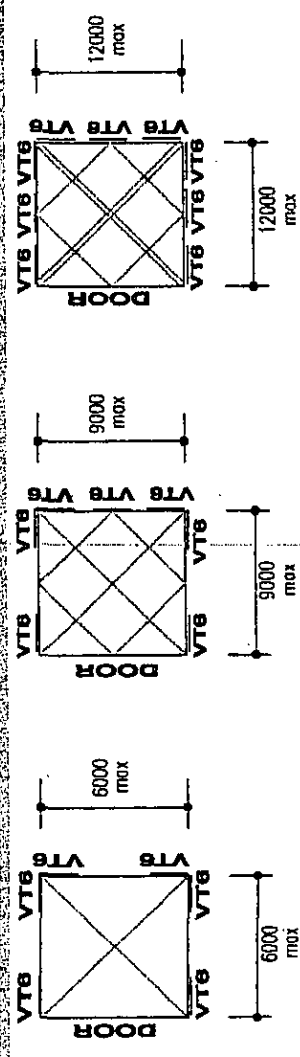
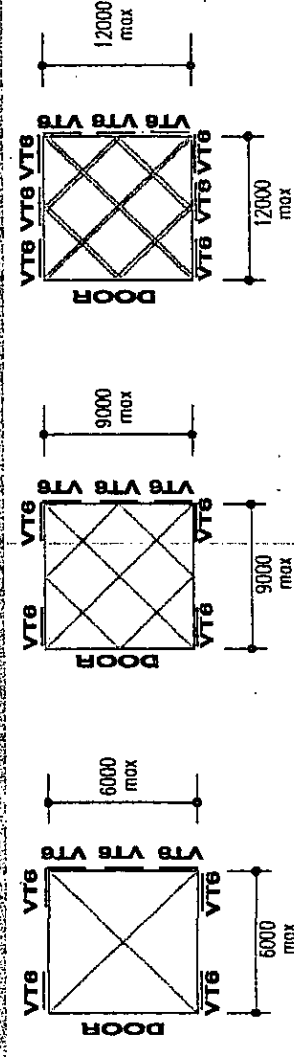
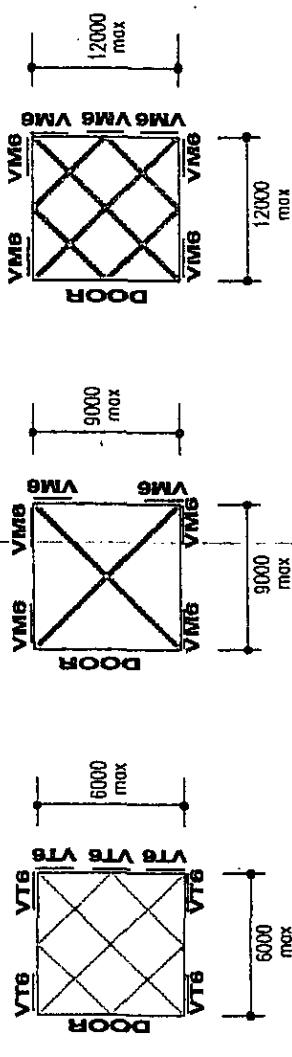
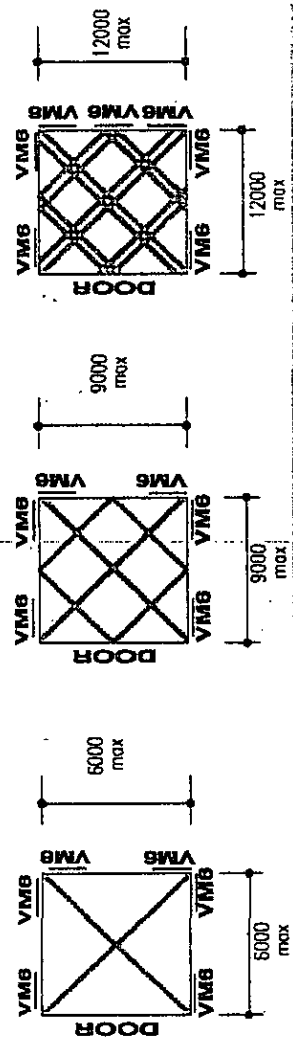
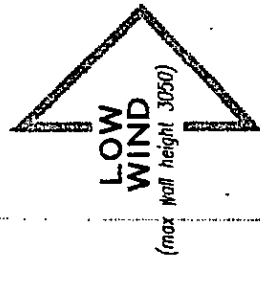
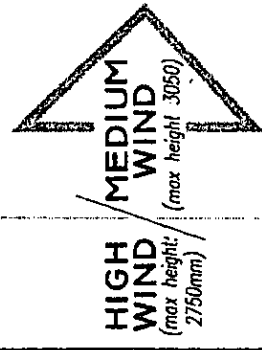
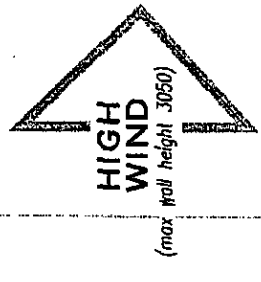
DRAWING: DATE:
YB2000-6 Feb 04

SHEET:
6

OF SHEET:
18

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BRACING KEY:	
	Indicates double row of tensioned Multibrace laid over Purflins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	Indicates single row of tensioned Multibrace laid over Purflins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	Indicates double row of tensioned Stripbrace laid over Purflins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	Indicates single row of tensioned Stripbrace laid over Purflins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	VM6 Indicates single crossed strip in wall @ 45° of tensioned multibrace. Fixed at top and bottom plates with 6 x 30 x 3.15 nails. Use a 12mm bolt with a 50 x 50 x 3 washer at each end of panel through bottom plate. Fixing details on page: YB2000-7
	VT6 Indicates single crossed strip in wall @ 45° of tensioned stripbrace. Fix as per multibrace except with 4 x 30 x 3.15 nails. Bolt as per multibrace. Fixing details on page: YB2000-7



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DRAWING TITLE:
Bracing 27x30 stud

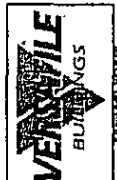
DESIGN: S.A. Coll
DRAWING: YB 17d
DATE: YB2000-8 Feb '04

SHEET: **8**

OF SHEET: **18**

BRACING ELEMENT: VV 6 Bracing units(B/U's) per/1200mm per/1800mm 60 90 Description: Versacled nailed every rib 	BRACING ELEMENT: VS 6 Bracing units(B/U's) per/1200mm per/1800mm 45 68 Nail all pans (150mm ctrs) at sheet edges, around windows, doors etc. 	BRACING ELEMENT: VA 6 Bracing units(B/U's) per pair 70 Description: Pair of angle brace @ approx 45° Fix angle brace with exposed edge diagonals 	BRACING ELEMENT: VT 6 Bracing units(B/U's) per unit 100 Desc: Crossed tensioned strip-brace @ approx. 45° Fix strip-brace onto gutter pan & top plate
--	---	--	---

BRACING ELEMENT: VF 5 Bracing units(B/U's) per unit: 80 Desc: 1 single Flexi-Brace & 1 half Flexi-Brace panel Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge down, fasten in centre of stud 	BRACING ELEMENT: VF 6 Bracing units(B/U's) per unit: 105 Desc: 1 double Flexi-Brace & 1 double-half Flexi-Brace panel Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge down, fasten in centre of stud 	BRACING ELEMENT: VF 7 Bracing units(B/U's) per/m: 30 Desc: 1 single Flexi-Brace (full height panel) Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge down, fasten in centre of stud 	BRACING ELEMENT: VF 8 Bracing units(B/U's) per/m: 60 Desc: 1 double Flexi-Brace (full height panel) Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge down, fasten side by side
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VERSATILE BUILDINGS LTD
Construction Details

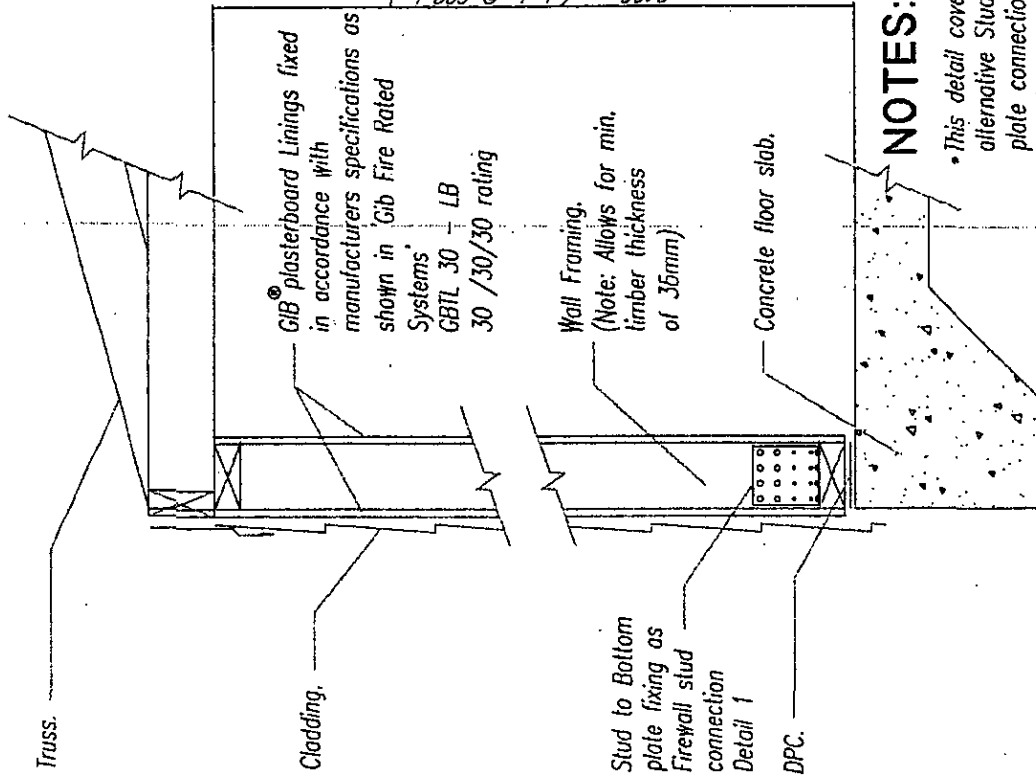
600 Series Wall Bracing

DESIGN: S.A. Coll
 DRAWING: VB L74
 DATE: Feb 04

SHEET: **7**

OF SHEET: **18**

Cross section through firewall



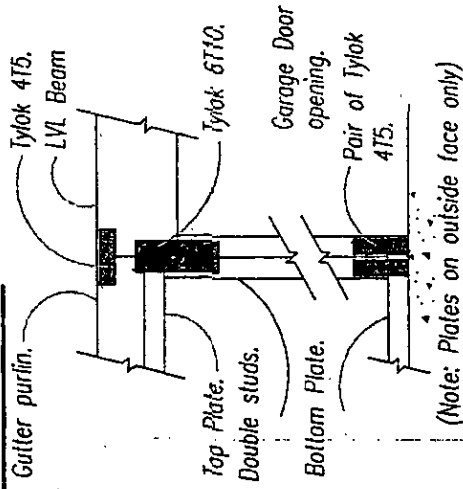
NOTES:

- This detail covers an alternative Stud to Bottom plate connection for a firewall situation.
- Firewalls are applicable for studs @ 300mm & 600mm ctrs max.

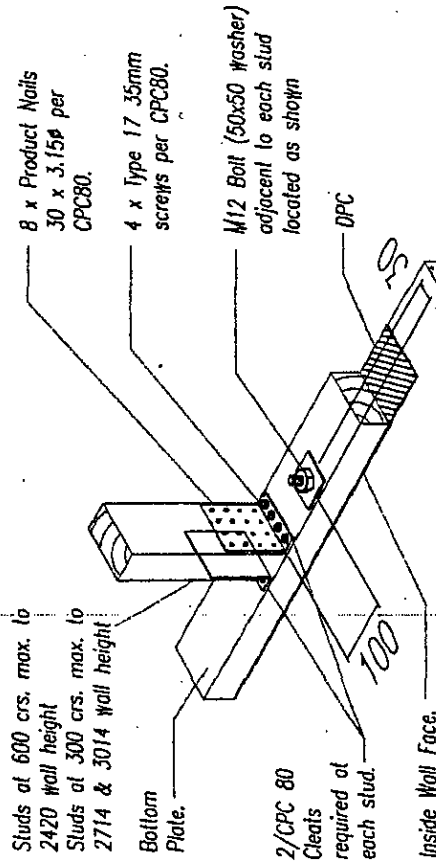
2420mm (studs @ 600ctrs)
2714mm & 3014mm (studs @ 300ctrs)

Detail G

Detail H LVL Beam Connection



Detail I Firewall stud connection



NOTES:

- Fixing components are available in a pack, including:
 - 2 x CPC80 cleats
 - 16 Product Nails 30 x 3.15 ø Galv.
 - 8 x Type 17 35mm Hex head screws Galv.

REVISION: 07/05/03 - FIREWALL DETAIL EXPANDED FOR 2714 & 3014 STUD HEIGHTS



DRAWING TITLE: **Fire-Wall & LVL Details**

DESIGN: S.A. Coll
 DRAWING: YB Lpd
 DATE: YB2000-9 Feb '04

SHEET: **9**

OF SHEET: **18**

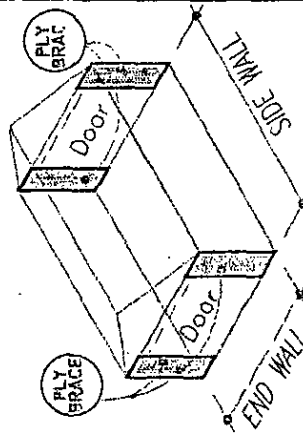
• Both faces of wall clad in fireproof lining. Not shown for clarity.

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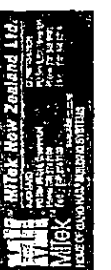
Detail J Ply Brace (single & double sided)

NOTE:

- Ply braces (as detailed below) can be substituted for standard wall bracing, where 2 tilt-doors are located in opposite walls.
- Ply brace panels of less than 500mm wide shall require specific design.



BRACING ELEMENT: VP1	BRACING ELEMENT: VP2
Bracing units(B/U's)per pair: 135	Bracing units(B/U's)per pair: 170
<p>Desc: 7.5mm Ply panel (one face)& 1 single Flexi-Brace</p> <p>Gang-Nail 'Flexi-Brace' fix with exposed edge down, fasten in centre of stud.</p> <p>6kN fastened to top plate and inside of truss (total 4 per truss)</p> <p>1/Type 17 35mm screw per end</p> <p>double stud of each of bracing panel</p> <p>Construction Ply: 7.5mm construction ply on inside of wall</p> <p>Fix using nails (flat head centres @ 150mm sheet edges & across diang.</p> <p>6kN stud anchor OR plate: 150mm Notion 150mm 2 x 80 x 3.15φ nails fix 30x 3.15φ member 6 per member</p> <p>6kN Stud to bottom plate fixing: 8/30x3.15φ product nails to stud. & 4/type 17 35mm screws to plate</p> <p>12mm bolt with 100mm from stud within</p>	<p>Desc: 7.5mm Ply panel (both faces) & 1 single Flexi-Brace</p> <p>Gang-Nail 'Flexi-Brace' fix with exposed edge down, fasten in centre of stud.</p> <p>6kN fastened to top plate and inside of truss (total 4 per truss)</p> <p>1/Type 17 35mm screw per end</p> <p>double stud of each of bracing panel</p> <p>Construction Ply: 7.5mm construction of ply on both sides of wall. Fix using 30x 3.15φ flat head nails @ 150mm centres around sheet edges & across diang.</p> <p>6kN stud anchor OR plate: 150mm Notion 150mm 2 x 80 x 3.15φ nails fix 30x 3.15φ member 6 per member</p> <p>6kN Stud to bottom plate fixing: 8/30x3.15φ product nails to stud & 4/type 17 35mm screws to plate</p> <p>12mm bolt with 100mm from stud within</p>



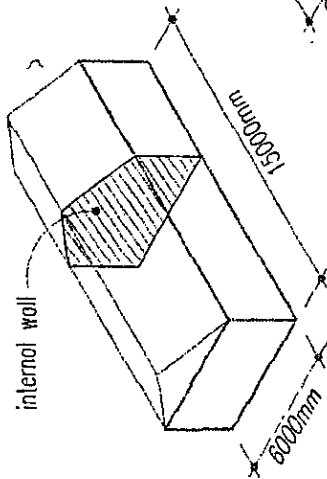
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DRAWING TITLE:
Ply Bracing: Front & Rear

DESIGN: S.A. Coll
DRAWING: VB2000-10
DATE: Feb '04

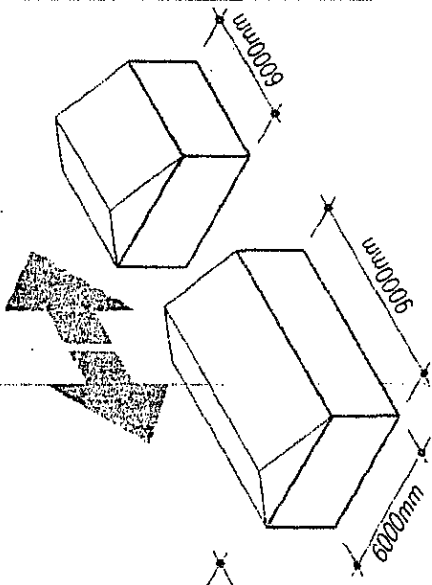
SHEET: 10

OF SHEET: 18



INTENDED BUILDING (example)

1. If required building is outside bracing requirements from the sheets 9 & 17 (wall & roof) then consider the building as two separate constructions (about the internal wall.)



6m wall. Bracing units required: 125 b.u.'s

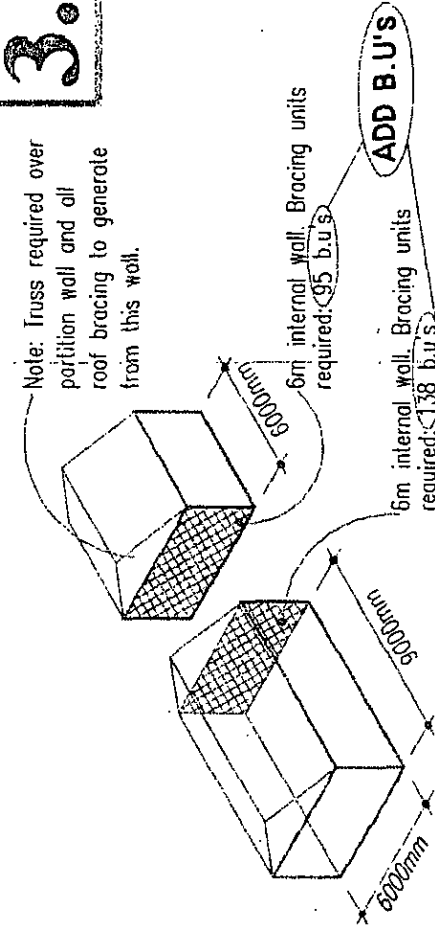
9m wall. Bracing units required: 138 b.u.'s

2.

2. Brace side walls as individual 'walls' from sheet 8. Consider the building as two separate constructions. eg: 15m x 6m = 1 (6m x 9m) & 1 (6m x 6m)

3.

Note: Truss required over partition wall and all roof bracing to generate from this wall.

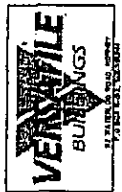


6m internal wall. Bracing units required: 95 b.u.'s

9m internal wall. Bracing units required: 138 b.u.'s

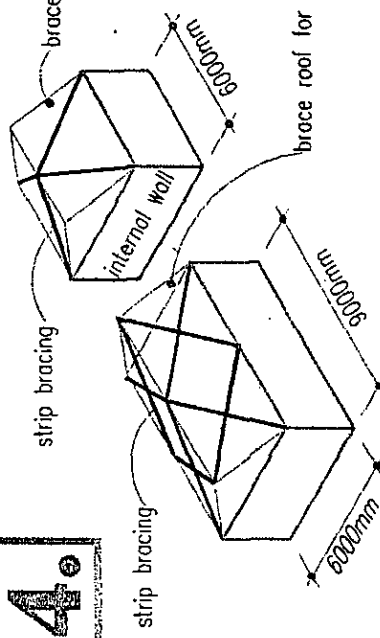
ADD B.U.'S

3. Brace internal walls from respective wall; bracing sheets 6/7. Use only the VT of VF (Strip brace or Flexi-Brace). Eg: Total bracing units: 233 b.u.'s required (for example)



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Construction Details

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brace roof from 6m x 6m building

brace roof for 9m x 6m building

4.

4. Brace roof as individual buildings from Sheet 16 eg: 6m x 9m roof & 6m x 6m

5. All other details as per VB2000 drawings apply. eg: 6m x 9m roof & 6m x 6m

DRAWING TITLE:
Partition wall bracing

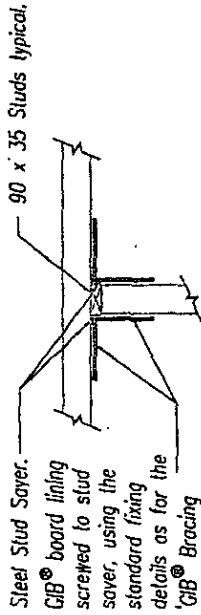
DESIGN: S.A. Coll
DRAWING: YB Ltd
DATE: VB2000-11 Feb '04

SHEET: **11**

OF SHEET: **18**

Detail K Internal Partition

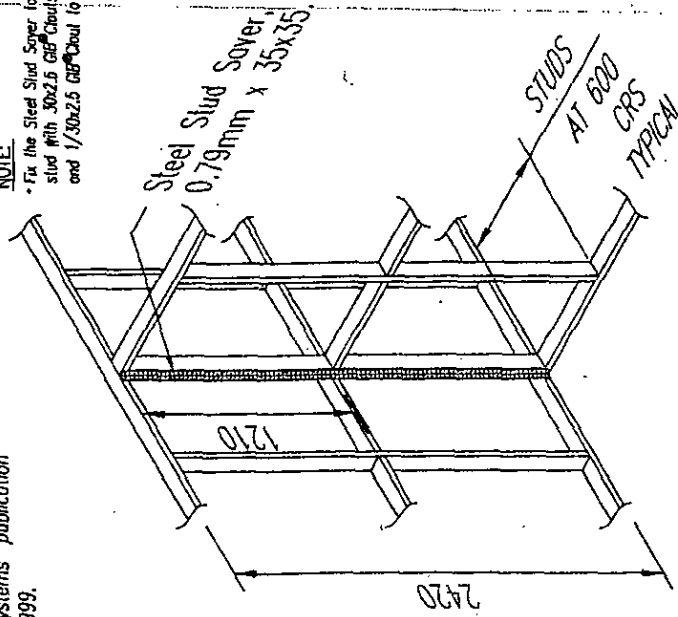
Garages (non-braced situation) & Cottages (braced situation)



Steel Stud Saver.
CIB® board lining
screwed to stud
saver, using the
standard fixing
details as for the
'CIB® Bracing
Systems' publication
1999.

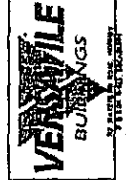
NOTE:

- Fix the Steel Stud Saver to the adjacent stud with 30x2.5 CIB® bolts at 300mm crs. and 1/30x2.5 CIB® bolt to each top and plate



• NON BRACED SITUATION:
The standard building construction has its own bracing system through Angle Brace (VA), Strip Brace (VT), Multi Brace (VM), Superstud (VS), Flexibrace (VF) and or Yeisacled (W) and the addition of Plaster Board internal lining, although adds significantly to the building stiffness, is not required for stability or bracing.

NOTES:

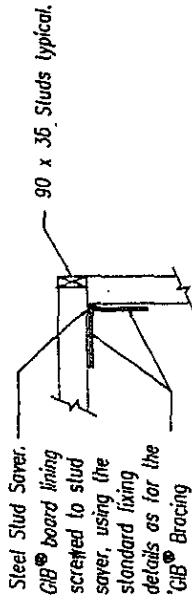


VERSATILE BUILDINGS LTD
Construction Details

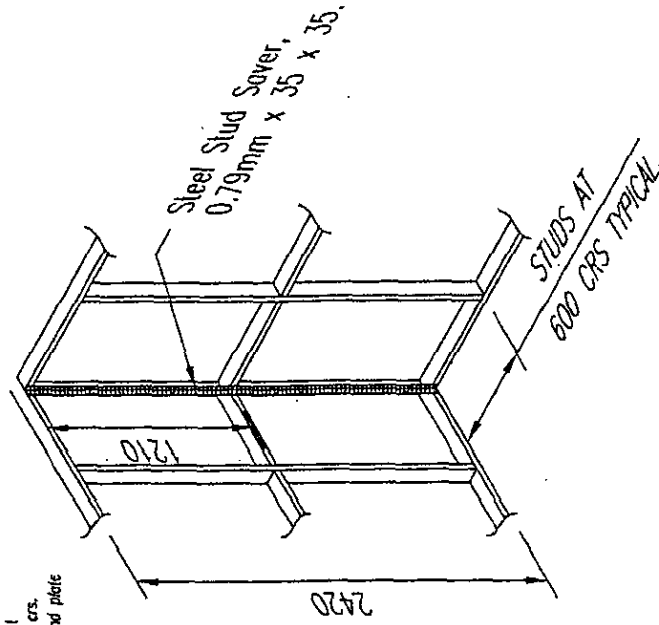
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Detail L External Corner

Garages (non-braced situation)



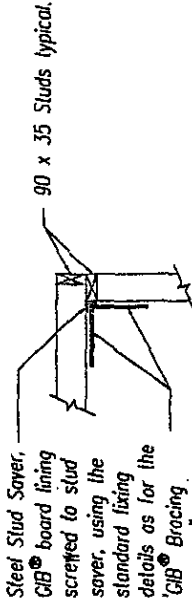
Steel Stud Saver.
CIB® board lining
screwed to stud
saver, using the
standard fixing
details as for the
'CIB® Bracing
Systems' publication
1999.



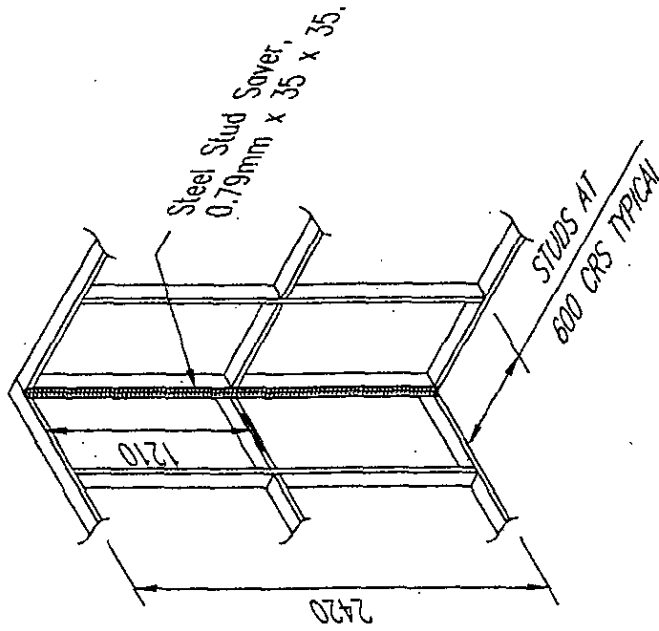
• BRACED SITUATION:
The cottage construction details use the CIB® Board lining as an integral part of the building bracing. The corner and internal partition arrangements as detailed are to be used in conjunction with the standard fixing details as for the 'CIB® Bracing Systems' publication 1999.

Detail M External Corner

Cottages (braced situation)



Steel Stud Saver.
CIB® board lining
screwed to stud
saver, using the
standard fixing
details as for the
'CIB® Bracing
Systems' publication
1999.



• TEST RESULTS:
Testing of the STEEL STUD SAVER using the fixing arrangements as detailed on this sheet, has been carried out by BRANZ and their opinion verifies the acceptable performance of the system. This opinion dated 5 May 1999 is available for inspection from Gang-Nail Group Ltd, 20 Kaitzkas Place Christchurch.

DRAWING TITLE:
Internal Lining Details

DESIGN: DRAWN: V.B.L.T.
S.A. Coll DATE: Feb '04
DRAWING: VB2000-12

SHEET: 12

OF SHEET: 18

Specification trusses

SPAN AND LOAD CHART

Live Load = 0.20kPa (Distr)
1.0kN (Conc)
Dead Load = 0.15 kPa (top chord)
0.20 kPa (bottom chord)
on 900 & 1200cs. only

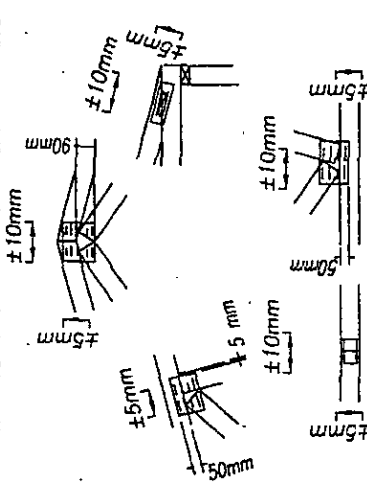
Wind Load Cpi = 0.60 max
Cpe = 0.80 max
Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD(kpa)
2000	High	0.60
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

TIMBER:

The specification of timber shall be as follows:
Grading: MSG Radiata Pine to F4 or MCP10 grade as noted.
Treatment: To NZMP 3640 : 1992
Moisture Content: Dry

MANUFACTURING TOLERANCES.



Typical positioning tolerances for plates

NOTE:

1. Plates are to be fully pressed home on both sides of joints.
The plate axis must be located in the specified or indicated direction.

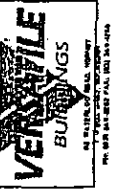
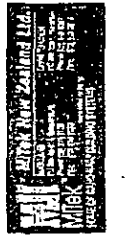
OF SHEET: 18

SHEET: 14

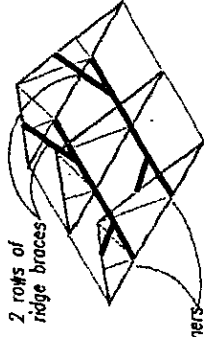
DESIGN: DRAWN: V.B.Ltd
S.A. Coll: V.B.Ltd
DRAWING: DATE:
VB2000-14 Feb '04

DRAWING TITLE:
Truss Details

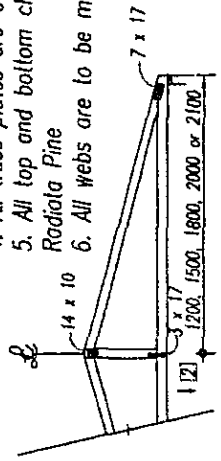
VERSATILE BUILDINGS LTD
Construction Details
COPYRIGHT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF MITEK NZ LTD OR VERSATILE BUILDINGS LTD.



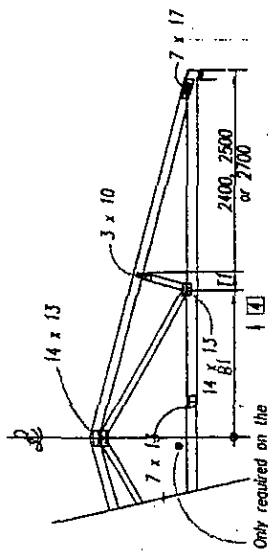
- NOTE:
1. Truss top chord pitch range is 15°, 20°, 25°, 30°
 2. ● Indicates location of Bottom Chord Brace (truss stiffener)
 3. □ Indicates the Truss Camber (typical)
 4. All truss plates are Gang-Nail GN10 type
 5. All top and bottom chords are to be MCP10 90 x 35 Radiata Pine
 6. All webs are to be min. F4 70 x 35 Radiata Pine



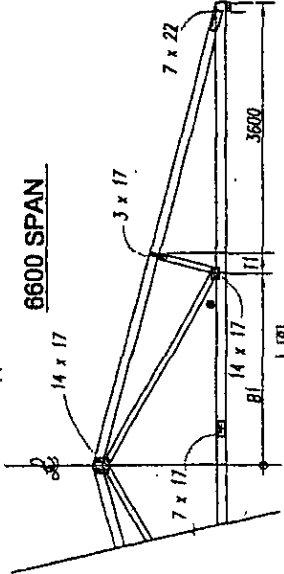
NOTE: Use 2 Ridge braces per row(s) of stiffeners



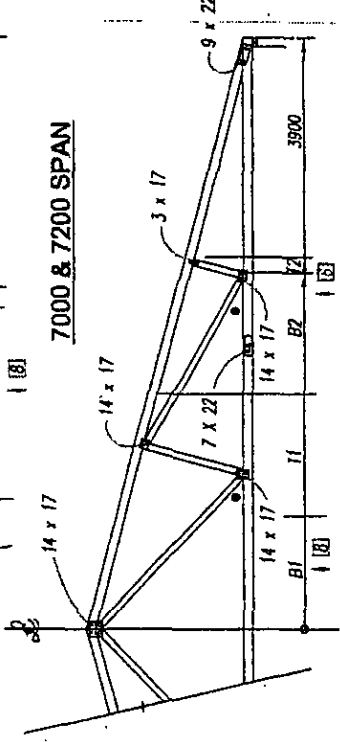
2400 to 4200 SPAN INCLUSIVE



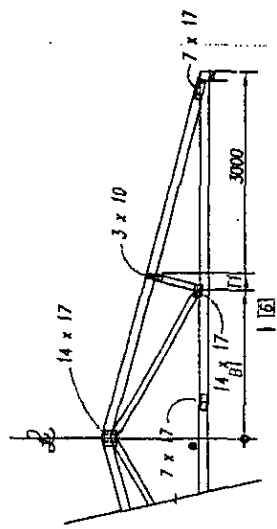
4800, 5000 & 5400 SPAN
Only required on the 5400 span



6600 SPAN



7000 & 7200 SPAN

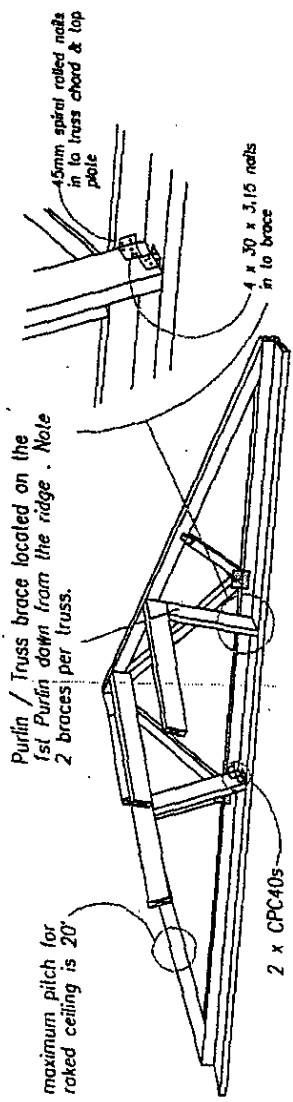
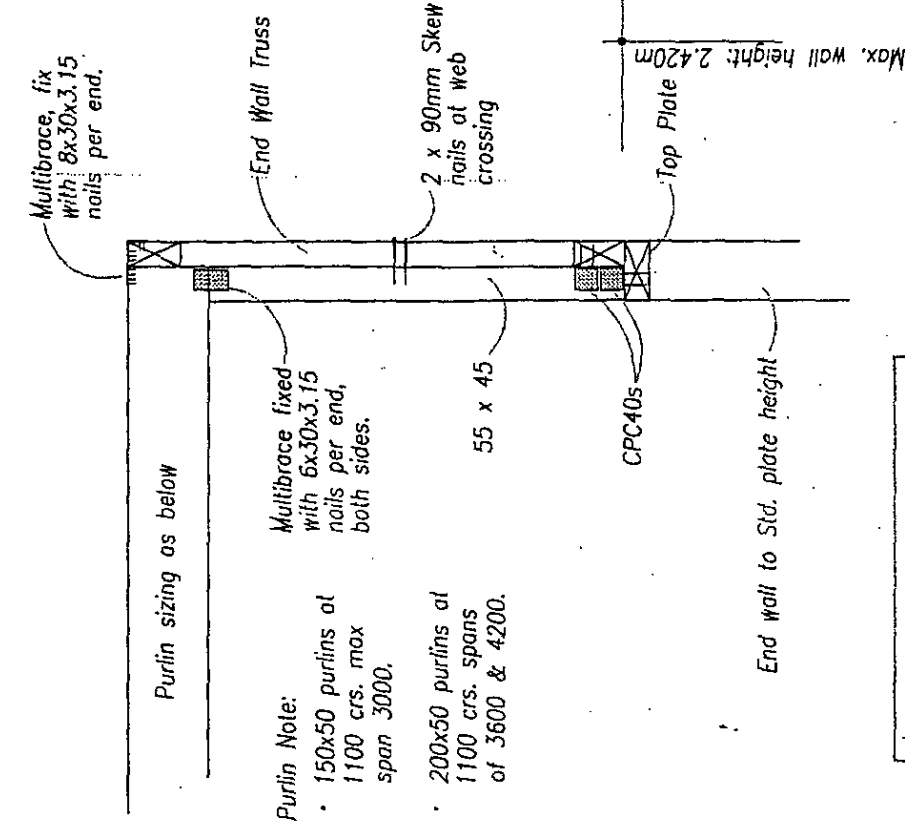


6000 SPAN

7800 SPAN

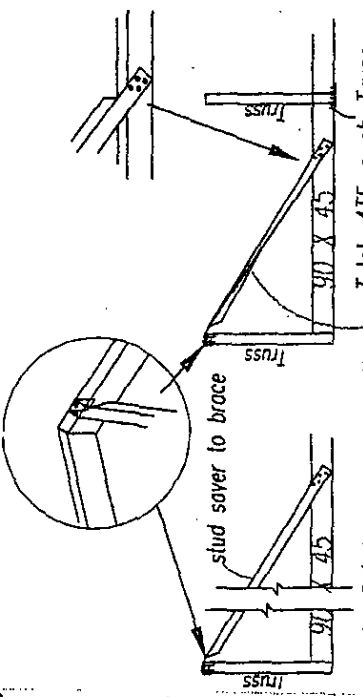
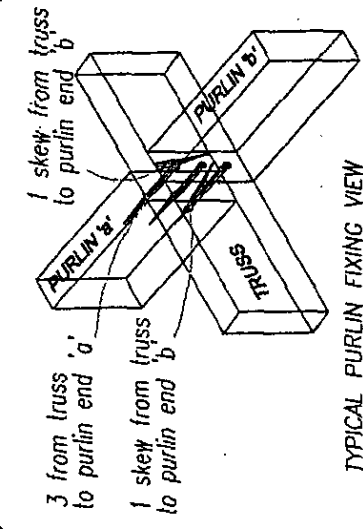
Detail N Cross section - raking ceiling end wall

Detail O purlin / truss brace - end wall

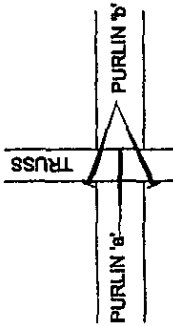


Detail P Purlin detail

Detail Q Ridge brace



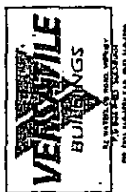
TYPICAL PURLIN FIXING VIEW
Note: all nails to be 90mmx 3.15ø



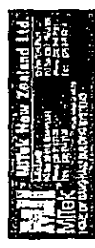
TYPICAL PURLIN FIXING PLAN VIEW

Note: Design covers the end wall stability at the top plate level via the Purlin brace construction.

NOTE: 1500 Angle Brace applies to 15 degrees pitch only
Otherwise 1 stud sayer as ridge brace
to ridge brace position at both ends of building



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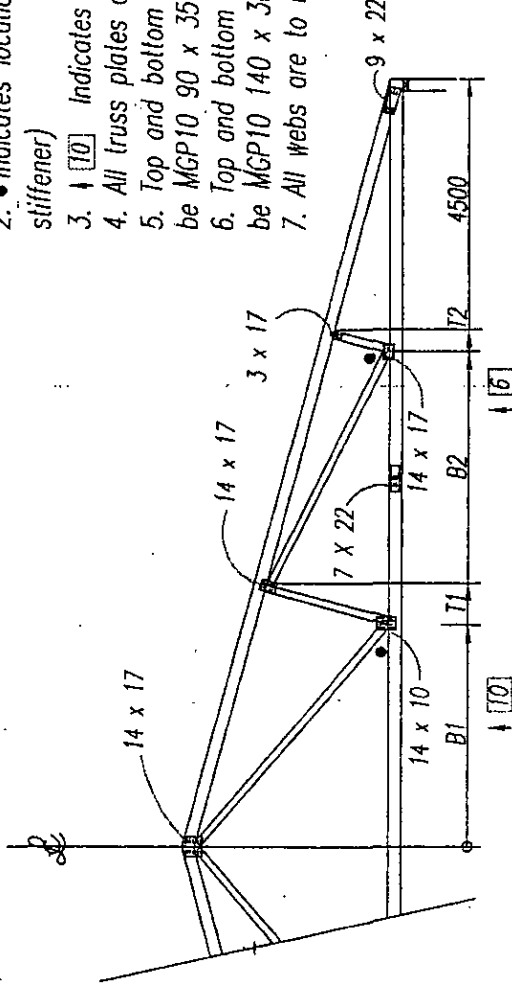
DRAWING TITLE:
Roof details

DESIGN: DRAWN:
S.A. Coll VB L24
DRAWING: DATE:
VB2000-13 Feb '04

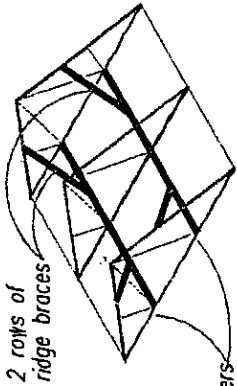
SHEET:
13
OF SHEET:
18

NOTE:

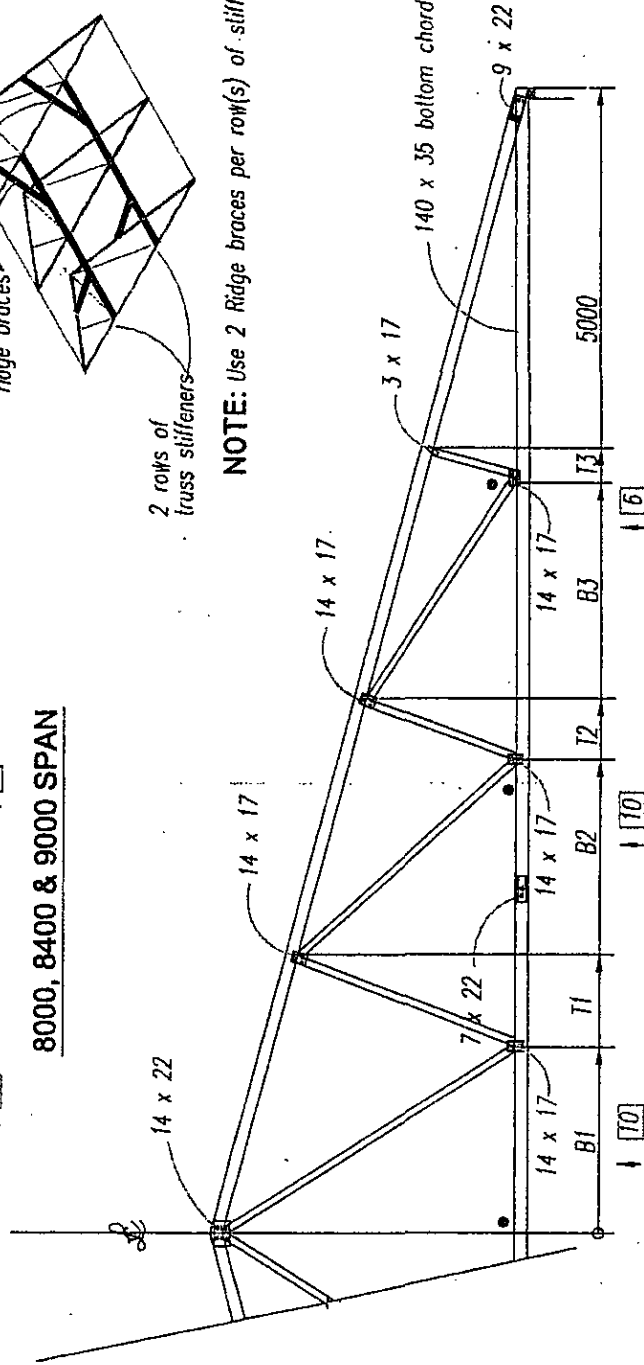
1. Truss top chord pitch range is 15°, 20°, 25°, 30°
2. ● Indicates location of Bottom Chord Brace (truss stiffener)
3. † [10] Indicates the Truss Camber (typical)
4. All truss plates are Gang-Nail GN10 type
5. Top and bottom chords for 8.4 & 9.0m span are to be MCP10, 90 x 35 Radiata Pine
6. Top and bottom chords for 9.6 & 10.2m span are to be MCP10, 140 x 35 Radiata Pine
7. All webs are to be min. F4 70 x 35 Radiata Pine



8000, 8400 & 9000 SPAN



NOTE: Use 2 Ridge braces per row(s) of stiffeners



9600 & 10200 SPAN

Specification trusses

SPAN AND LOAD CHART

Live Load = 0.20kPa (Distr)
1.0kN (Conc)
Dead Load = 0.15 kPa (top chord)
0.20 kPa (bottom chord)
on 900 & 1200cs only
Wind Load Cpi = 0.50 max
Cpe = 0.80 max
Purlin Spacing = 1500 max

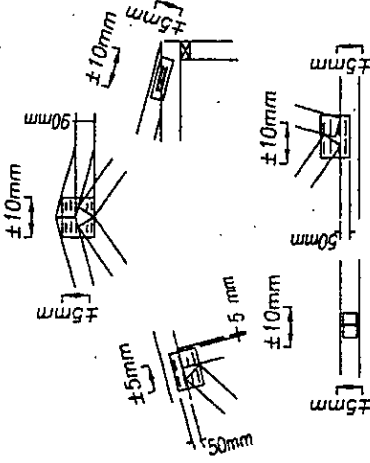
TRUSS CENTRES	WIND LOAD	SNOW LOAD(kpa)
2000	High	0.60
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

TIMBER:

The specification of timber shall be as follows:

- Grading: MSG Radiata Pine to F4 or MCP10 grade as noted.
- Treatment: To NZMP 3640 : 1992
- Moisture Content: Dry

MANUFACTURING TOLERANCES.



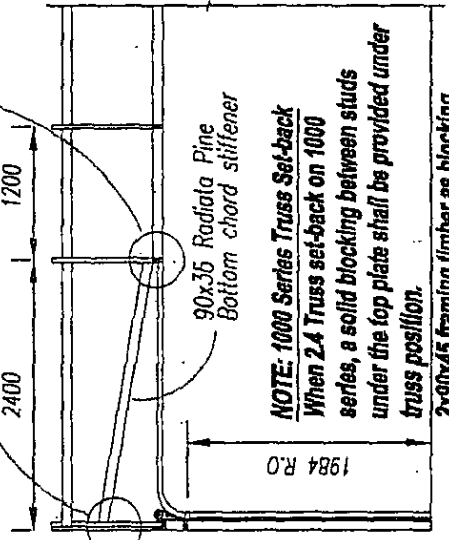
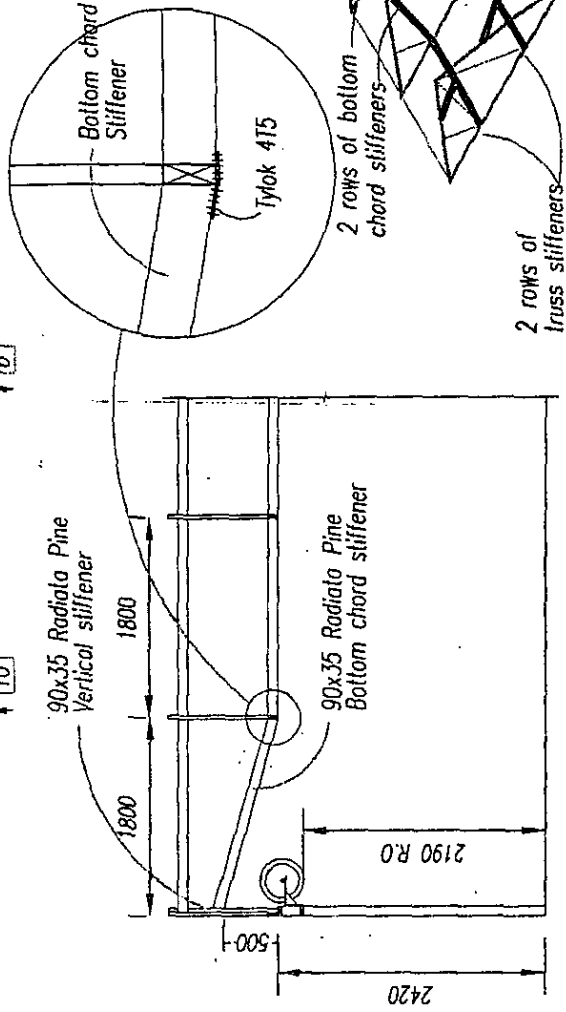
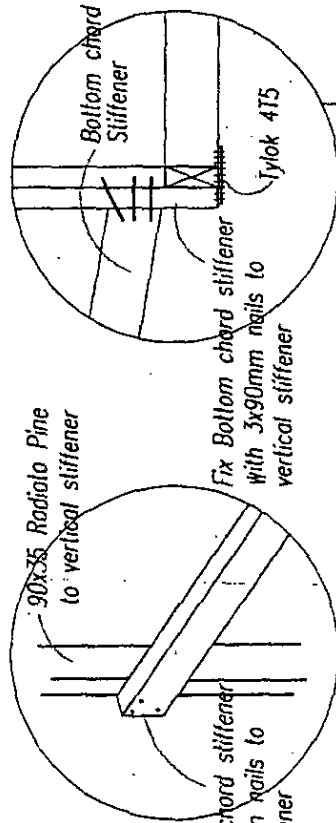
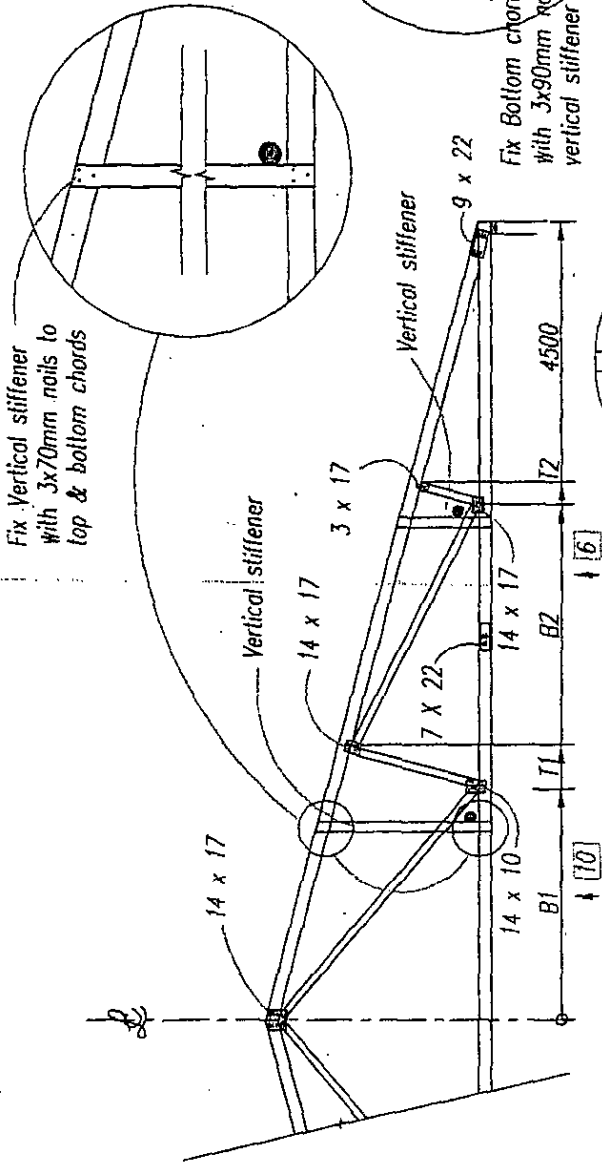
Typical positioning tolerances for plates

NOTE:

1. Plates are to be fully pressed home on both sides of joints.
- The plate axis must be located in the specified or indicated direction.

NOTE:

1. Truss top chord pitch range is 15°, 20°, 25°, 30°
2. • Indicates location of Bottom Chord Brace.
3. ↑ [10] Indicates the Truss Camber (typical)
4. All truss plates are Gang-Nail CN10 type



NOTE: 1000 Series Truss Set-back
When 2.4 Truss set-back on 1000 series, a solid blocking between studs under the top plate shall be provided under truss position.
2x90x45 framing timber as blocking

Roller Door Section - Bottom Chord Stiffener @ 1.8 ctrs on 600 Series

Sectional Door Section - Bottom Chord Stiffener @ 2.4 ctrs

REVISION: HEIGHTS CHANGED FOR TRUSS SET-BACK DETAIL - 29/08/03
REVISION: NOTE ADDED FOR 1000 SERIES TRUSS SET-BACK - 11/08/03



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CONSTRUCTION DETAILS
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PO BOX 100, WAIKANAEO, NEW ZEALAND
TEL: 021 622 1000 FAX: 021 622 1001

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PO BOX 100, WAIKANAEO, NEW ZEALAND
TEL: 021 622 1000 FAX: 021 622 1001

DRAWING TITLE:
Alternative Truss Stiffener Details

DESIGN: S.A. Col
DRAWING: VB/Ltd
DATE: Feb '04

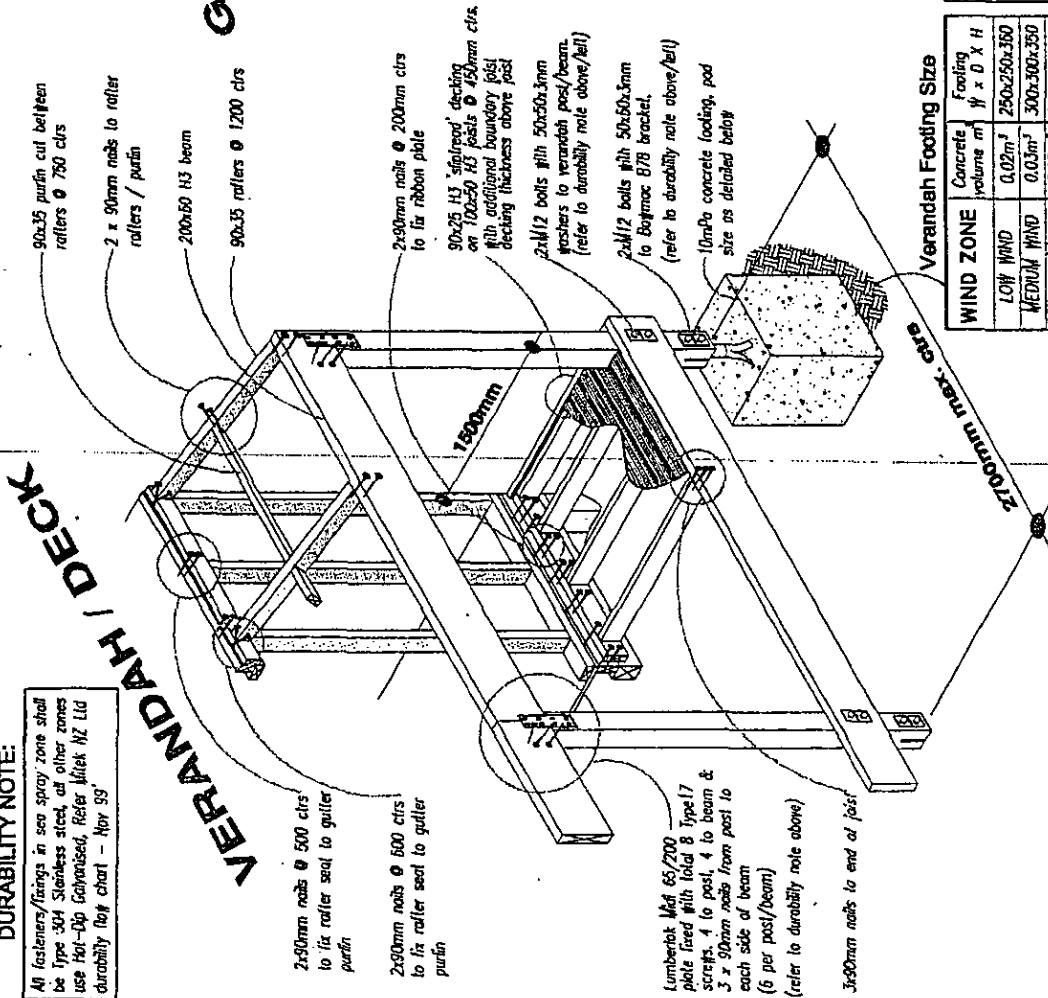
SHEET: 16

OF SHEET: 18

DURABILITY NOTE:

All fasteners/finings in sea spray zone shall be Type 304 Stainless steel, all other zones use Hot-Dip Galvanneal. Refer Mike NZ Ltd durability flow chart - Nov 99

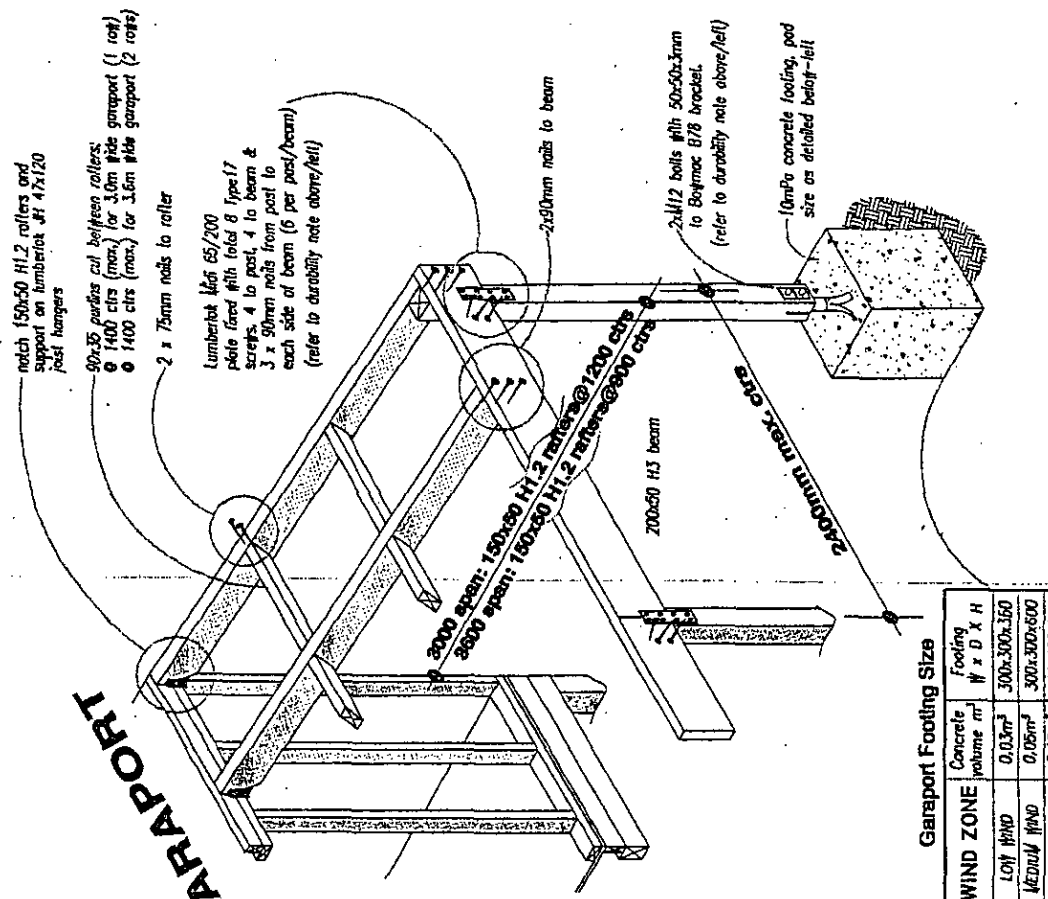
VERANDAH / DECK



Verandah Footing Size

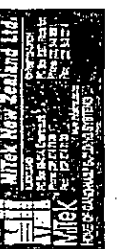
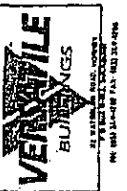
WIND ZONE	Concrete volume m ³	Footing # x D x H
LOW WIND	0.02m ³	250x250x350
MEDIUM WIND	0.03m ³	300x300x350
HIGH WIND	0.05m ³	300x300x600
VERY HIGH WIND	0.07m ³	350x350x600

GARAPORT



Garaport Footing Size

WIND ZONE	Concrete volume m ³	Footing # x D x H
LOW WIND	0.03m ³	300x300x350
MEDIUM WIND	0.05m ³	300x300x600
HIGH WIND	0.10m ³	400x400x600
VERY HIGH WIND	0.13m ³	400x400x800



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DRAWING TITLE:
Verandah/Deck details

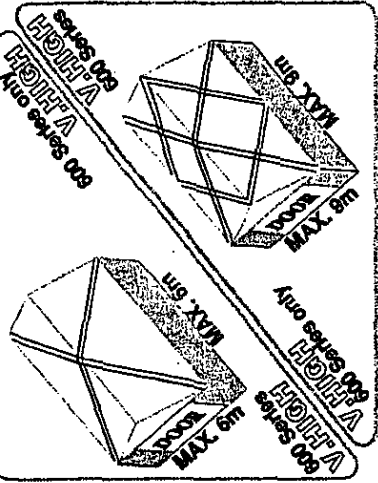
DESIGN: DRAWN:
 S.A. Coil V.B. Ltd

DRAWING: DATE:
 VB2000-18 Feb '04

SHEET:
18

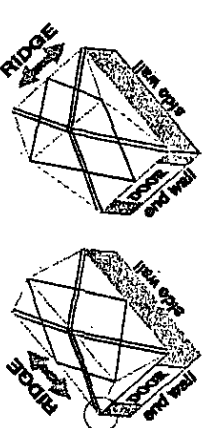
OF SHEET:
18

600 Series only
VERY HIGH WIND



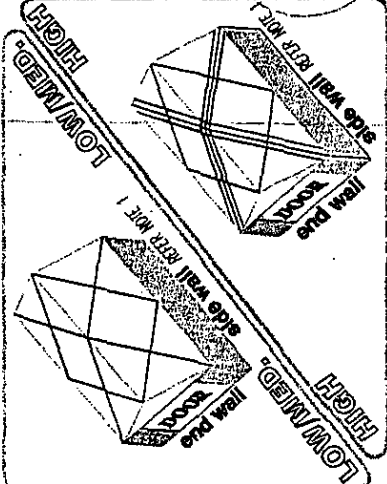
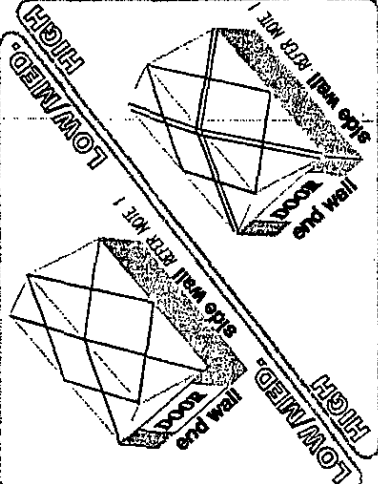
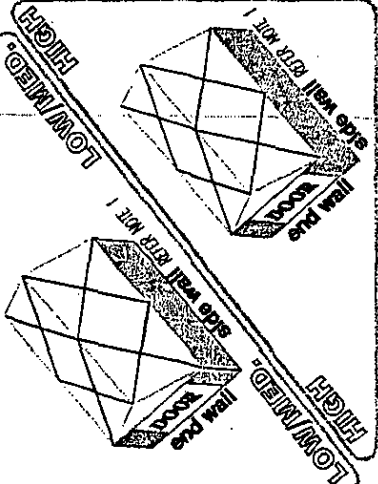
ROOF BRACING NOTES:

- End Wall / Side Wall ratios over 1:1.5 shall have a double raft (corner to corner)
eg: 6m x 9m = Single Raft
eg: 6m x 9.6m = Double Raft
- End Wall / Side Wall ratios shall not exceed 1:2 in Low / Medium & High Wind zones.
eg: 6m wide(end wall) x 12m deep (side wall) = 1:2
- End Wall / Side Wall ratios shall not exceed 1:1.5 in Very High Wind zones.
eg: 6m wide(end wall) x 9m deep (side wall) = 1:1.5
- Maximum stud height is 2.420m. Refer to sheet 9 for 2.7m & 3.0m stud heights.
- The ridge can run along or across the 'end wall', without affecting roof bracing, refer to diagram below:

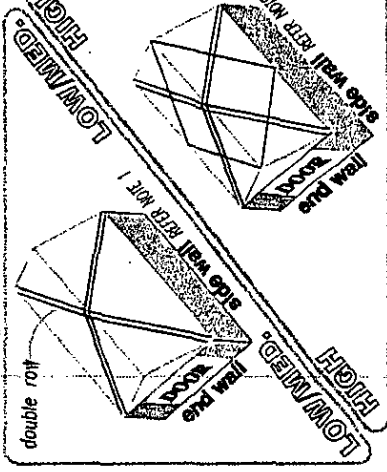
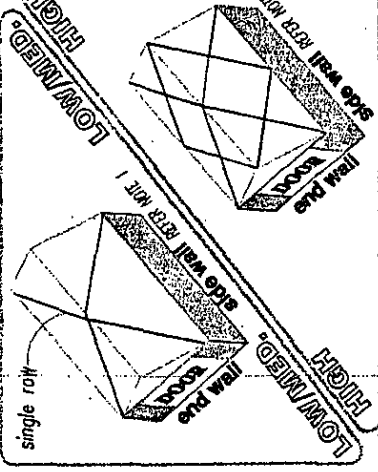
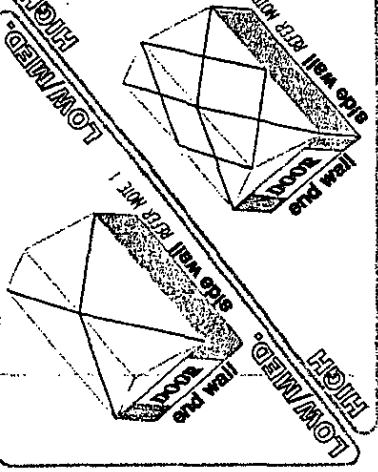


6. Indicates a single raft of Lumberlok Slip Brace tensioned up and laid over the top of purlins. Fix each end with 3x 30x3.15m nails (typical)

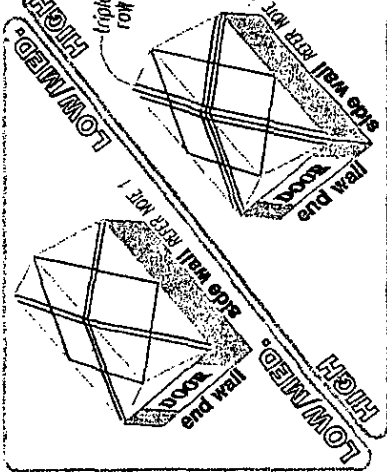
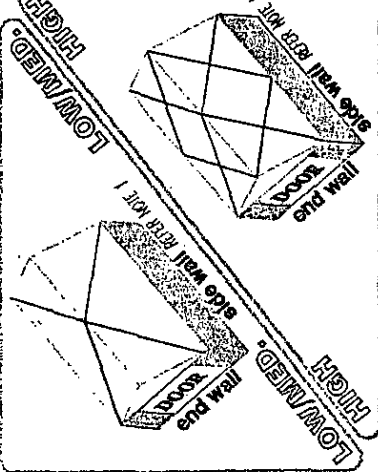
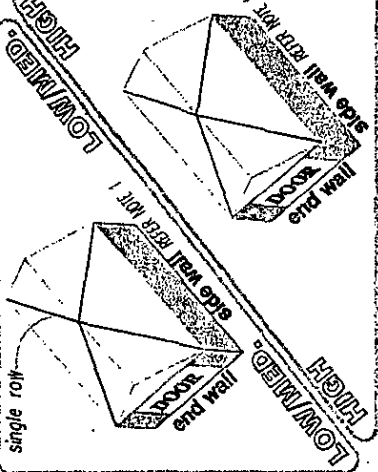
9.6m - 12.0m WIDTH



BUILDING WIDTH
6.6m - 9.0m WIDTH



2.4m - 6.0m WIDTH



BUILDING LENGTH
2.4m - 6.0m LENGTH
6.6-9.0m LENGTH
9.6-12.0m LENGTH



PRODUCER STATEMENT - DESIGN

P.I.M. No.....

ISSUED BY: Helwin John Cooper
(Suitably qualified Design Professional)

TO: Versatile Buildings Ltd
(Owner)

IN RESPECT OF: Single Storey Versatile Buildings
(Description of Building Work)

AT: anywhere in New Zealand that is suitable for NZS 3604-1999 type buildings
(Address)

LOT..... DP..... SO.....

This firm has been engaged by Versatile Buildings
(Owner/Developer/Contactor)

to provide the design services listed in the attached Project Brief Statement which identifies the relevant clause(s) of the Building Regulations 1992 for

All or Part only, as specified in attached list and no other, B1

of the building work. The design has been prepared in accordance with the following standards
NZS 4203-1992 NZS 3604/3101 of the approved
(Verification method(s)/acceptable solution(s))

documents issued by the Building Industry Authority and the work is described on drawings prepared by
CLC Consulting Group Ltd
(Design Firm)

Titled. stamped and signed by CLC only and numbered 10067

and the specification and other documents according to which the building is proposed to be constructed. As an independent professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS

that subject to:

- (i) the verification of the following design assumptions Wind Zone and good ground conditions to NZS 3604-1999
- and (ii) all proprietary products meeting the performance specification requirements, that the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

[Signature]
(Signature suitably qualified Design Professional)
BE Dip Bus MBA MIPENZ AFNZIM
(Professional Qualifications)

Date 15/05/2003
VALID UNTIL 15/08/2005
ERB Reg No 8277

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.

HEAD OFFICE:

79 Copson Springs Road
P.O. Box 13-093, Chesham, Auckland.
Tel: 09 634 5366
Fax: 09 622 2080
Freephone: 0800 267 364

SOUTH ISLAND OFFICE:

42 Mandavie Street,
Riccarton,
Christchurch
Tel: 03 341 7371
Fax: 03 341 7372
Freephone: 0800 267 364

22nd October 2002

Versatile Buildings Limited
PO Box 11-013
Christchurch

Attention: Brendan Knott

Dear Brendan:

In response to your enquiry concerning the fixing of our Permaglas XL fibreglass roof sheeting.

Ampelite (NZ) Limited will warrantee the fixing of your 6 rib and 7 rib profiles with roofing nails as long as the following fixing instructions are observed:

1. Use an appropriate seal and washer assemble that meets the wind loading requirements for the area and at the same time ensures a firm, weather tight seal.
2. Per-drill oversize hole to allow for expansion and contraction of sheet. The recommend calculation to ensure the correct size hole is used shall be 0.75mm per lineal metre, plus the shank size of the fastener.
3. Installation should comply with the design loading requirements of NZ4203 - 1992 and NZ3604 - 1990

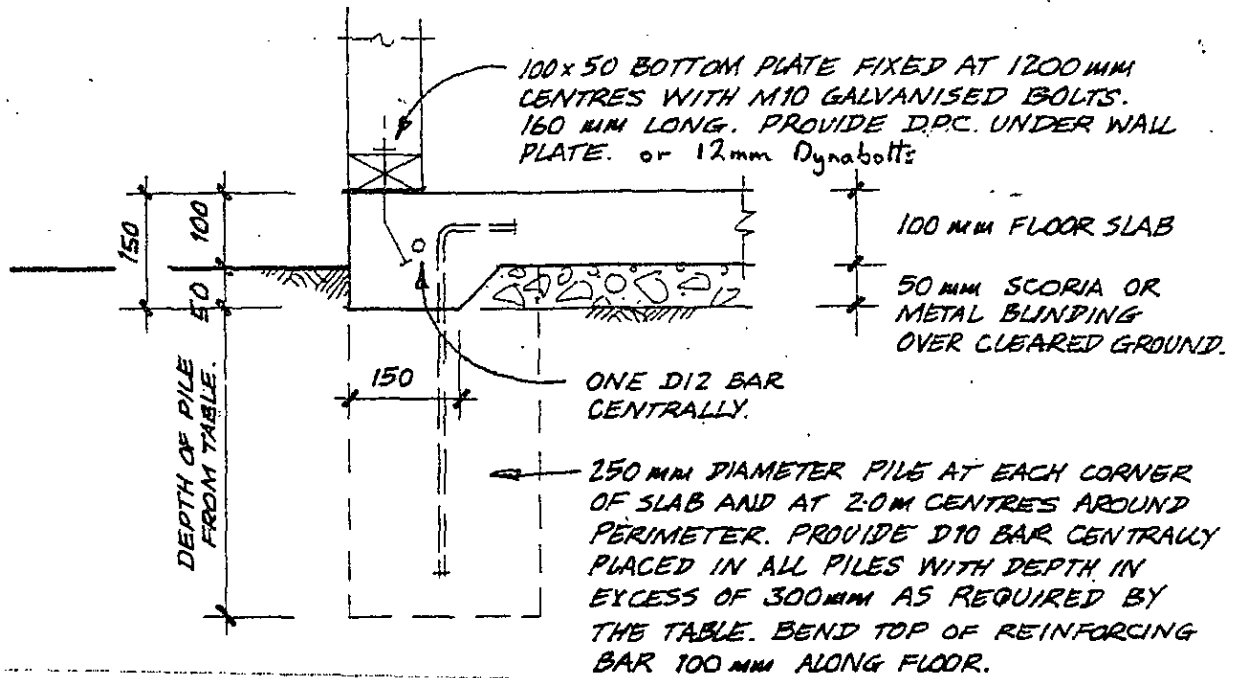
I trust this meets with your approval; if I can be of any more assistance, please do not hesitate to contact me direct.

Yours sincerely



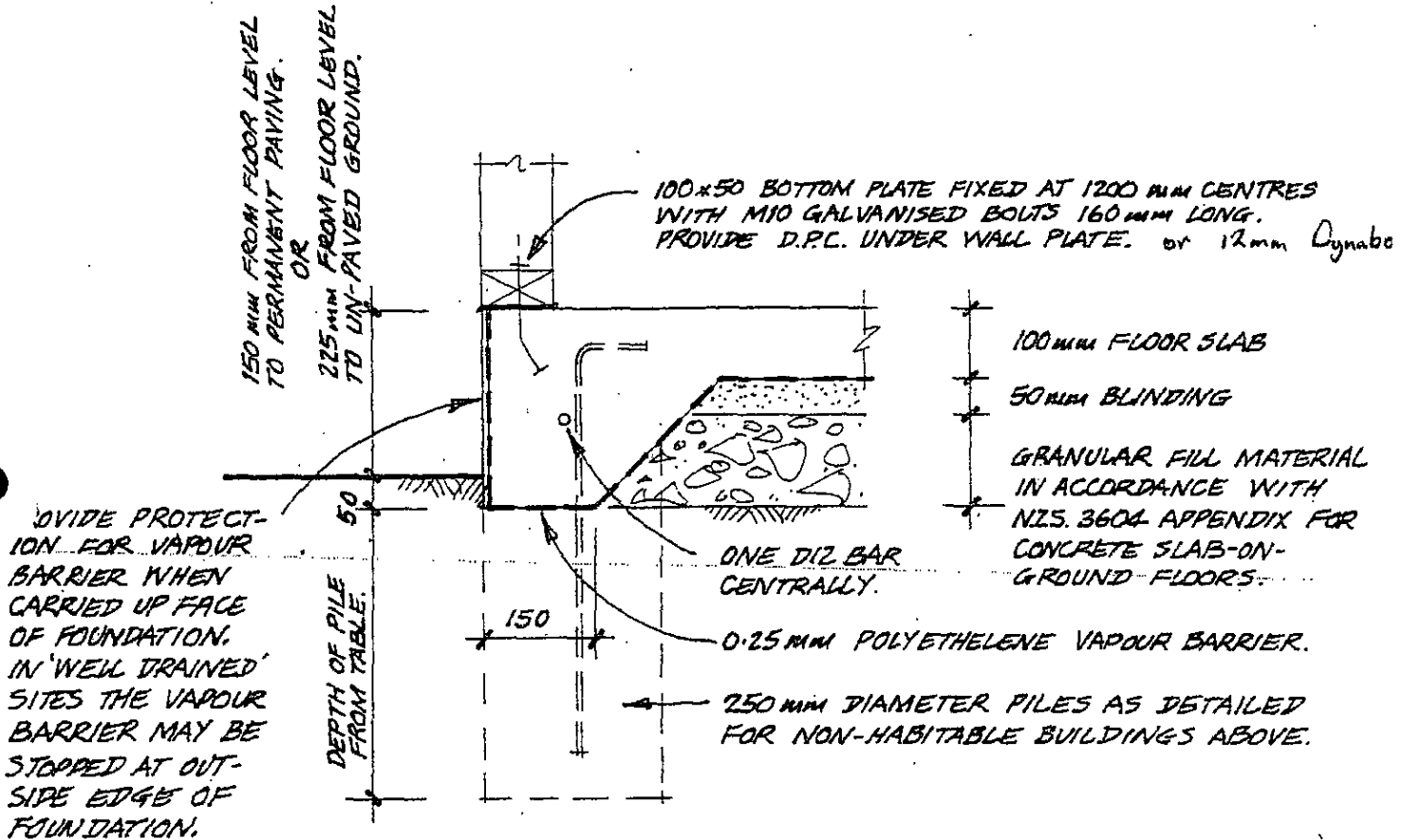
Kerry Andrew
General Manager
Ampelite (NZ) Limited





FOUNDATION DETAIL FOR NON-HABITABLE BUILDINGS

NOT APPLICABLE



FOUNDATION DETAIL FOR HABITABLE BUILDINGS.

PROJECT BRIEF STATEMENT

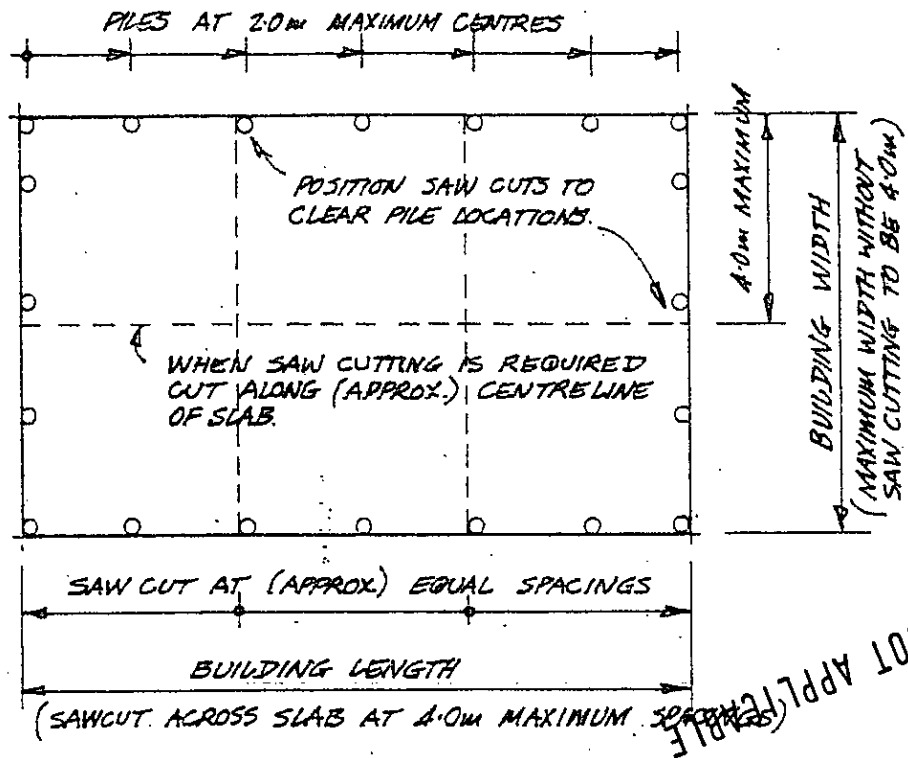
Client Information	Project Information
Date <u>15/08/2003</u>	Job No. <u>6764</u>
Client <u>Versatile Builders</u>	Project Name <u>Versatile</u>
Address <u>Box 21 783</u> <u>AUCKLAND</u>	Project Address <u>NZS 3604-1999</u> <u>Sites</u>

Thank you for your brief to undertake the proposed works described as single storey buildings constructed by Versatile

identified below and no other. The calculations and documentation which have been designed in accordance with the provisions of the New Zealand Building Code with respect of those areas indicated and subjected to the limitations stated. The precise limit of our site inspections as agreed with you for the purpose of us providing a Producer Statement to the Territorial Authority is as set out below.

Approved Document	CLC Responsibility		Within the Limitations Stated Below
	Design	Inspection	
B1 Structure	✓		design of foundations as shown on clc drawings 10067

1.5 AT 20m MINIMUM CENTRES



NOTES:

WHERE UN-REINFORCED CONCRETE FLOOR SLABS EXCEED 4.0m IN ANY DIRECTION PROVIDE SAW CUTS IN TOP OF CONCRETE SLAB TO INDUCE SHRINKAGE CRACKS TO FORM AT SAW CUTS.

THIS DESIGN REQUIRES PILES AND A CONCRETE FLOOR SLAB TO RESIST CODE LEVEL WIND UPLIFT FORCES. (THE PILES SPECIFIED IN THE TABLE ARE NOT ADEQUATE ON THEIR OWN TO RESIST THE WIND UPLIFT FORCES).

REFER TO TABLE BELOW FOR REQUIRED DEPTH OF PILE BELOW EDGE THICKENING.

ONLY PILES MORE THAN 300mm DEEP REQUIRE REINFORCING.

NOT APPLICABLE

PILE AND SLAB LAYOUT.

TABLE TO OBTAIN DEPTH OF PILE BELOW SLAB EDGE THICKENING (mm).

BUILDING LENGTH (MEASURED ALONG RIDGE)	WIND ZONE	BUILDING WIDTH (MEASURED ACROSS SPAN OF TRUSSES)									
		UP TO 3.0m		3.0m TO 4.2m		4.2m TO 4.8m		4.8m TO 6.0m		6.0m TO 7.2m	
		CLAY	SAND	CLAY	SAND	CLAY	SAND	CLAY	SAND	CLAY	SAND
UP TO 4.8m	L						300 mm		600	300	1000
	M		300 mm						1200	500	1600
	H				1100	350	1300	600	1700	950	2150
	VH		900	450	1500	600	700	900	2200	1400	N/A
4.8m TO 6.6m	L						300 mm				
	M		300 mm					600			1000
	H				600		900	350	1300	500	1600
	VH		400		1100	350	1300	600	1700	800	2000
6.6m TO 8.4m	L								300 mm		
	M		300 mm								700
	H						600		1050	350	1300
	VH		400		850		1000	450	1500	650	1700
8.4m TO 10.2m	L								300 mm		
	M		300 mm								450
	H								850		1200
	VH		400		700		950	350	1300	550	1600
10.2m TO 12.0m	L									300 mm	
	M		300 mm					300 mm			
	H								800		1100
	VH		400		650		850		1200	450	1500

NOT APPLICABLE

PLUMBING & DRAINAGE SPECIFICATIONS

DRAINAGE

General

Read with General Conditions of contract. The whole of the drainlaying work is to be carried out by a Registered Drainlayer and shall be in accordance with the NZ Building Code.

Extent of Work

Excavate for supply and lay all drains, fittings etc, necessary for the complete drainage of this building including both sanitary sewer and storm-water systems.

Materials

Shall be all good quality lines:

- (a) Pipes, first quality 100mm diameter PVC or approved title in accordance with NZS764:1981 and NZS4452:1986.
- (b) Fittings, gullies PVC NZS76604:1981
- (c) Install inspection fittings to sanitary sewer and stormwater drain as required in the NZ Building Code.

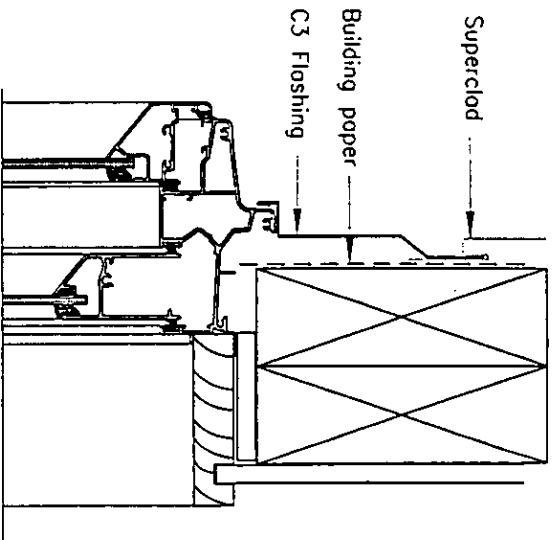
Laying

Excavate for and lay pipelines to even falls, complete with necessary bends, junctions, cleaning eyes and inspections. Fit rubber ring joints and clean out pipes as work proceeds. Connect up to appropriate outfall.

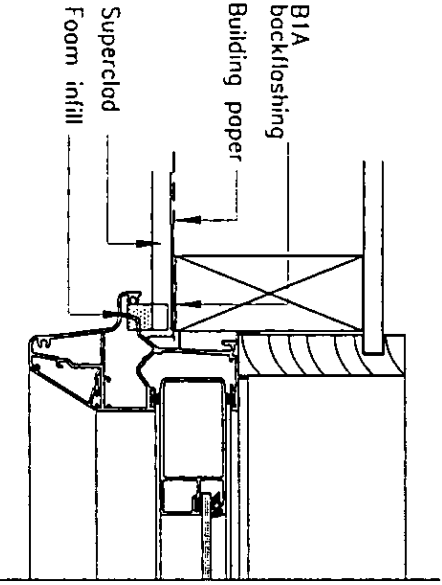
Completion

Sanitary sewer and stormwater drains must be tested to the Inspectors satisfaction and any defects made good before backfilling. Backfilling to be as original ground level.

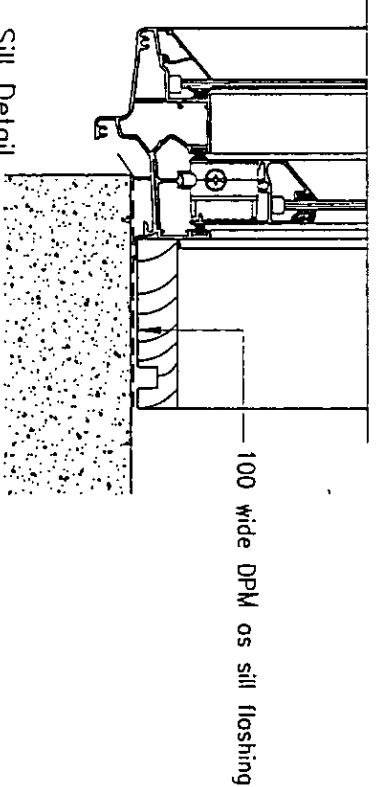
CONTINUATION TO DRAWING 117 WATER ON BRAM



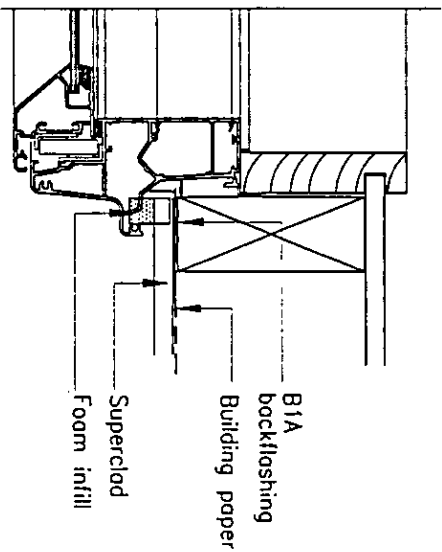
Head Detail
Aluminium Slider Section



Jamb Slider Detail
Aluminium Slider Section



Sill Detail



Jamb Slider/Opening Sash Detail

HEAD OFFICE:
117 WATER ON BRAM

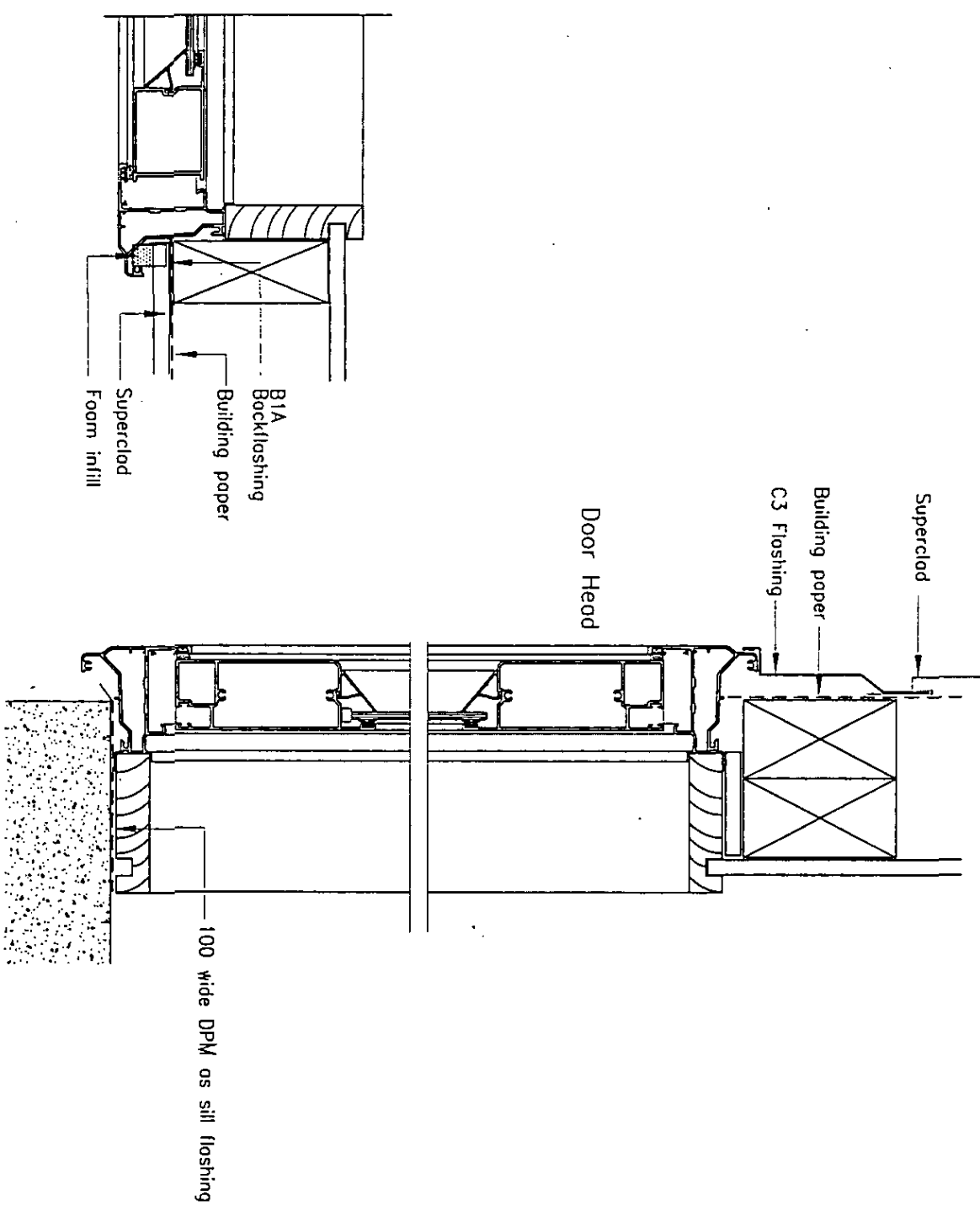
PH: (603) 248-8100
FAX: (603) 248-8000

RYLOCK
Rylock Aluminium Slider Profile

RYLOCK
Slider Flashing Details

RYLOCK
117 WATER ON BRAM
NEWTON, MASSACHUSETTS 02459
RYLOCK SLIDER FLASHING DETAILS

DATE	BY	REV	QTY
08/11/02	VB	Flash-001	1
08/11/02	VB	Flash-001	1



Door Jamb Detail

Door Head

Door Sill Detail

SECTION

Rylock Aluminium Door Profile

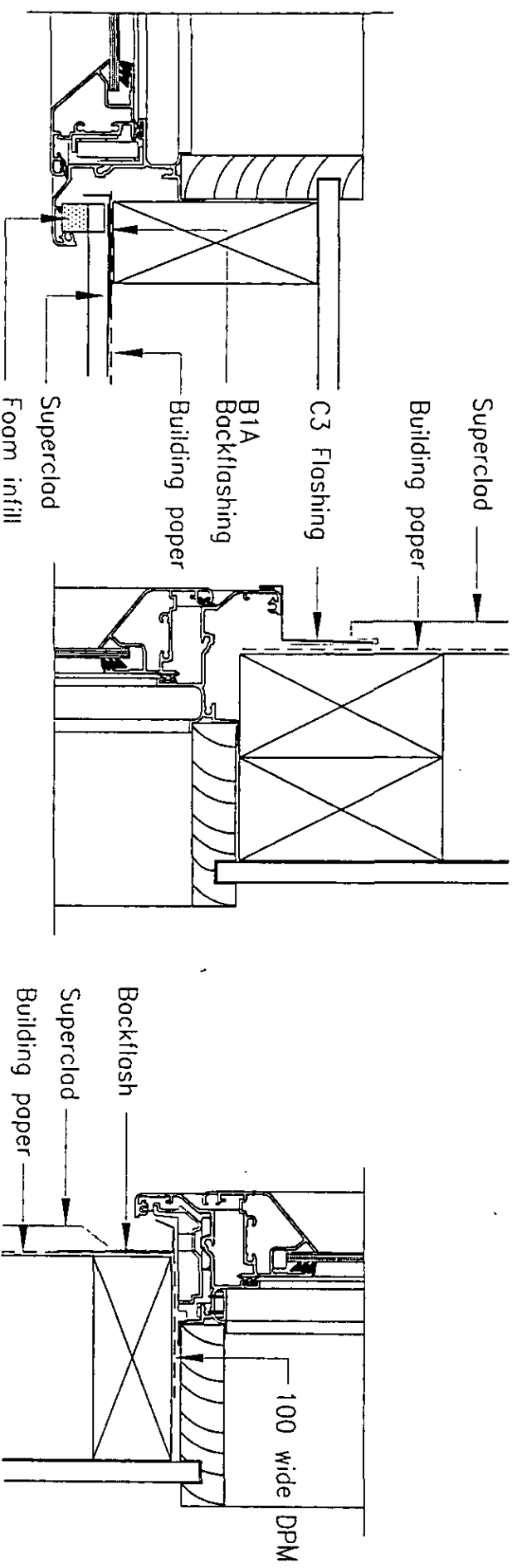
SECTION

Door Flashing Details

Notes:
 1. All dimensions are in millimeters unless otherwise stated.
 2. All dimensions are to the centerline unless otherwise stated.
 3. All dimensions are to the face unless otherwise stated.

SCALE: 2000
 DRAWN: VB Ltd
 DATE: OCT '02
 FLASH-003

1
 1



Jamb Detail

Head Detail

Sill Detail

Aluminium Window Section

Rylock Aluminium Window Profile

Window Flashing Details

RYLOCK ALUMINIUM WINDOW PROFILE
WINDOW FLASHING DETAILS
MILWAUKEE, WISCONSIN, U.S.A.

Oct'02

Colin



GIB® Residential Garage Boundary Walls

Supplement To: 'GIB® Fire Rated Systems, August 2001'

Scope of Use

The solution offered in this bulletin is intended for use when the NZBC Acceptable Solution C/AS1 requires a Fire Resistance Rating (FRR) for a single storey residential garage boundary wall on or within 1m from a property boundary. This information bulletin assumes that the garage or carport has a Fire Hazard Category of 1 as defined in Table 2.1 of C/AS1 - a standard single household garage for use by the household occupants only (SH purpose group) and is designed to comply with the NZBC with particular reference to C/AS1.

Compliance with the NZBC

- Under normal conditions of dry internal use GIB® Fire Rated Systems have a serviceable life in excess of 50 years and satisfy the requirements of NZBC Clause B2 — Durability.
- GIB® Fire Rated Systems provide passive fire protection in accordance with the requirements of NZBC Clause C3 — Spread of Fire.
- GIB® Residential Garage Boundary Walls satisfy the requirements of NZBC Clause C4 — Structural Stability during Fire¹ and have been specifically designed to fall inwards and away from the adjacent property boundary when collapse conditions are reached during a fire.

Selecting the FRR

If the garage meets the following conditions, the FRR of the boundary walls can be assessed from this information bulletin. For situations outside these conditions Part 5 and Part 7 of NZBC Acceptable Solution C/AS1 must be followed with respect to establishing the required FRR (S-Rating) and distance to the boundary.

- i) For small detached garages less than 40m² floor area and less than 1m from the boundary a 15/15/15 two way FRR is required.
- ii) For attached garages, and detached garages greater than 40m² floor area, and less than 1m from the boundary, a 30/30/30 two way FRR is required.
- iii) For garages 1m or more from the boundary no fire rating is required.
- iv) A carport can have 100% unprotected walls and roof (no FRR) if two sides of the perimeter are open, and:
 - a) the roof plan is less than 40m² and no part of the roof is closer than 0.3m to the boundary
 - b) the roof plan is greater than 40m² and no part of the roof is closer than 1m to the boundary

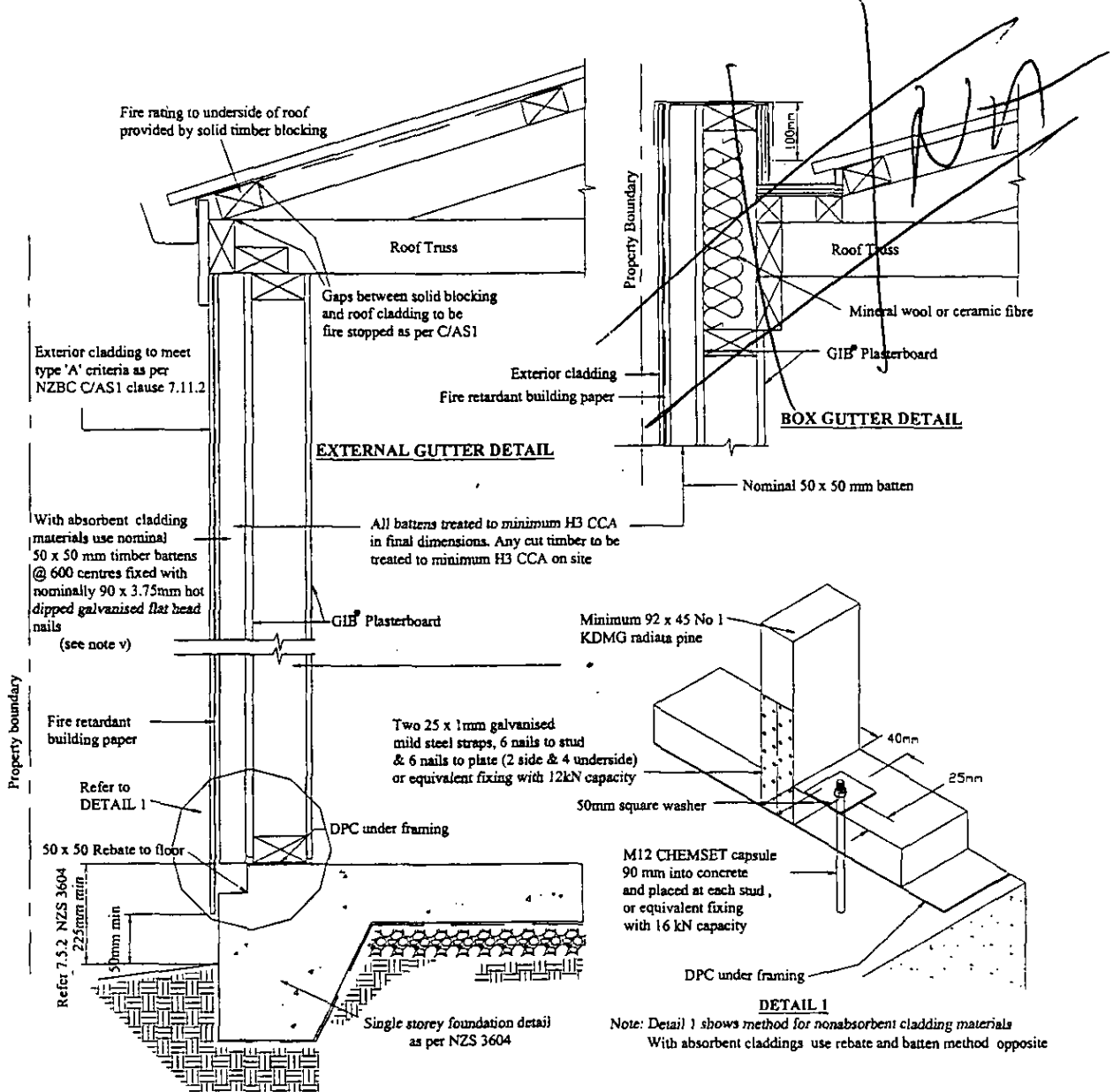
If these conditions are not met then the requirements of C/AS1 clause 7.8.10 must be complied with.

A garage or carport can be connected to a house without a FRR (between the garage and house) provided that the house is under the same ownership as the garage/carport and solely for the use of the occupants of the household.

¹ Reference: MacDonald Barnett Partners, Consulting Civil and Structural Engineers, Report No 5109 CRB, dated 13 October 1993, Producer Statement dated 1 March 1994, and letters/faxes dated 12/6/02, 28/6/02, 2/12/02 & 17/12/02.

Notes

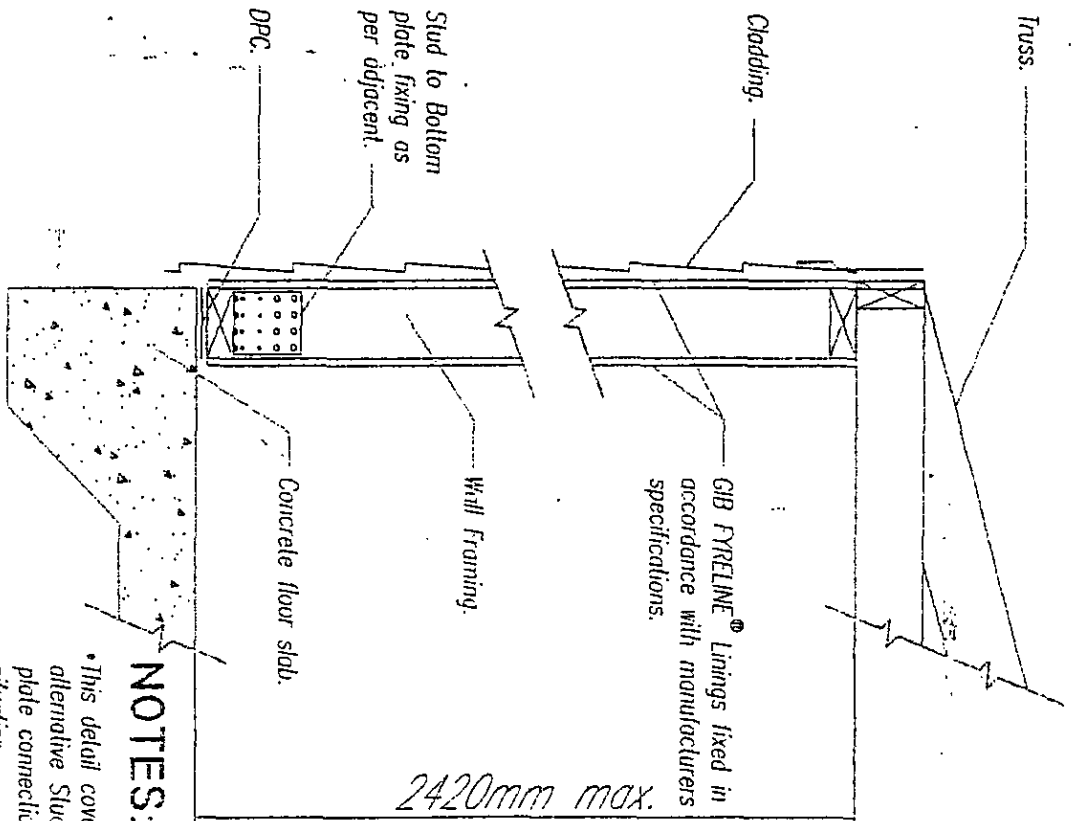
- i) When the wall is less than 1m from the boundary a two way fire rated system is required, constructed in accordance with 'GIB® Fire Rated Systems, August 2001'.
- ii) When the wall is less than 0.2m from the boundary, the garage walls at 90° to the boundary are required to have a fire rated return wall within the 0.2 metres from the boundary. The fire rating shall be the same rating as the boundary wall, if no fire rating is required for the boundary wall then a fire rated return wall is not required. Alternatively a fire rated wing wall complying with Table 7.3 of the NZBC Acceptable Solution C/AS1 could be constructed.
- iii) Sheet joints in GIB® Plasterboard linings under an external cladding do not require taping and stopping.
- iv) Impervious cladding materials with a ventilation air-space, such as corrugated steel or aluminum/PVC weatherboards, may be installed over fire retardant building paper directly over the external GIB® linings.
- v) Absorbent cladding materials, such as fibre-cement or polystyrene cladding systems, must be separated from the external GIB® linings by means of vertical battens with a nominal depth of 50mm, and fire retardant building paper behind the cladding material. The battens are to be treated to minimum H3 CCA in its final dimensions. Any cut timber is to be treated to minimum H3 CCA on site. Battens are to be fixed with nominally 90 x 3.75mm hot dip galvanised flat head nails.
- vi) Cladding materials must comply with the requirements of NZBC Acceptable Solution C/AS1 clause 7.11.2. This requires a 'Type A' cladding when the wall is within 1m of the boundary². Claddings classified as 'non-combustible' will meet the Type A criterion. Typical examples are concrete, brick and steel claddings. Cellulose fibre-cement with finishes/coatings less than 1mm thick will also typically be classed Type A. Products such as plywood and timber or PVC weatherboards will not meet the Type A requirement and therefore cannot be used when the wall is within 1m of the boundary.
- vii) The drawings below assume a standard wall height up to 2.4m and a stud spacing of 600mm. Walls up to 2.8m require stud spacing at 450mm and walls up to 3m require studs at 400mm.
- viii) For retrofit situations please contact the GIB® Helpline on 0800 100 442 for other options.



² The cladding is tested to AS/NZS3837 at an irradiance of 50kW/m² for a duration of 15 minutes and also is required to meet the requirements of C9.1 of the NZBC Acceptable Solution C/AS1.

Cross section through firewall

Detail G

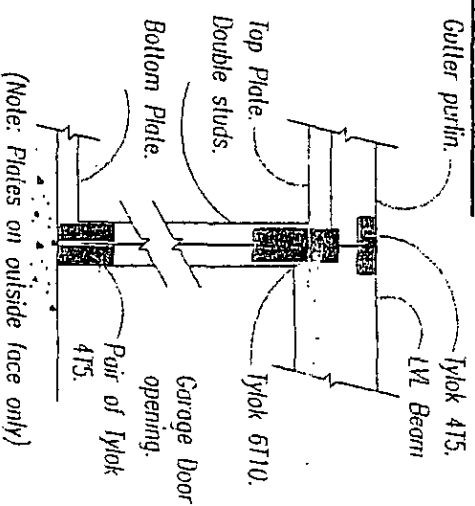


NOTES:

- *This detail covers an alternative Stud to Bottom plate connection for a firewall situation.
- *Firewalls are applicable for studs @ 600mm cts only

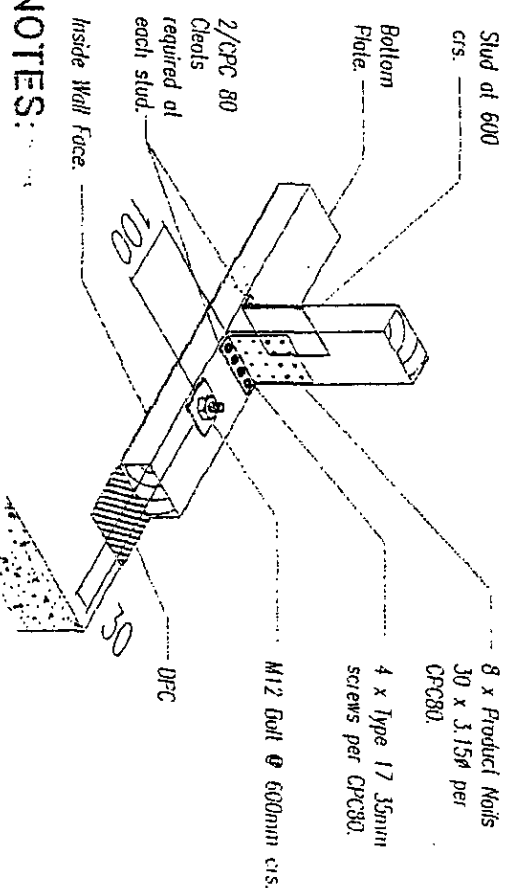
Detail H

LVL Beam Connection



Detail I

Firewall stud connection

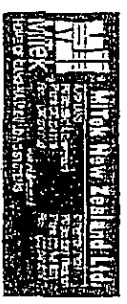


NOTES:

- * Fixing components are available in a pack, including:

- 2 x CPC80 cleats
- 16 Product Nails 30 x 3.15 ϕ Galv.
- 8 x Type 17 35mm Hex head screws Galv.

- * Both faces of wall clad in fireproof lining. Not shown for clarity.



VERSATILE BUILDINGS LTD

Construction Details

COPYRIGHT: THE AMERICAN HOUSE BE REPRODUCED WITHOUT EXPRESS PERMISSION OF MITER NZ LTD OR VERSATILE BUILDINGS LTD.

DRAWING TITLE: Fire Wall LVL Details

DESIGN: S.A. Coll DRAWING: VB2000-9

DRAWN: YB Ltd DATE: Jul '02

SHEET: 9 OF SHEET 18

14 DEC 2009

MAIL CENTRE

Waitakere City Council
Te Tatao o Waitakere

Request to Process Additional Information for CCC

Send to: Inspection Support
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

Please complete and return to the Council with your response

Further information requested by the Council

Application Number: ABA-2009-1617
Property address: 31 Victory Road, LAINGHOLM

Further Information/Certificates attached:

PLUMBERS FORM
CODE COMPLIANCE CERTIFICATE
FIRM HOLD REGISTERED CERTIFICATE
CHEQUE FOR \$145.10
AFFIDAVIT ADVICE

NOTE 440411
CHEQUE FOR
\$ 145.00
TO CASHIERS

PLEASE NOTE THAT COUNCIL WILL ONLY ACCEPT ORIGINAL OR CERTIFIED COPY CERTIFICATES AND PRODUCER STATEMENTS

Name: _____ Signed: _____ Date: _____

Chief Executive	
Corporate Services	
City Services	
Moselle	
Consultancy Services	
ECO - WATER	
Strategic Group	
Consent Services	<input checked="" type="checkbox"/>
Field Services	

(Please Detach and return with payment)



Waitakere Central	Waitakere City Council	Telephone
6 Henderson Valley Rd	Private Bag 93109	09 839 0400
Henderson 0612	Henderson 0650	
Waitakere	Waitakere	

Invoice Date:	20 November 2009	Application:	DAP
Invoice Number:	440411	Debtor Number:	330987
Name:	K G Hitchens	Payment Reference:	374545
Application:	ABA-2009-1617	Invoice Total:	145.10



WAITAKERE CITY COUNCIL
PB 93-109 HENDERSON
PH No 09 839 0400
GST NO 52-211-247
OFFICIAL RECEIPT

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Receipt No: 3017267
Receipt Date: 14-DEC-2009

Debtors Receipt 330987
374545 145.10


Cheque -145.10
K G Hitchens

Receipt Amount: 145.10
Tendered Amount: 145.10
Change Issued:
Rounding Amount:

Total GST:

Transaction	Doc. Date	Doc. Type	Company	Curr.	Reversal Date	Header Text	Order	Line Text
FB01	011209	sa	WCC1	0112 NZD		internal invoices 011209INTB		
		Posting Key	Account	Sp.G/L	Amount	Tax	Tax Code	Allocation
40			78060		702.28			aba-2009-1594 32 Gilliam Street
40			22020		87.72			aba-2009-1594 32 Gilliam Street
40			78060		707.74			aba-2009-1658 36A Gilliam Street
40			22020		88.41			aba-2009-1658 36A Gilliam Street
40			78060		707.74			aba-2009-1657 36 Gilliam Street
40			22020		88.41			aba-2009-1657 36 Gilliam Street
40			78060		779.30			aba-2009-1656 34 Gilliam Street
40			22020		97.35			aba-2009-1656 34 Gilliam Street
40			65010		444.47		7L TES-07-041	aba-2009-1617 31 Victory Road
40			22020		55.53			aba-2009-1617 31 Victory Road
40			74000		1985.50		4AC-07-047	com-2009-1482 2 Mt Lebanon Lane - WCC Residential
40			22020					com-2009-1482 2 Mt Lebanon Lane - WCC Residential
40			74000		1095.00		4AC-07-047	VXG-2009-1200 2 Mt Lebanon Lane - WCC Residential
40			22020					VXG-2009-1200 2 Mt Lebanon Lane - WCC Residential
40			22020					
40			10534		6839.45			011209INTB internal charges 011209INTB
50		Total			0.00			

6839.45



Tracey Tamakehu
 Manager
 Regulatory Administration

Pam Vonk

From: Carol Bergquist
Sent: Tuesday, 24 November 2009 11:34 a.m.
To: Pam Vonk
Subject: RE: ABA-2009-1617 31 Victory Road, LAINGHOLM - SOLAR HEATER CONSENT

The cost centre is 3430
 SAP code is WBS 7LTES-07-041
 Can you please record this somewhere so you don't have ask each time

Carol Bergquist manager

Code is 65010 7LTES-07-041

Environment Strategy - Waitakere City Council
 PH: 64 9 836 8000 x 8335

From: Pam Vonk
Sent: Tuesday, 24 November 2009 11:13 a.m.
To: Carol Bergquist
Subject: RE: ABA-2009-1617 31 Victory Road, LAINGHOLM.-SOLAR HEATER CONSENT

Hi Carol,

We do not deal with particular SAP Charge Codes here in CPU, please would you provide the correct GL Code as the ones you have given me correctly are the 6 digit Element code 65010 and WBS 7LTES-07-041. I need the correct GL Code or SAP Cost Centre though please as well to get it signed off..

Regards Pam

From: Carol Bergquist
Sent: Tuesday, 24 November 2009 9:38 a.m.
To: Pam Vonk
Subject: RE: ABA-2009-1617 31 Victory Road, LAINGHOLM - SOLAR HEATER CONSENT

Fine - I think the code is 65010 - it's your code so I have no reference just have to remember

Carol Bergquist manager

Environment Strategy - Waitakere City Council
 PH: 64 9 836 8000 x 8335

From: Pam Vonk
Sent: Tuesday, 24 November 2009 8:29 a.m.
To: Carol Bergquist
Subject: FW: ABA-2009-1617 31 Victory Road, LAINGHOLM - SOLAR HEATER CONSENT

Hi Carol,

Please would you authorise this for me. It was previously authorised by you for \$466.10 on 18.11.09 but I had not charged CCC and therefore we require a new authorisation for the full \$500.00 but with the full 5 digit GL Code also which was missed before (as seen below).

Thankyou.

24/11/2009



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

TAX INVOICE

GST Registration Number

52-211-247

WAITAKERE CITY COUNCIL
Private Bag 93109
Henderson
WAITAKERE 0650

Date: 20 November 2009
Customer No: 300209
Invoice No: 440404

Application Location: 31 Victory Road, LAINGHOLM

Application: ABA-2009-1617

Fee Code	Transaction Description	Amount
RECORD	Records Fee	16.00
PICKUP	Issuing Fee	22.75
COUNTR	Counter Processing Fee	69.30
INSBSE	Base Inspection Fees	178.00
CCCBSE	Code Compliance Fee	179.00
PLNPRO	Plan Processing Fee	34.95

This account includes a total GST content of \$55.53

Invoice Total 500.00
Invoice Due 4 December 2009

Remittance Advice:
(Please Detach and return with payment)



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

Invoice Date: 20 November 2009

Application: DAP

Invoice Number: 440404

Debtor Number: 300209

Name: WAITAKERE CITY COUNCIL

Payment Reference: 374545

Application: ABA-2009-1617

Invoice Total: 500.00



Waitakere City Council
Te Taiāo o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

REMOVED

Ref: Chris Wadsworth
(Field Services)

08 January 2009

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

STREET ADDRESS:

31 Victory Road, LAINGHOLM

LOT 644 DP 32446

SWP:

SWIM-1999-14672

A recent inspection of your property has revealed that the Spa pool has been removed. Council acknowledges this and will remove all requisitions relating to any pool fencing from our records.

Should you consider replacing the pool at any time in the future, please ensure that building consent is obtained beforehand.

Should you have any queries in relation to this matter please feel free to contact me.

Yours faithfully

Chris Wadsworth
Pool Fencing Officer
FIELD SERVICES

Swimming/Spa Pool Fencing Inspection Form

ENTERED

Carl Hitchins
8168708

Waitakere City Council
Te Taiāo o Waitakere

Date Inspected: 07.01.09

SWIM-1999-14672

Inspectors Name: Reg Pritchard Neville Exler Chris Wadsworth

Site Address: 31 Victory Rd, Laingholm

Licence Number:

Inspection Type: Primary Secondary

	Yes	No
Occupants Home	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Left Calling Card	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fee Paid	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fee Required		
Registration Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Re-Inspection Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Category of Pool

~~Swimming Pool~~

- | | |
|---|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground Pool |
| <input type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Indoor Pool | <input type="checkbox"/> Unknown |

Spa Pool OR Secondary Pool/Spa

- | | |
|--|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground |
| <input checked="" type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Above Ground On Deck | <input type="checkbox"/> Indoor Spa |
| <input type="checkbox"/> Unknown | |

Outcome of Inspection

Compliant

- Meets the required standard
 Has been partially drained (below 400mm) or emptied
 Swimming/Spa pool has been removed

Non Compliant

- Does not meet the required standard
 Inspector was unable to gain access to the immediate swimming pool area
 Process to be placed on hold and reviewed at a later date
Review date:
 Requires immediate enforcement
 Unable to gain access the ISWPA
 Updated non compliance letter required (for re-inspection only)
Date of planned re-inspection:

Non Compliance Conditions

FENCE

- F01** Provide a fence to the ISWPA so as to prevent direct access from
- F02** Ensure that the Swimming/Spa pool fence is a minimum height of 1.2m.
- F03** Ensure that the gap beneath the Swimming/Spa pool fence is not greater than the maximum allowable 100mm.
- F04** Remove any climbable objects (lower than 1.2m) from within 1.2m of the outside of the Swimming/Spa pool fence. If any objects are unable to be removed, the Swimming/Spa pool fence must be raised to a minimum height of 1.2m above, and 1.2m past either side of each object.
- F05** Ensure that there is a minimum gap of 900mm between either the bottom and middle rails, or the top and middle rails of the wooden fencing, or the middle rail must be removed or made otherwise un-climbable.

GATES

- G01** Ensure that the Swimming/Spa pool gates are self closing and self latching from a stationary measured distance of 150mm, and swing away from the ISWPA.
- G02** A latching device must be fitted at either 1.2m if located on the inside of the gate, and if accessible only by reaching over the gate (not accessible through the gate), or 1.5m if located outside the gate.
- G03** Ensure that the gap beneath the Swimming/Spa pool gate is not greater than the maximum 100mm.

DOORS

- D01** Ensure that all swinging doors which provide access to the ISWPA are made self closing and self latching from a stationary measured distance of 150mm, and are swinging away from the ISWPA. A latching device must also be fitted to each door at a minimum height of 1.5m. NOTE: sets of doors must operate (latch and close) independently of each other.
- D02** Provide bolts to all sliding or sliding-folding doors which provide access to the ISWPA at a minimum height of 1.5m.

WINDOWS

- W01** Provide all lower windows (below 1.2m) which open into the ISWPA with permanent stays which restrict the window opening to a maximum of 100mm.

MISCELLANEOUS

- M01** Remove all items not associated with the use of the Swimming/Spa pool from within the ISWPA i.e. clothes lines, gardening equipment, general storage etc.
- M01a** Isolate the landscaped area from the immediate Swimming/Spa pool area.
- M02** You are required to thoroughly clean the Swimming/Spa pool so as to prevent the breeding of mosquitoes.
- M03** The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade cloth etc).
- M04** The medium gap trellis, 10mm-50mm, must be raised to the minimum height of 1.8m.
- M05** The lower hanging limbs (below 1.2m) of the trees which are within 1.2m of the Swimming/Spa pool fence are to be trimmed or removed. NOTE: only those which would support the weight of a child 0-6 years.
- M06** Ensure that any other fences or handrails etc which abut the Swimming/Spa pool fencing are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e. would themselves comply with the Act.
- R01** Registration of the Swimming/Spa pool is required (\$69.00).

DETAILED SKETCH OF SWIMMING/SPA POOL AND ASSOCIATED FENCING

SITE NOTES



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Ref: Chris Wadsworth
(Field Services)

16 December 2008

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 31 Victory Road, LAINGHOLM
LOT 644 DP 32446
SWP: SWIM-1999-14672

A Swimming Pool Inspector called to inspect your pool fence recently but was unable to gain access to the pool area.

Would you please telephone Council's Swimming Pool Advisor at the Civic Centre on phone number 839 0400, to arrange a suitable time to carry out an inspection to ensure that your pool is fenced in accordance with the Fencing of Swimming Pools Act 1987.

I would ask that you arrange for this inspection to occur promptly in order to facilitate the inspection process and help ensure that children are kept safe from drowning.

Yours faithfully

Chris Wadsworth
Pool Fencing Inspector
FIELD SERVICES

Swimming/Spa Pool Fencing Inspection Form

ENTERED

Date Inspected: 11.12.08

Inspectors Name: Reg Pritchard Neville Exler Chris Wadsworth

Site Address: 31 Victory Rd, Laingholm

Licence Number:

Inspection Type: Primary Secondary

	Yes	No
Occupants Home	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Left Calling Card	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Fee Paid	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fee Required		
Registration Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Re-Inspection Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Category of Pool

- Swimming Pool**
- | | |
|---|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground Pool |
| <input type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Indoor Pool | <input type="checkbox"/> Unknown |

- Spa Pool** OR **Secondary Pool/Spa**
- | | |
|---|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground |
| <input type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Above Ground On Deck | <input type="checkbox"/> Indoor Spa |
| <input type="checkbox"/> Unknown | |

Outcome of Inspection

Compliant

- Meets the required standard
- Has been partially drained (below 400mm) or emptied
- Swimming/Spa pool has been removed

Non Compliant

- Does not meet the required standard
- Inspector was unable to gain access to the immediate swimming pool area
- Process to be placed on hold and reviewed at a later date
Review date:
- Requires immediate enforcement
- Unable to gain access the ISWPA
- Updated non compliance letter required (for re-inspection only)
Date of planned re-inspection:

Non Compliance Conditions

FENCE

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- F02 Ensure that the Swimming/Spa pool fence is a minimum height of 1.2m.
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- F05 Ensure that there is a minimum gap of 900mm between either the bottom and middle rails, or the top and middle rails of the wooden fencing, or the middle rail must be removed or made otherwise un-climbable.

GATES

- G01 Ensure that the Swimming/Spa pool gates are self closing and self latching from a stationary measured distance of 150mm, and swing away from the ISWPA.
- G02 A latching device must be fitted at either 1.2m if located on the inside of the gate, and if accessible only by reaching over the gate (not accessible through the gate), or 1.5m if located outside the gate.
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DOORS

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- D02 Provide bolts to all sliding or sliding-folding doors which provide access to the ISWPA at a minimum height of 1.5m.

WINDOWS

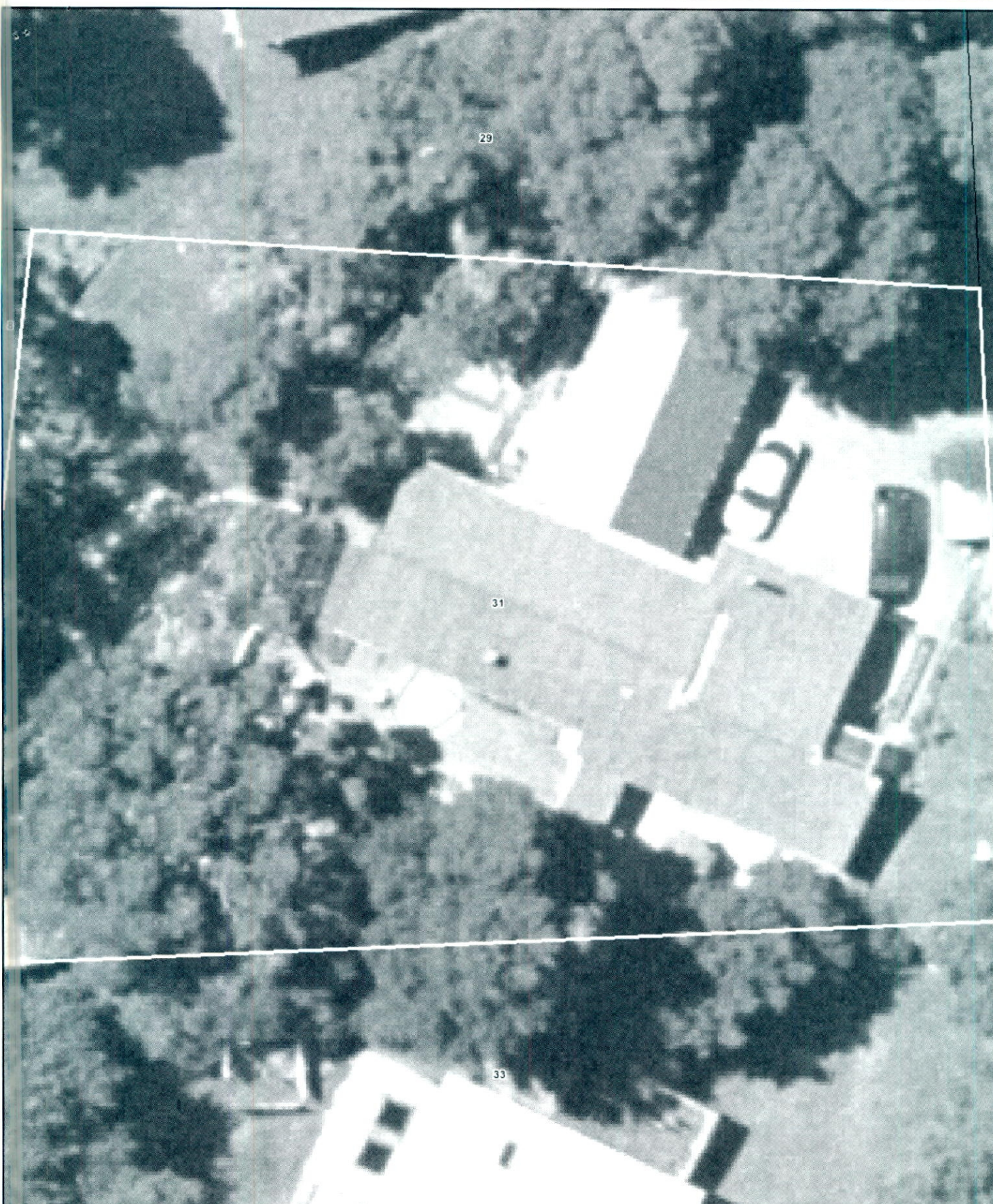
- W01 Provide all lower windows (below 1.2m) which open into the ISWPA with permanent stays which restrict the window opening to a maximum of 100mm.

MISCELLANEOUS

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- M03 The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade cloth etc).
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- M06 Ensure that any other fences or handrails etc which abut the Swimming/Spa pool fencing are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e. would themselves comply with the Act.
- R01 Registration of the Swimming/Spa pool is required (\$69.00).

DETAILED SKETCH OF SWIMMING/SPA POOL AND ASSOCIATED FENCING

SITE NOTES



29

31

33

11/12/2008

31 Victory Rd, Laingholm

Cadastral Information from
Land Information New Zealand
Digital Cadastral Database DCDB
Crown Copyright Reserved.



Scale = 1:193 @ A4

Services shown on public amenity land are not public drains unless used as through drains. While Council endeavours to provide accurate spatial data no guarantee as to the completeness and accuracy of the data shown on this plan can be given. All information, including levels and locations, are not of survey grade accuracy and should be verified on site. For enquiries about the information shown please phone the call centre (09) 839 0400.



Waitakere City Council
Te Taiao o Waitakere



Waitakere City Council
Te Taiaro o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

Refer: Dean Nuralli; Field Services : Ref: AA
Extension No. 8670 : 131 Lincoln Road

26 July 2002

STEPHEN GEORGE GRIFFITHS
31 VICTORY RD
LAINGHOLM
WAITAKERE CITY 1007

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

STREET ADDRESS: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007

LOT 644 DP 32446

OUR REFERENCE: SWP99001232

A recent inspection of the above property has revealed a Spa pool exists, and at the time of the inspection your Spa pool was partially drained/empty.

Should your pool be refilled to a level greater than 400mm then full compliance to the Fencing of Swimming Pools Act is required, and Council notified.

Council will review the pool fencing periodically to check its status.

Yours faithfully

pp Jason Sheehan

Dean Nuralli
Operations Compliance Manager
FIELD SERVICES

SWP4



Waitakere City Council
Te Taiāo o Waitakere

SWIMMING/SPA POOL INSPECTION FORM

DATE INSPECTED: 25/7/02 FEE REQUIRED (tick box)

INSPECTORS NAME: Jason Sheehan

SITE ADDRESS: 31 Victory Place Road

(TICK APPROPRIATE BOX/ES THAT ARE APPLICABLE)

SPA:

SWIMMING POOL:

INGROUND:

ABOVE GROUND:

OTHER: _____
(State Where)

SWIMMING/SPA POOL RESULTS

(TICK APPROPRIATE BOX/ES APPLICABLE)

COMPLYING	SWP 5
REMOVED	SWP 3
PARITAL DRAINED/EMPTY	<input checked="" type="checkbox"/> SWP 4
UNABLE TO GAIN ACCESS	SWP 1
NEW NON COMPLYING	SWP 8
PROVIDE A FENCE TO THE IMMEDIATE SWIMMING/SPA POOL AREA	
PROVIDE A GATE TO THE IMMEDIATE SPA/SWIMMING POOL FENCE AREA	
ENSURE THE SPA /SWIMMING POOL GATE IS SELF CLOSING & SELF LATCHING, SWINGING AWAY FROM THE POOL AREA	
PROVIDE THE LOWER WINDOWS WITH LATCHES THAT RESTRICT FROM OPENING NO MORE THAN 100MM	
ENSURE THE SPA/SWIMMING POOL FENCE IS GREATER THAN OR EQUAL TO A HEIGHT OF 1200MM.	
PROVIDE ALL DOORS (THAT GIVE DIRECT ACCESS TO THE SPA/SWIMMING POOL AREA) WITH BOLTS GREATER THAN OR EQUAL TO A HEIGHT OF 1500MM	
REMOVE ALL OTHER APPLIANCES FROM THE IMMEDIATE POOL AREA (IE) CLOTHELINE, BBQ ETC.	

OTHER COMMENTS:



Waitakere City Council
Te Taiāo o Waitakere

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6 Waipareira Ave
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Facsimile
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DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

19 March 1999

Private Bag 93109
Henderson
Waitakere City

Refer: Mr Donaghy : jc (Field Services)
Extn. 8651 (Civic Centre)

Mr & Mrs Griffiths
31 Victory Road
Laingholm
WAITAKERE CITY

Dear Sir/Madam,

FENCING OF SWIMMING POOLS - LOT NO: 644 DP NO: 32446
STREET ADDRESS: 31 VICTORY ROAD, LAINGHOLM

Pursuant to the Fencing of Swimming Pools Act 1987 all owners of swimming pools must ensure that pools are fenced in accordance with that Act.

Following a recent inspection of your property it is apparent that your pool is not fenced in the manner required by the Act. Please undertake without delay all necessary work to ensure that your swimming pool complies with the attached guidelines. From our inspection it is apparent that the following matters require attention:

Entry Doors to Spa Pool

1. Be self-closing.
2. Have a latching device.
Latching device to be at least 1.5 metres above the ground on the outside of the fence.

When completed, please fill in the enclosed form and return to Council along with the fee so that a final inspection can be made to check for compliance.

The Fencing of Swimming Pools Act 1987 provides:

"8. **Obligations of owner and persons in control of pool -**

- (1) Every owner of a pool to which this Act applies shall ensure that, except as provided in any exemption granted under Section 6 of this Act, the pool, or some or all of the immediate pool area including all of the pool, is fenced by a fence that complies with the requirements of the Schedule to this Act at all times when this Act applies in respect of the pool...
- (3) Every person who has possession of the property on which any pool to which this Act applies is situated shall ensure that the pool is not filled or partly filled with water at any time when the person knows or could reasonably be expected to know that any obligation imposed by this section on that or any other person is not being complied with....

In the interests of public safety the Council intends to enforce the requirements of the Fencing of Swimming Pools Act 1987. If further clarification is required in respect of this matter please contact the undersigned.

Yours faithfully


Ted Donaghy
BUILDING SURVEYOR

BUILDING CONSENT NO: _____

TO: REGULATORY SERVICES
WAITAKERE CITY COUNCIL
PRIVATE BAG 93109
HENDERSON

REGISTRATION OF SWIMMING POOL
FOR COMPLIANCE OF POOL FENCING PURSUANT TO
THE FENCING OF SWIMMING POOLS ACT 1987

OWNERS NAME:	MR & MRS GRIFFITHS	
SITE ADDRESS OF POOL:	31 VICTORY ROAD HAINGHOU M	
LEGAL DESCRIPTION:	LOT NO: 644	DP: 32446
POOL TYPE:	PARA <input type="checkbox"/> ABOVE <input type="checkbox"/> INGROUND <input type="checkbox"/> SPA <input checked="" type="checkbox"/> GROUND	
CORRESPONDENCE ADDRESS:		

I/WE request an inspection of the fences around the pool at the above address. The following arrangements have been made for the security of the pool.

HAS PREVIOUS INSPECTED WE WERE
 REQUIRED TO PUT SELF LOCKING LATCHES
 ON DOORS & SPOUTING ON ROOF OF THE
 SPA, ALL THIS WORK HAS BEEN DONE
 FOR THE FINAL INSPECTION FOR THE SAFETY
 & SANITARY INSPECTOR

Complies with plan
 18/5/99

Signature: K Griffiths

Phone No: 817 4206

Date: 18.5.99.

50198/2

FEE PAYABLE: \$55.00 (Existing Pools Only)

20 May 1999

Private Bag 93109
Henderson
Waitakere City

Refer: Mr Donaghy: jc (Consent Services)
Extn. 8651 (Civic Centre)

Mr & Mrs Griffiths
31 Victory Rd
Laingholm
WAITAKERE CITY

ENTERED

Dear Sir/Madam,

FENCING OF SWIMMING POOLS ACT 1987
PROPERTY LOCATION: 31 VICTORY RD, LOT 644 DP 32446

Further to our letter of 19.3.99 we are able to advise that the pool fencing now complies with the minimum standard set out in the Act.

The Council is to be notified prior to the commencement of any works to the fence that bring about non-compliance with the minimum standards as specified in this Act.

A further review of the fencing will be required in three (3) years to check compliance.

Yours faithfully



Ted Donaghy
BUILDING SURVEYOR



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Ref: Chris Wadsworth
(Field Services)

08 January 2009

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

STREET ADDRESS:

**31 Victory Road, LAINGHOLM
LOT 644 DP 32446**

SWP:

SWIM-1999-14672

A recent inspection of your property has revealed that the Spa pool has been removed. Council acknowledges this and will remove all requisitions relating to any pool fencing from our records.

Should you consider replacing the pool at any time in the future, please ensure that building consent is obtained beforehand.

Should you have any queries in relation to this matter please feel free to contact me.

Yours faithfully

Chris Wadsworth
Pool Fencing Officer
FIELD SERVICES

Ref: Chris Wadsworth
(Field Services)

16 December 2008

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 31 Victory Road, LAINGHOLM
LOT 644 DP 32446
SWP: SWIM-1999-14672

A Swimming Pool Inspector called to inspect your pool fence recently but was unable to gain access to the pool area.

Would you please telephone Council's Swimming Pool Advisor at the Civic Centre on phone number 839 0400, to arrange a suitable time to carry out an inspection to ensure that your pool is fenced in accordance with the Fencing of Swimming Pools Act 1987.

I would ask that you arrange for this inspection to occur promptly in order to facilitate the inspection process and help ensure that children are kept safe from drowning.

Yours faithfully



Chris Wadsworth
Pool Fencing Inspector
FIELD SERVICES

Street Damage Inspection

Auditors Checklist



4:19pm

COM 2004/1782-VXG 20...../.....

Reference Number : ABA 20...../.....

Date: 10 / 4 / 2013

31 Victory Road

Suburb: Langhalm

Compliance Auditor's full name:

Emailed Date to AC: 17 / 4 / 2013

STREET DAMAGE BOND OUTCOME

- Roadway Pass Fail NA Comments.....
- Kerb and Channel Pass Fail N/A Comments.....
- Grass Berm Pass Fail NA Comments.....
- Footpath Pass Fail N/A Comments.....
- Vehicle Crossing Condition Pass Fail NA Comments.....

Redundant VC removed Pass Fail N/A Comments.....

Street Trees Pass Fail N/A Comments.....

Road Signs Pass Fail N/A Comments.....

Other Street Furniture and Fittings Pass Fail N/A Comments.....

Passed Failed

Release Bond: No Damage No additional damage

Hold Bond: Charge No Further Charge Letter Required

Date Failed Letter Sent ____/____/2012 On Hold / Awaiting Customer Action

Notes:

There are some chips on the berm, but it seems that they are doing some other work inside the driveway so the chips are most likely from that.

Berm Reinstatement Required Y / N Remove Spoil (Rubbish Rocks Stones) Y / N

Compacted Topsoil Y / N Grass Seed Y / N

Date Inspected : 12 / 04 / 2012

Time Required (on Site) : 10

Signed : Michael Herrant

Photos In Sharepoint

Street Damage (AT)

From: Nicole Daniels <Nicole.Daniels@aucklandcouncil.govt.nz>
Sent: Wednesday, 10 April 2013 10:36
To: Street Damage (AT)
Subject: COM-2004-1782, 31 Victory Road, LAINGHOLM

Hi, can I please arrange a final VXG inspection for the above consent - **VXG-2004-906**

Owner has sent in the request for refund form on 2/4/13, however I have checked again today and no VXG final bond inspection has taken place as of yet. Can you please send someone out.

DESCRIPTION: New Cottage

RE: COM-2004-1782, 31 Victory Road, LAINGHOLM

Customer Name: K G Hitchens - 0274417656 (Mobile)
Mailing address: 31 Victory Road, Laingholm, AUCKLAND 0604

The Building Consent **COM-2004-1782**, has passed it's final inspections / CCC issued.

Please arrange a street damage inspection

forward all VXG Inspection Results to '**GRP WCC InspSupport**' mailbox.

Cheers

Nicole Daniels | Process Support Administrator

Auckland Council -Western Building Control

Level 1, Western Building, 6 Henderson Valley Road, Henderson

Ph: 09 301 0101 | Ext: (42) 8034 | Fax: 09 301 0100

Email: nicole.daniels@aucklandcouncil.govt.nz

Visit our website: www.aucklandcouncil.govt.nz



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Waitakere City Council
Te Taiā o Waitakere

Waitakere City Council
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Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

Refer: Mr J Cox : (Field Services)
Extn. 8680 (Civic Centre)

11 June 2003

S G Griffiths
31 Victory Rd
Laingholm
Waitakere City Council

Dear Sir/Madam

SAFE & SANITARY REPORT
PROPERTY LOCATION: 31 VICTORY RD, LAINGHOLM
LOT 644 DP 32446

Further to our previous letter sent dated 29 May 2003 we now advise that the 5 requirements listed have now been completed and the said works are in a safe and sanitary condition, therefore no further action will be initiated by Council unless the building becomes dangerous or insanitary as specified under S64 of the Building Act 1991.

Yours faithfully

J Cox
BUILDING COMPLIANCE
FIELD SERVICES

Please ring S Griffiths + confirm inspection time

REQUISITION INSPECTION FIELD SHEET

OWNERS NAME: S & K GRIFFITHS

PH: NO: 817 4206 MOB NO: _____ FAX NO: _____

SITE ADDRESS: 31 VICTORY ROAD HAINYHOLM

LOT NO: 644 DP NO: 32446 REQ NO: _____

DATE INSPECTION REQUIRED: 11. 6 - 03 am please.
Please ensure access available NB: Inspectors attend on consecutive days unless otherwise requested.

SPECIFY UNAUTHORISED WORK TO BE INSPECTED
RE-INSPECTION OF UNDERHOUSE

NAME OF APPLICANT K GRIFFITHS

ADDRESS FOR CORRESPONDENCE 31 VICTORY R HAINYHOLM
(letter is sent to owner, copy to applicant)

A/C 37-5730-38590-594 INSPECTION FEE : \$68 RECEIPT NO: _____

OFFICE USE ONLY File attached Yes/Not avail.
Copy letter attached if applicable

PLEASE TICK APPROPRIATE BOX TO WHICH THE REQUISITION REFERS TO.

STORMWATER: SEWAGE: BUILDING:

OTHER: (state what works below) REINSPECTION OK
JC
11/6/03

RESULTS:

PLEASE TICK APPROPRIATE WORKS TO WHICH INSPECTION REFERS TO.

REQ REMAINS: LETTER SENT REQ REMOVED: LETTER SENT RECHECK OK: LETTER SENT

List requirements outstanding:

CUSTOMER FIELD ADVISOR NAME: J. COX DATE: 11/6/03



Waitakere City Council
Te Taiaro o Waitakere

Civic Centre
6 Waipareira Avenue,
Waitakere City
Tel: 0-9-839 0400

OFFICIAL RECEIPT

Postal Address:
Private Bag 93 109
Henderson
Waitakere City 1231

TAX INVOICE
GST Reg No. 52-211-247

Receipt No.

B05721

Amount Received

68.00

S GRIFFITHS
CASH SALE

Receipt Date

10/ 6/2003

31 VICTORY RD

GST of \$ 7.56

68.00

MOORE 31764

Civic Centre CR3
Source Counter

10/ 6/2003 14:24:46
EFTPOS 68.00

Change

0.00

1 of 1

29 May 2003

S G Griffiths
31 Victory Rd
Laingholm
WAITAKERE CITY 1007

Dear Sir

SAFE & SANITARY REPORT
PROPERTY LOCATION: 31 Victory Rd, Laingholm
LOT: 644 DP: 32446

A recent inspection has established that an interior stairwell and basement rumpus, have been erected on your property without the authority of a building consent.

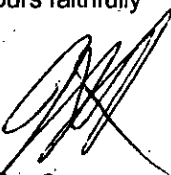
It has been established that the said works are not in a satisfactory condition in terms of S.64 of the Building Act 1991 as detailed below.

- ✓ 1. Excavated bank to rear of rumpus is not retained or sealed for moisture ingress. (Includes base of stairwell.)
- ✓ 2. No flashings over rumpus room joinery all round (2 ranch sliders, 2 windows).
- ✓ 3. Weatherboards do not extend down over basement cladding.
- ✓ 4. Handrails required to separate flights of stairway.
- ✓ 5. Seal down edges of windows.

NOTE: The carport housing a boat is not recorded as having a building consent. This building was not assessed at the time of the 29/05/2003 inspection.

To achieve compliance with S.64 of the Building Act 1991 you are requested to rectify the above items and upon completion return this letter together with the re-inspection fee of \$68 in order that a further inspection can be arranged.

Yours faithfully



John Cox
**BUILDING COMPLIANCE
FIELD SERVICES**

(ordered file)

* Ring to meet onsite *

SANITARY INSPECTION REQUEST/FIELD SHEET

OWNERS NAME: STEPHEN KATHLEEN GRIFFITHS Ph: 8174206

SITE ADDRESS: 31 VICTORY Rd LANGMOLM LOT 644 DP 32446

DATE INSPECTION REQUIRED 29.5.03 AM

Please ensure access available NB: Inspectors attend on consecutive days unless otherwise requested.

SPECIFY UNAUTHORIZED WORK TO BE INSPECTED INTERIOR STAIRWELL

DATE OF COMMENCEMENT OF WORK (MONTH/YEAR) 87/88 AND BASEMENT RUMFUS Room

BUILDERS NAME (IF KNOWN) _____

NAME OF APPLICANT K GRIFFITHS

ADDRESS FOR CORRESPONDENCE 31 VICTORY RD LANGMOLM

(letter is to be sent by applicant)

A/C 37-5750-30000 Base Fee \$250.00 Additional Action + \$68/hr

OFFICE USE ONLY File attached: Yes/Not avail. Copy letter attached if applicable

BUILDING

SATISFACTORY NOT SATISFACTORY RECHECK OK

List requirements Clearly: ① EXCAVATED BANK TO REAR OF RUMFUS IS NOT RETAINED OR SEALED FOR MOISTURE INGRESS. (INCLUDES BASE OF STAIRWELL)

CUSTOMER FIELD ADVISOR NAME: _____ DATE: _____

P & D

SATISFACTORY NOT SATISFACTORY RECHECK OK

List requirements Clearly:

CUSTOMER FIELD ADVISOR NAME: _____ DATE: _____

PLANNING

SATISFACTORY NOT SATISFACTORY RECHECK OK

List requirements:

Rec A29130 \$250.

CUSTOMER FIELD ADVISOR NAME: _____ DATE: _____

WPO Prepare letter UBW6 if all satisfactory. Return to Customer Field Advisor or Prepare letter UBW9 if requirements. Return to Customer Field Advisor or Prepare letter UBW11 as second letter after first sending a UBW9 letter. Customer Field Advisor Attach form to green letter copy and place in basket for data entry

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SAFE AND SANITARY INSPECTION REQUEST/FIELD SHEET

OWNERS NAME: _____ Ph: _____

SITE ADDRESS: _____ LOT _____ DP _____

DATE INSPECTION REQUIRED _____

Please ensure access available NB: Inspectors attend on consecutive days unless otherwise requested.

SPECIFY UNAUTHORISED WORK TO BE INSPECTED _____

DATE OF COMMENCEMENT OF WORK (MONTH/YEAR) _____

BUILDERS NAME (IF KNOWN) _____

NAME OF APPLICANT _____

ADDRESS FOR CORRESPONDENCE _____

(letter is sent to owner, copy to applicant)

A/C 37-5730-38590-786 Base Fee \$250.00 Additional Action + \$68/hr

OFFICE USE ONLY

File attached Yes/Not avail.
Copy letter attached if applicable

BUILDING

SATISFACTORY

NOT SATISFACTORY

RECHECK OK

List requirements Clearly:

CUSTOMER FIELD ADVISOR NAME: _____ DATE: _____

P & D

SATISFACTORY

NOT SATISFACTORY

RECHECK OK

List requirements Clearly:

CUSTOMER FIELD ADVISOR NAME: _____ DATE: _____

PLANNING

SATISFACTORY

NOT SATISFACTORY

RECHECK OK

List requirements Clearly:

CUSTOMER FIELD ADVISOR NAME: _____ DATE: _____

WPO Prepare letter **UBW6** if all satisfactory. Return to Customer Field Advisor or
Prepare letter **UBW9** if requirements. Return to Customer Field Advisor or
Prepare letter **UBW11** as second letter after first sending a **UBW9** letter.
Customer Field Advisor: Attach form to green letter copy and place in basket for data entry

- 2) NO FLASHINGS OVER RAMPUS ROOM JOINERY ALL ROUND (2 RANCA SCIPERS, 2 WINDOWS)
- 3) WEATHERBOARDS DO NOT EXTEND DOWN OVER BASEMENT CLADDING.
- 4) HANDRAILS REQUIRED TO SEPARATE FLIGHTS OF STAIRWAY.
- 5) SEAL DOWN EDGES OF WINDOWS.

NOTE. THE CARPORT HOUSING A BOAT IS NOT RECORDED AS HAVING A BUILDING CONSENT. THIS BUILDING WAS NOT ASSESSED AT THE TIME OF THE 29/5 INSPECTION.

STEVE . 0274 463 504



Te

Rates Enquiry govt.nz
 File Field Options Help Waitakere City 09 836 8001
 Rate Bag 93109
 G.E.M.S_PR004 CS1 Waitakere City Council - LIVE 29/ 5/2003 2002/2003
 Rating Year 2003 Rates Basic Enquiry
 Rate Acct 50144 Ass 33800 03100 Ward Waitakere
 Rateable Refer To Ended
 Diff. Grp. 01 01 R5 Comment Add Notes
 Property
 50144 31 VICTORY RD. LAINGHOLM, WAITAKERE CITY Primary
 Legal
 1997 LOT 644 DP 32446
 Rate Payers
 601081 GRIFFITHS, STEPHEN GEORGE 19/11/96 RAO 1
 Mail
 601081 RS 8/ 5/1997 31 VICTORY RD. LAINGHOLM, WAITAKERE
 Years Rates 1447.00 Capit 240000 Land 94000 Area .0994
 Balance Due 0.00 Clear Year 0.00 Out Water 0.00
 GIS Viewer





Waitakere City Council
Te Taiāo o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

22 March 1999

Private Bag 93109
Henderson
Waitakere City

Refer: Mr Donaghy: jc (Consent Services)
Extn. 8651 (Civic Centre)

Mr & Mrs Griffiths
31 Victory Road
Laingholm
WAITAKERE CITY

ENTERED

Dear Sir/Madam .

PROPERTY LOCATION: 31 VICTORY ROAD, LAINGHOLM , LOT 644 DP 32446
UNAUTHORISED BUILDING WORK

A recent inspection has established that a spa pool complex, laundry and dinette has been erected on your property without the authority of a building consent.

It has been established that the said works are not in a satisfactory condition in terms of S.64 of the Building Act 1991 as detailed below.

1. Self closing attachments to spa pool doors(2) plus latches.
2. Spouting and downpipe required for spa pool roof. The downpipe can be directed into the house spouting.

Enquiries regarding item 1 should be directed to the Building Surveyor Mr T. Donaghy, on ext 8651 and item 2 should be directed to the Plumbing & Drainage Surveyor, Mr Lazonby, on extension 8629.

To achieve compliance with S.64 of the Building Act 1991 you are requested to rectify the above items and upon completion return this letter together with the re-inspection fee of \$55 in order that a further inspection can be arranged.

Yours faithfully

Ted Donaghy
CUSTOMER FIELD ADVISOR
(BUILDING)

Please Phone before you come (DOG)
SAFETY & SANITARY INSPECTION REQUEST/FIELD SHEET

OWNERS NAME: MR & MRS GRIFFITHS SITE ADDRESS: 31 VICTORY ROAD LAINGHOLM
 LOT NO: 644 DP: 32446
 DATE INSPECTION REQUIRED: 18th or 19th March AM (PM)
 Please ensure access available - NB:
 Building & P&D Surveyors attend on consecutive days unless otherwise requested.

SPECIFY UNAUTHORISED WORK TO BE INSPECTED: SPA POOL COMPLEX, LAUNDRY, DINNET.

DATE OF COMMENCEMENT OF WORK (MONTH/YEAR): 1986.

BUILDER'S NAME (IF KNOWN): NOT KNOWN

NAME OF APPLICANT: MR & MRS GRIFFITHS Ph no. 8174206
 ADDRESS FOR CORRESPONDENCE: 31 VICTORY ROAD LAINGHOLM AUCKLAND Fax no. 8174206
 (Letter is sent to owner, copy to applicant)

A/C 35-5420-22890-652 Fee: \$150.00 Receipt No. 463691 Date: 15/3/99.
 Reinspection Fee \$55.00 (where applicable)

===== OFFICE USE ONLY File attached Yes/Not Avail.

Copy letter attached if applicable
 Same day Inspection for P&D
 BUILDING SURVEYOR: SATISFACTORY NOT SATISFACTORY RE-CHECK OK

List Requirements Clearly: Self CHASING ATTACHMENTS TO SPA POOL DOORS (2)
PLUS LATCHES

Bldg Surveyor's Name: P. Hynes Date: 18/3/99. Forward to P & D with file

P & D SURVEYOR: SATISFACTORY NOT SATISFACTORY RE-CHECK OK

List Requirements Clearly: (AFTERNOON 1-2PM ON) Spouting / downpipe.
The downpipe can be directed into the house spouting.

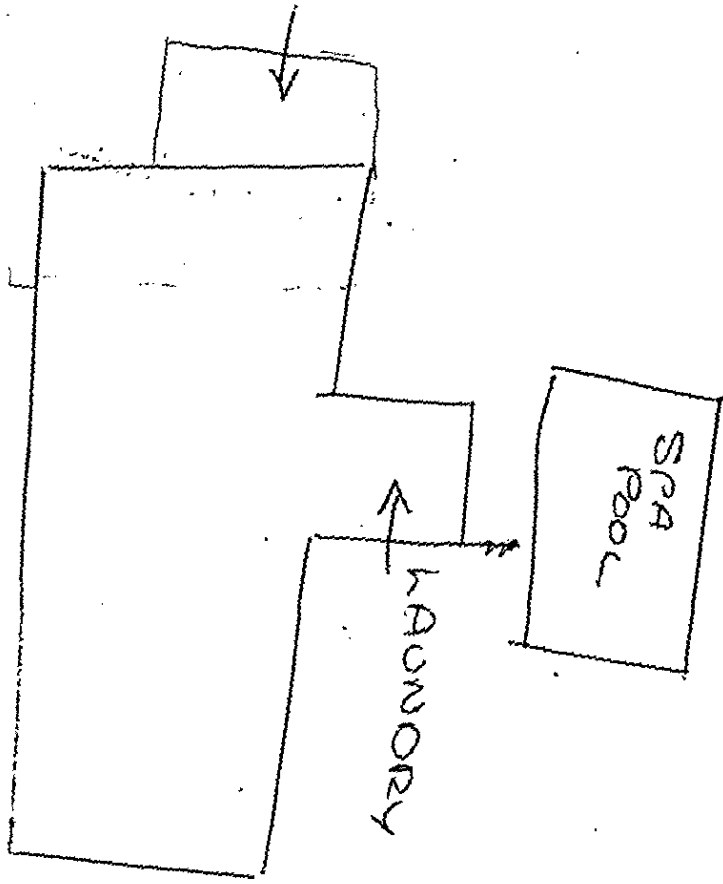
P & D Surveyor's Name: M. Layzell Date: 19-3-99. Forward to WPO with file

WPO: Prepare letter UBW6 if all satisfactory. Return to Building Surveyor or
 Prepare letter UBW9 if requirements. Return to Building Surveyor/P & D Surveyor or
 No Access: Prepare letter UBW10. Return to Building Surveyor/P & D Surveyor

Follow-up of UBW9. Prepare letter UBW11. Return to Building Surveyor/P & D Surveyor
 Surveyor: Attach form to green letter copy and place in basket for data entry.

NB: ALL SURVEYORS: Brief site plan (not to scale) showing area/location of unauthorised work to be drawn on back of form.

Addition
to Direct



*REV 19992256 - Unauthorised works
Stairwell, basement, rampus.
Resource Consent Application Checklist
Bush Living Environment

RMA No: 2004/124

Planner Kge

Street Address: 3 Victory Rd,
Lairdholm

Site Area: 994m²

Nat Area: General (Protected)

Landscape Elements: PNA (as per S/W Drain).

Hazardous Facility/Contaminated Site.....

Heritage Item _____

Natural Hazards: Stab Sens

Road Hierarchy: Collector

General Noise Rule: - Major Road.....

Map Reference: H8 D1 NVR1 (W)

Site File checked Yes/No

New Vehicle Crossing Yes/No

(All vehicle crossings require consent under Transport Environment)

Designations/Scheduled Site.....

Rule No.	Provision	OK/ Permitted	Not OK	Comments/Activity	N/A
2	Building Location Natural Landscape elements	✓		outside SR.	
3	Residential Activities/Density	✓		cottage - no kitchen proposed shown (site less than 1500m ² and not in Titi/Lairdholm ie NONCOMPLYING)	
4	Building height (8m) Elevation (10m)	✓			
5	Height in relation to Boundaries			Disc.	
	North (2.5 + 55°)		X	Affected passbus supplied Grady's F. witness.	
	South (2.5 + 35°)	✓			
	East (2.5 + 45°)	✓			
	West (2.5 + 45°)	✓			
6	Yards (3m)		X	Disc.	
7	Building Coverage			128 (dwelling) + 54 + 20 (covered car space) = 20.3%	
8	Non Residential Activities (NRA)			(Non Complying).	X
9	Traffic Generation (NRA)				
10	Carparking & Driveways		X	not poss to erect 3x6 car port without consent	
11	Noise	✓			
12	Air Discharges, Odour, Dust, Glare & Vibration	✓			
13	Signs				X
14	Relocated Buildings				X
15	Infrastructure	✓			

N.B: Attach relevant height or HIRB calcs

Waitakere City Council
Maintain Building Permits/Consents

01 Property Id Z-0044770-000
Legal Desc LOT 644 DP 32446
Property Address 31 VICTORY RD, LAINGHOLM WAITAKERE CITY, 1007
Owner's Name GRIFFITHS-STEPHEN GEORGE
02 Unauthorised work exists? (Y/N) N Consent Checked 02/07/97

	Consent Year/Number	(M2) Area	Finalled Stat Date	Type of work	Microfiched
03	85/029581	0		AD	04
05 Issued to	GRIFFITHS	STEPHEN	GEORGE		
06	97/001684	0	Y 20/06/97	DR	07
08 Issued to	GRIFFITHS	STEPHEN	GEORGE		
09	/				10
11 Issued to					
12	/				13
14 Issued to					
15	/				16
17 Issued to					

Enter Update Find Modify Next Add Consents Delete Help Print Exit

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Maintain Building Permits/Consents

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Owner's Name GRIFFITHS STEPHEN GEORGE
02 Unauthorised work exists? (Y/N) N Consent Checked 02/07/97

	Consent Year/Number	(M2) Area	Finalled Stat Date	Type of work	Microfiched
	03 65/011863	0		ALD	04
05 Issued to RAPANA J	06 75/001506	0	Y 20/02/76	DW	07
08 Issued to GRIFFITHS STEPHEN GEORGE	09 81/017581	0	Y 14/10/81	AD	10
11 Issued to GRIFFITHS STEPHEN GEORGE	12 82/020072	0	Y 22/04/86	H	13
14 Issued to GRIFFITHS STEPHEN GEORGE	15 83/022314	0	Y 22/04/86	G	16
17 Issued to GRIFFITHS STEPHEN GEORGE					

Enter Update Find Modify Next Add Consents Delete Help Print Exit

N
Hiring **Pittsburg**

Roll No. **530 / 54 /**

County of Waitemata

No. **11863**

BUILDING PERMIT

Date **20.12.63**

Owner of Section **J. RAPANA.**

Address **217 Kauri Point Road, Lalinghola.**

This Permit is granted to the undermentioned person authorising the following building work on **666, D.P. 32446 of allots 19/21, Waitanoto Parish.**

Lot No. **31 Victory**, Road **Lalinghola Central.**

in accordance with the plans lodged and subject to the following conditions: **Strongback to be placed over all ceiling joists having a span exceeding 8 ft.**

Nature of proposed work **Alterations & Additions to dwelling.**

Value of work, £ **400**

Fee £ **3** Rec. No. **4076**

For the Waitemata County Council.

**Mr. J. Rapana,
217 Kauri Point Road,
LALINGHOLA.**

Duly Authorised Officer.

WAITEMATA COUNTY COUNCIL

ERECTION OF RESIDENTIAL, ACCESSORY AND FARM BUILDINGS UNSEWERED SITE

Procedure for submission of a Building Permit Application concerning a Building to be erected on an UNSEWERED SITE, when a Permit is not required within less than Five* to Seven* Working Days from lodging of application.

CLASSIFICATION OF APPLICATION:—

5-7

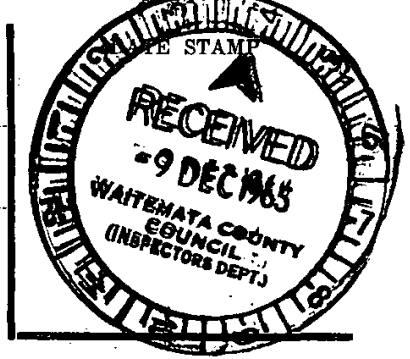
CHECKING PROCEDURE TO BE UNDERTAKEN BY THE APPLICANT

Check No.	Department	Floor	Type of Check	Initials of Checking Officer & Date
1	Inspectors	Ground	Preliminary & Classification	<i>J. D. Fisher</i>
2	Rates	Ground	Legal Description & Valuation Roll No. unless already shown on application	<i>dy.</i>
3	Town Planning	1st	Zoning & Use	<i>De</i> 8/12/68
4	Cashier	Ground	Pay Fees	✓
5	Inspectors	Ground	Lodging of Application on completion of above checks.	

*It should be noted that the issuance of a Permit for a Building involving checking by a Structural Engineer may not be possible within 7 Working Days; further, that the issuance of any Permit may be delayed if in the opinion of the County Inspector such action is necessary, or where a dispensation from ordinance or other requirements is requested.

APPLICATION No. 96/19 PERMIT No. 11863

DATE ISSUED 20.12.65



WAITEMATA COUNTY COUNCIL
P.O. BOX 5440 — AUCKLAND, C.I.

Application for a Building Permit

OWNER OF SECTION. NAME JOHN RAPANA PHONE No. 892 TIT.
(BLOCK CAPITALS)
PRESENT POSTAL ADDRESS 417 KAURI POINT RD LANGHOLM RD TIT
BUILDER. NAME JOHN RAPANA PHONE No. 892 TIT.
POSTAL ADDRESS 417 KAURI POINT RD LANGHOLM
(Note:—Permit will be posted to builder unless otherwise requested).

NATURE OF PROPOSED BUILDING WORK ALTERATIONS AND ADDITIONS
VALUE OF WORK £ 400 FEE £ 3 = 7 PAYABLE AT TIME OF APPLICATION.
(Refer back page)

FULL LEGAL DESCRIPTION OF SECTION (as appears on either rate demand or title deeds).
~~DP 21/46 22/47~~ Lot 644 D.P. 32446 of Alots 19/21 Waikumate Psh.
VALUATION ROLL No. 338.1 311

NAME OF PREVIOUS OWNER OF SECTION MRS HARWOOD
AREA OF SECTION 39.3 PERCHES Acre(s). FRONTAGE 119.93 LINKS Feet.
ROAD NAME VICTORY RD LOCALITY LANGHOLM CENTRAL
IMPORTANT - SEE INSTRUCTIONS INSIDE

FOR OFFICE USE ONLY

REMARKS: Residential

Permit Issued Subject to the Following Conditions: Stronglath to be placed over all eulung joists having a span exceeding 8'

Approved by _____ Town Planning Officer _____ Date _____
Approved by A D P. Dean Building Inspector 13.12.65 Date _____
Approved by _____ Health Inspector _____ Date _____
Approved by _____ Drainage & Plumbing Inspector _____ Date _____
Building Permit Fee — — — £ 3.0.0 Receipt No. 4076 Date 9.12.65
Street Damage Deposit Fee — £ _____ Receipt No. _____ Date _____
Street Damage Deposit Refund £ _____ to _____ Date _____
Cost of Vehicular Crossing £ _____ Date _____

*PRESENT/*NOT PRESENT — OVER PROPERTY.
ELECTRICITY TRANSMISSION LINES
(*Delete not applicable)
DATE _____ INITIALS _____
ELEC. DEPT. APPROVAL OBTAINED DATE _____



SPECIFICATION

FOUNDATIONS

If solid concrete. Size of footings 12" x 12" Walls VIBRAPAC Reinforcing 2/5 Rods

If concrete blocks. Size 8" x 8" x 24" Spacing 4' 6"

N.B.—All blocks must be at least 12" in to ground on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span Along Runs	Timber
Jack Studs	<u>4" x 3"</u>	<u>4' 6"</u>	<u>22' 6"</u>	<u>B.H.R.</u>
(Note: If base over 6ft. in height, Jack studs to be spaced at 20in. centres)				
Bearer Plates	<u>4" x 3"</u>	<u>4' 6"</u>	<u>22' 6"</u>	<u>B.H.R.</u>
Floor Joists	<u>6" x 2"</u>	<u>18"</u>	<u>29' 4"</u>	<u>B.H.R.</u>
Outer Studs	<u>4 x 2</u>	<u>18"</u>		<u>O.B.R.</u>
Inner Studs	<u>4 x 2 & 3 x 2</u>	<u>18"</u>		<u>O.B.R.</u>
Ceiling Joists	<u>4 x 2</u>	<u>18"</u>	<u>29' 12"</u>	<u>O.B.R.</u>
Bottom Plates	Size <u>4 x 2 & 3 x 2</u>		Top Plates	Size <u>4 x 2 & 3 x 2</u> <u>O.B.R.</u>
Dwangs	Size <u>4 x 2 & 3 x 2</u>		Number of rows of dwangs	<u>4</u>

N.B.—Minimum stud height for dwellings is 8 feet.

ROOF

Covering	<u>IRON</u>	Ridges	Size <u>6 x 1</u>	Purlins	Size <u>3 x 2</u>
Collar ties	Size <u>—</u>	Sarking	Size <u>—</u>	Under Purlins	<u>4 x 3</u>
Rafters	Size <u>4 x 2</u>	Spacing	<u>36"</u>	Span	<u>32' 6"</u>
				Timber	<u>O.B.R.</u>

MISCELLANEOUS

Flooring—Size 4 x 1 Exterior Sheathing FIBRO-LITE

Inside lining GIB BOARD Area of New Building or Addition 185 sq. ft.

Is any second hand material to be used in the proposed constructions? No.

N.B.—Top window trimmers must be checked 1/2" or otherwise supported.

SANITATION

Privy Type CHEMICAL PAN e.g. Water closet, chemical pan or night soil?

N.B.—If chemical pan or night soil pan, the privy building must be at least 15' away from dwelling.

DRAINAGE & PLUMBING

All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Health Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.

SIGNATURE OF APPLICANT

J. Papana

SITE PLAN

RESIDENTIAL SECTIONS

The site plan must be accurately drawn to the scale provided (16 feet to 1 inch).

ALL OTHER SECTIONS

(including farms, etc.)
Please state scale used.

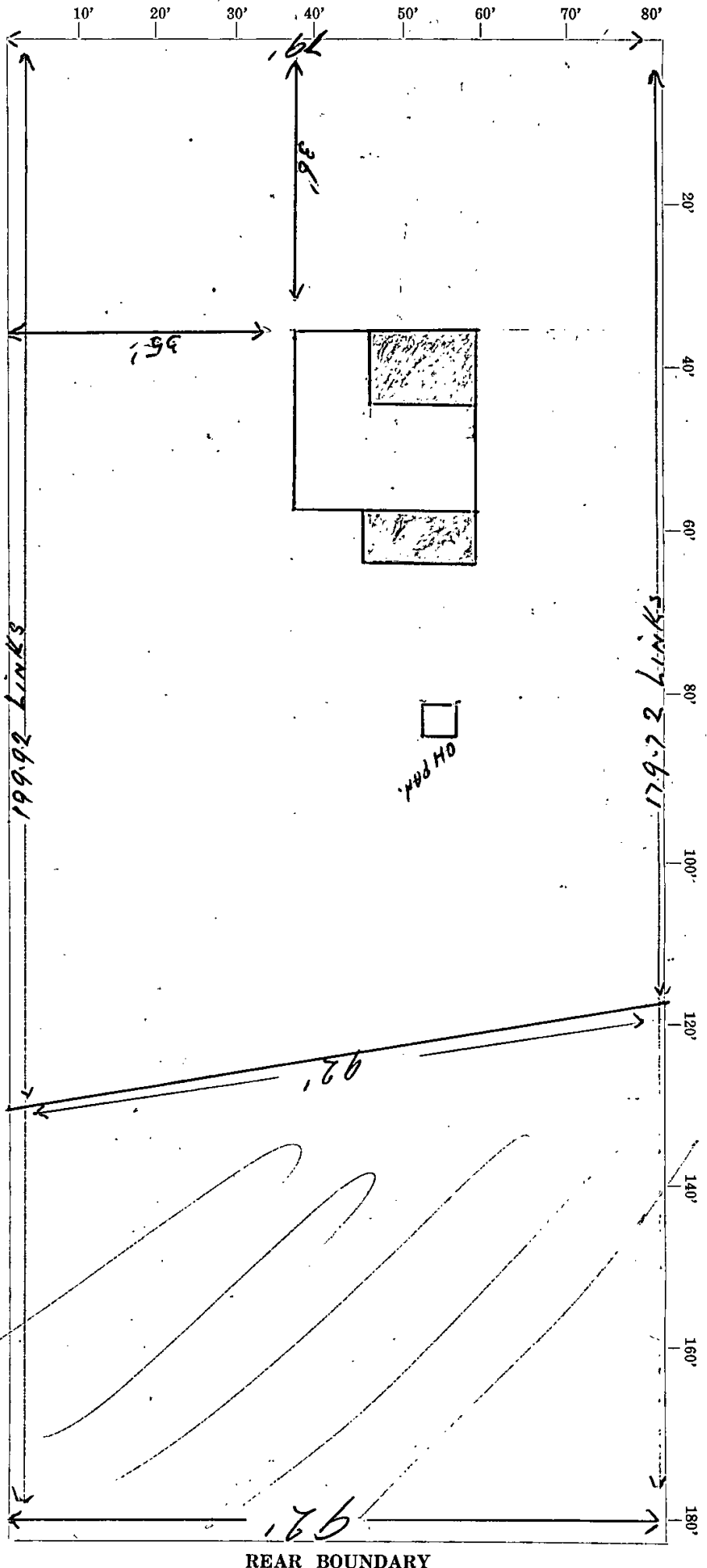
Note

1. This site plan must show the desired position of the proposed building and also ALL existing buildings.
2. Distances of each building from boundary lines must be clearly indicated. Consult your Building Inspector if in doubt as to Council's requirements as to Siting of Buildings.
3. Separate plans, drawn to scale (preferably 1/8" or 1/4" to 1'), must be submitted, showing a ground plan, and elevations of two sides. In cases of extensions to existing buildings, these plans should show the whole building, and the extension should be shaded or coloured.
4. Applications, plans and specifications MUST be made in duplicate, except for minor outbuildings.
5. Location plan must be completed.

PENCIL DRAWINGS WILL NOT BE ACCEPTED.

IMPORTANT:

A condition of this permit is that THE BUILDER is responsible for all stormwater drains being constructed to comply with health inspectors requirements.



REAR BOUNDARY

**Fees Payable UPON APPLICATION for Any Building Permit
According to the Estimated Value of the Building Work.**

Estimated Value of Building Work		£	s.	d.
Not exceeding £10	.....		10	0
Over £10 and not exceeding £100	.....	1	0	0
" £100	" £200	1	10	0
" £200	" £300	2	0	0
" £300	" £400	3	0	0
" £400	" £500	3	10	0
" £500	" £600	4	0	0
" £600	" £700	4	10	0
" £700	" £800	5	0	0
" £800	" £900	6	0	0
" £900	" £1,000	6	10	0
" £1,000	" £1,250	8	0	0
" £1,250	" £1,500	9	10	0
" £1,500	" £1,750	10	10	0
" £1,750	" £2,000	12	0	0
" £2,000	" £2,500	14	10	0
" £2,500	" £3,000	16	0	0
" £3,000	" £3,500	18	0	0
" £3,500	" £4,000	20	0	0
" £4,000	" £4,500	22	0	0
" £4,500	" £5,000	24	0	0
" £5,000	" £6,000	27	0	0
" £6,000	" £7,000	30	0	0
" £7,000	" £8,000	32	0	0
" £8,000	" £9,000	35	0	0
" £9,000	" £10,000	37	10	0
" £10,000	" £12,500	42	10	0
" £12,500	" £15,000	48	0	0
" £15,000	" £17,500	53	10	0
" £17,500	" £20,000	58	10	0
" £20,000	" £25,000	65	10	0
" £25,000	" £30,000	72	0	0
" £30,000	" £35,000	78	10	0
" £35,000	" £40,000	85	10	0
" £40,000	" £45,000	92	0	0
" £45,000	" £50,000	98	10	0
" £50,000	" £60,000	105	10	0
" £60,000	" £70,000	112	0	0
" £70,000	" £80,000	118	10	0
" £80,000	" £90,000	125	10	0
" £90,000	" £100,000	132	0	0
Exceeding £100,000	.....	133	10	0

In any dispute the Engineer shall have the absolute determination
of the value of such work.

12-Jan-2007

K G Hitchens and E J Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Mr Mrs Hitchens

**REQUISITION APPLYING TO GARDEN SHED AT THE REAR OF PROPERTY AT 31 VICTORY RD,
LAINGHOLM.**

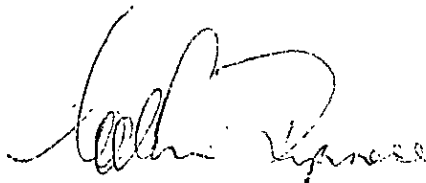
I refer to the visit of myself and my colleague, Rob McCrone, to your property yesterday afternoon, and to our subsequent phone conversation concerning the garden shed that you have repositioned in the rear corner of your property, at 31 Victory Rd.

As advised over the phone, we were unable to ascertain the exact location of the rear boundary of your property, given that there were no survey pegs in place/obvious. However, on the basis of where we think the boundary might be, the repositioned building breaches both the minimum 3 metre (rear) yard and the height in relation to boundary rules of the Bush Living Environment, being the classification applying to your land under the provisions of the City's District Plan. Our guess is that the building is only about a metre off the rear boundary, and exceeds the height in relation to boundary requirement for a western or easton boundary, by considerable amount.

Attached is a copy of a letter that I sent you on 31 August 2005 advising that a Requisition had been placed on your property. The purpose of this letter is to advise that even though you have repositioned the shed, Council is not satisfied that it is yet moved far enough off the rear boundary to comply with Rules 5 (Height in Relation to Boundary) and 6 (Yards) of the Bush Living Environment. For this reason, the Requisition will remain in place until such time as the survey pegs of your rear boundary have been identified or repegged by a registered surveyor, a follow up inspection made, and if necessary, appropriate action taken on your part to legalise/correct any non compliance.

Please do not hesitate to contact me on Extension 8618 if you have any queries.

Yours faithfully



Colin Diprose
Field Services (Resource Management)

Karl Hitchen left a message on my answer phone asking me to ring him - on 6221300.

Colin Drose 30/11/06

hang to spk to Karl Hitchen at 8.50 a.m. No answer & no answer phone.

Colin Drose 1.12.06

hang Karl Hitchen again at 9.25 a.m. Spoke to him this time. He said he accepts he's been slow at doing anything & will work to the 8 January date. What he'd like to do is once the new footings are in place, is slide the building across - if this isn't possible he'll have to dis-assemble it. Said I'll be back in contact in week commencing 8 January.

Colin Drose 1.12.06

hang to speak to Kathryn Hamilton at 9.30 a.m. No answer & no answer phone.

Colin Drose 1.12.06

Rec'd a phone call from Carl Hitchen - ph 6221300 to say he moved the shed last Sunday (7th). He said it's up quite high & would appreciate it if we could check this out before he concretes the posts in place. Said I'll try & do this in the next week.

Colin Drose 8-1-07

Revisited with Rob McCrone. Noted that while the shed is now at least 3 metres off the common body with 33 Victory Rd (it also complies with the height body), it is very clearly, even though the rear body is not clearly defined, within the 3m rear yd (we estimated it's about 1.2m off rear yd) & fails to meet the height body rule by some considerable margin. Came back to office - rang Carl. Suggested I leave the 'requisition' on our property file & leave as is unless we get a complaint. He accepted this. Said I'll confirm it in writing (P.S. Will need to alter wording of requisition to reflect changed locatn. Colin Drose 11.1.07)



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson

Private Bag 93109
Henderson
Waitakere City 0612

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

28 November 2006

Colin Diprose, Field Services
Extension: 8618
Waitakere Central, 6 Henderson
Valley Road

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

GARDEN SHED IN REAR AND SIDE BOUNDARY OF PROPERTY LOCATED AT 31 VICTORY ROAD, LAINGHOLM

I refer to our telephone conversation of 16 April 2005, my letter of 18 April 2005, out telephone conversation of 22 April 2005, my letter of 17 May 2005, your telephone call of 19 May 2005, my letter of 31 August 2005, our telephone conversation of 16 January 2006, and our telephone conversation of 10 April 2006, all concerning the above matter.

The reason for this letter is to inform you that Council received another phone call last week from a resident in the area advising that the shed has still not been moved, notwithstanding your verbal (via the phone) undertakings on 19 May 2005 and 16 March 2006 that it will be moved. My notes from our 16 March conversation record the fact that you undertook to do this by the end of March, this year.

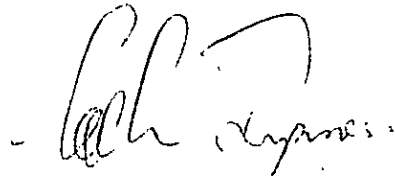
It is now some 20 months since this matter was first brought to your attention, and notwithstanding the consideration that Council has given to your personal circumstances at the time, you do not appear to have made any effort to comply with Rule 6 Yards of the Bush Living Environment which states that building must be set back a minimum of 3.0 metres from all site boundaries. For this reason, I must advise you that if the garden shed has not been relocated by Monday 8th January 2007, you will be served an Abatement Notice under Section 322 of the Resource Management Act 1991. If in turn you do not comply with this, you will face legal action/instant fine.

I would urge you to get the shed relocated by this date, as I am sure you do not want to spend money on legal costs/fine when it can so easily be avoided. Council certainly does not want to, but after 20 months, it feels that it has given you more than enough time in which to relocate the shed.

A follow up inspection will be carried out in the week commencing 15 January 2007.

Please do not hesitate to contact me if you have any queries in the meantime.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Colin Diprose'. The signature is written in a cursive style with a large initial 'C' and a long horizontal stroke extending to the right.

Colin Diprose
Field Services (Resource Management).

Rec'd a phone call from Lauren Hamilton - ph 8177005
querying if there's any progress re the neighbours (Karl
Hitchin) garden shed which is within the maximum 3
metre side of rear yards. I referred her to the last
conversations which I'd had with Karl Hitchens, where
he undertook to talk with his neighbours. Obviously he
hasn't. I said it's not a big issue, it was something which
I thought they could work out together, but I'll follow it
up with Karl. She said she'll also try to speak with him.

Colin Drose 15/11/06.

Rang & spoke to Karl Hitchen re the garden shed. He said he's aware it needs to be removed, or moved to a complying situation. He intends to do the latter by the end of summer (i.e. end March '06), but things have been delayed until now because following his broken collar bone in March, it did not heal properly & he had to have surgery on it in October. He's just now finished follow up physiotherapy. Karl said they've also had another baby.

Karl said he's spoken to the neighbour at the rear, but at my request said he'll speak to the owners of 33 Victory Rd & make sure both of them are happy re where he proposes to relocate it. He'll then do it by the end of March.

I then rang Raewyn Hamilton back & advised her re the above. She thanked me for calling back & said she'll co-operate with Karl.

Colin Diprose 16-1-06.

Rang to speak to Karl Hitchen at 3:35 p.m. As he was with a customer the receptionist took my details & said she'll get him to phone me back.

Colin Diprose 10-4-06.

Karl Hitchen rang back. Said he's cleared the area where the building is to be repositioned to, but despite his undertaking that it would be moved by the end of summer, it hasn't happened - he again referred to the fact they've had another child & money's very tight. He however did accept that it has to be done & so will go & see both neighbours again. I said that the time may come when Council will be forced to 'draw a line in the sand' & issue an infringement notice which will only compound his current financial situation. He accepted this too. Said he'll contact both neighbours & get back to me.

Colin Diprose 10-4-06.

Francis O'Brien
Shanahan

Rang Raewyn Hamilton
8177005

re 31 Victory Rd

Rang her back at 12 noon.
No reply or answer ph. ~~CFI~~ 27/9

Karl Hitchens had broken collar bone

Rang again at 2.45 p.m. Spoke to Raewyn
- querying progress on Karl moving shed.
Advised her of my 31 Aug letter.

Raewyn Hamilton rang again to query what progress
has been made re moving the shed. Advised her of
my 31 Aug. '05 letter & said I'll need to follow this up &
get back to her. Colin Dwyre 13.1.06.

31 August 2005

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

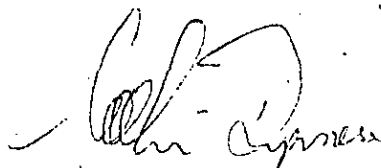
**GARDEN SHED IN REAR YARD OF PROPERTY LOCATED AT 31 VICTORY RD,
LAINGHOLM.**

I refer to my visit to your property on 15 April 2005, our phone conversation of 16 April 2005, my letters of 18 April and 17 May 2005, and to our telephone conversations of 22 April and again on 19 May 2005 concerning the above matter.

It is now over 3 months since you advised me that you will relocate the garden shed in the rear of your property, rather than lodge a resource consent application. However, as at the time of writing this letter, I have not heard back from you as to whether or not this work has been carried out. In the meantime, I have placed another Requisition on our records (I note that a Requisition was placed on our records in 1999 for unauthorised building work relating to an interior stairwell, basement and rumpus room). This latter Requisition will be lifted only when the garden shed has been relocated to a complying location, or granted resource consent approval to remain where it is.

Both Requisitions will be made available for anyone doing a LIM or enquiring after your property at any time in the future.

Yours faithfully,



Colin Diprose
Field Services (Resource Management).

Rec'd a phone call from Karl Hitchens - ph 6310366
He said he's had a look around for the survey pegs, but
can't find them so has contacted surveyors who'll come &
redefine the bdy - he's also doing this because he wants to put
up a fence. He said he's getting it done for "mates rates"
so can't dictate exactly when this will be - shouldn't be
longer than 3-4 wks. Karl said that in the meantime he'll
remove the bamboo, in readiness for relocating the garden shed
- he said he'll definitely do this rather than apply for Reseal Consent.
Once this has been done, he'll move the shed, but as he works 6
days a week, it will take time.

Colin Diprose 19.5.05.

17 May 2005

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

**GARDEN SHED IN REAR YARD OF PROPERTY LOCATED AT 31 VICTORY ROAD,
LAINGHOLM**

I refer to our telephone conversation of 16 April 2005, to my letter of 18 April 2005, and our telephone conversation of 22 April 2005 concerning the above matter.

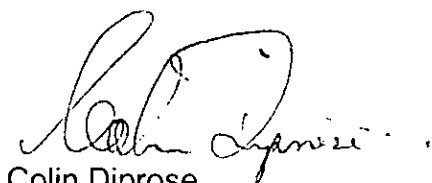
During the course of our most recent discussion, you indicated that you would endeavour to locate the relevant survey pegs at the rear of your property, and then talk to your neighbours at 33 Victory and 8 Karen Roads, to see if they are willing to give their written consent to allow the garden shed to remain where it is. You indicated that you would get back to me "next week re progress". That was now a month ago, and at the time of writing this, I have not heard back from you.

As I advised you in my earlier letter, a non notified resource consent would still be required, even if you are able to obtain the written consent of both neighbours.

Can you please advise me what progress you have made in respect of your neighbours. While Council is prepared give you a little more time in which to work through this matter with them, it is not prepared to let this matter go on indefinitely.

I look forward to hearing from you by the end of the week, if at all possible.

Yours faithfully,



Colin Diprose
Field Services (Resource Management).

Karl Hitchens rang in response to my letter. He said he'll talk with both of his neighbours, but would obviously like to chose the cheaper option of moving it. He pointed out that even if his neighbours sign the 'Affected Persons Form' he'll still have to apply for a retrospective Resource Consent to legalise its location - but at least he would know that neither of them would object & the application could be dealt with as a non notified application. Karl went on to say that he broke his collar bone 5 weeks ago, so it would be 2-3 months before he could relocate the building, should this be necessary. He said he'll advise his neighbours accordingly. It was left that Karl would spend some time trying to find the pegs & talking with his neighbours & will update me next week re progress.

Colin D. 22.4.05.

Kaewyn Hamilton rang at 10.25 a.m. querying progress on this issue. In response, I said I had tried to ring her last Monday to give her an update, but no-one home & no answer phone. In response to my question she gave me another number - 827A264 where there is an answer phone. I then gave her a rundown as to where things are at. She accepted this.

Colin D. 26.4.05.

18 April 2005

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

**GARDEN SHED IN REAR YARD OF PROPERTY LOCATED AT 31 VICTORY ROAD,
LAINGHOLM**

I refer to my site visit to your place last Friday afternoon, and to our subsequent telephone conversation.

As discussed with you, all buildings, which are defined as;

"means any structure or part of a structure, whether temporary or permanent, moveable or immovable, and includes additions to buildings"

must be located a minimum of 3 metres off all boundaries, in the Bush Living Environment, being the classification applying to your land under the provisions of the City's District Plan, unless the prior approval of Council has been obtained by way of Resource Consent approval.

As approval has not been obtained for the subject garden shed, there are two options open to you. One would be to relocate the building the required 3 metres off the side boundary with No. 33 Victory Rd, as well as the rear boundary. The other is to get the written consent of both the owners) of 33 Victory Rd as well as the owners at the rear (8 Karen Rd). I realize that I did not mention the fact that you would need the consent of the latter, when talking with you on Friday, but it would be required. Provided these written approvals could be obtained, your application could be processed as a non notified application. Otherwise, it would need to be dealt with as a notified application, a much more expensive and time consuming option.

There is one other rule I did not raise with you, but which may be applicable, and that is Rule 5, "Height in Relation to Boundaries". As you will see from the attached, this applies to all boundaries of a property. The starting point is 2.5 metres high on the boundary, From here, any building must fall within an angle of 35 degrees for the southern boundary, 45 degrees for the western and eastern boundaries, and 55 degrees for the northern. (See attached diagram). Once you have established exactly where the boundary is, you will then need to work out whether this rule can be met or not.

Also attached is a Resource Consent application form which will need to be completed and returned to Council with the Affected Persons Approval Form, the relevant plans, and a deposit of \$1100.

Can you please consider which of the two options you will pursue, and let me know by Monday next, if at all possible.

Thanks for your co-operation in this matter. Please do not hesitate to contact me if you need any further help in the meantime.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Colin Diprose', written in a cursive style.

Colin Diprose
Field Services (resource Management).

WAITAKERE CITY COUNCIL

ACTION REQUIRED BY SPE
COLIN DIPROSE

Pathways
490857

Request for Service

Enquiry Ref: RFS 337592
Priority: NORMAL

ENQUIRY FROM:	B04	Bldg Complaint-finaled Consent
667980 RAEWYN HAMILTON		
Address: 33 VICTORY RD LAINGHOLM WAITAKERE CITY 1007		
817 7005 or 8274264 where there is an answer phones.		
Dogs : 2		
OWNER : Name: 0	Karl & Erika Hitchens - ph 8168708 31 Victory Rd	
PROBLEM ADDRESS :		
31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007		Property ID: 50144
DETAILS:		
caller advises that the next door neighbour's shed is too close to the boundary has just recently been moved here		Bush diving - 3m yds all round.
Printed: 07:44:28	Date Entered: 30/03/2005	Logged By: CHL DIANE NUKU
		Handling officer/Job Manager SPE COLIN DIPROSE
Target Response Date : 04/04/2005 10:48		Target Completion Date: 19/04/2005
ACTION REQUIRED :	RF Referral	|817 7005|
Please investigate as confirmed by Jonathan Reddell		
Planned Date:		
REPORT ON COMPLETION:		

Visited Met the grandmother on site who couldn't help. Went down the back & found the shed the complainant is obviously referring to. It's 2.5m x 4.0m & appears to be almost right on the rear & common boundaries with No. 33. Took photos. Coln D. 15.4.05.

Karl rang about 4.15p.m. & explained why I had called & then went on to explain the District Plan rules - 3m side yd reqmt, & the options to overcome the fact that it's situated within this area - either move it, or apply for Resource Consent. In dismissing it, he said he'd like to leave it put, if he could, but accepted it may be cheaper to move it - he's just moved it down here

P.T.O.

from up the front where he's building the sleepers. He said he'll
approach Mr. Ferguson a few days for this reason & said he'll send him the
appropriate form.

Colm D. 16.4.05.

long to speak to Raymond Hamilton at 12.20 p.m. to advise
him of my visit & arrange with no reply & no answer phone

Colm D. 18.4.05.

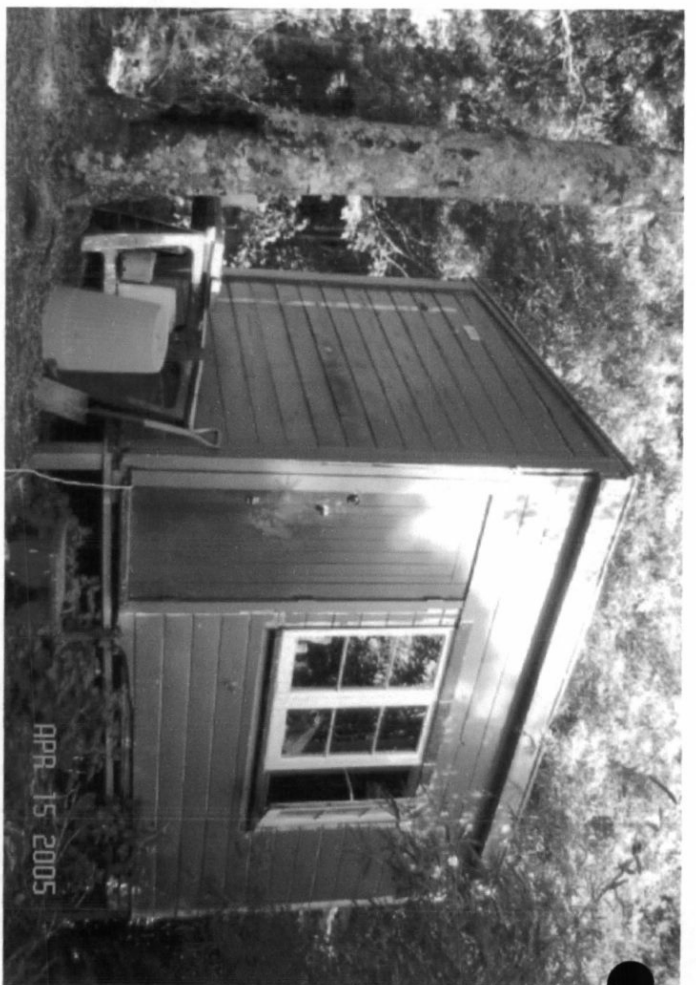
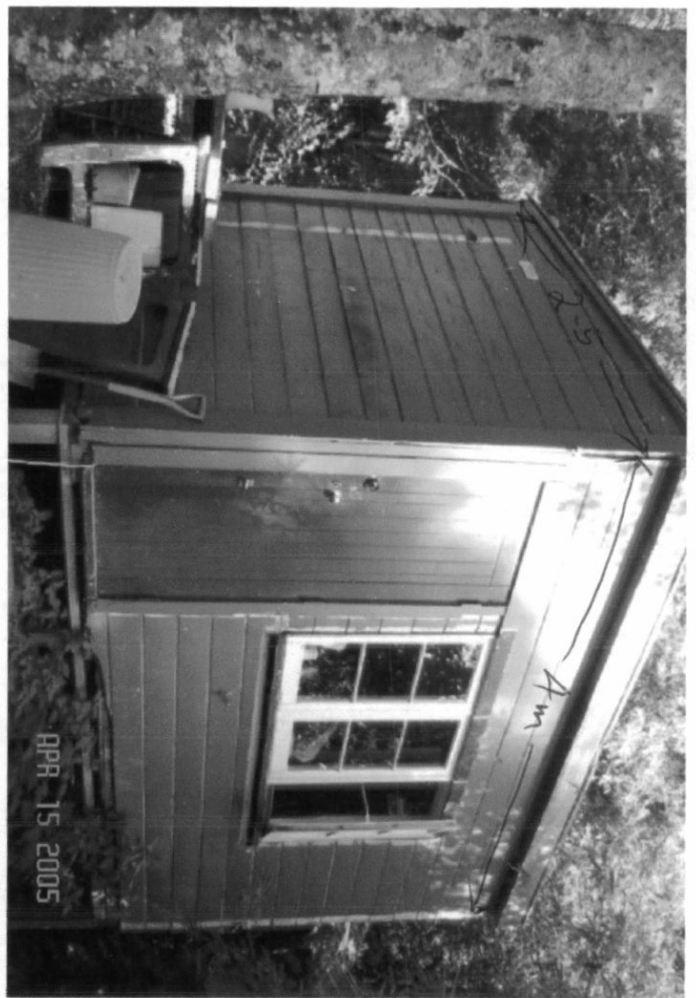
User diprosc
 Port network
 Term xterm

Screen Name RF006rfs_maint

* 31 Victory Rd *

Pathways 31A573

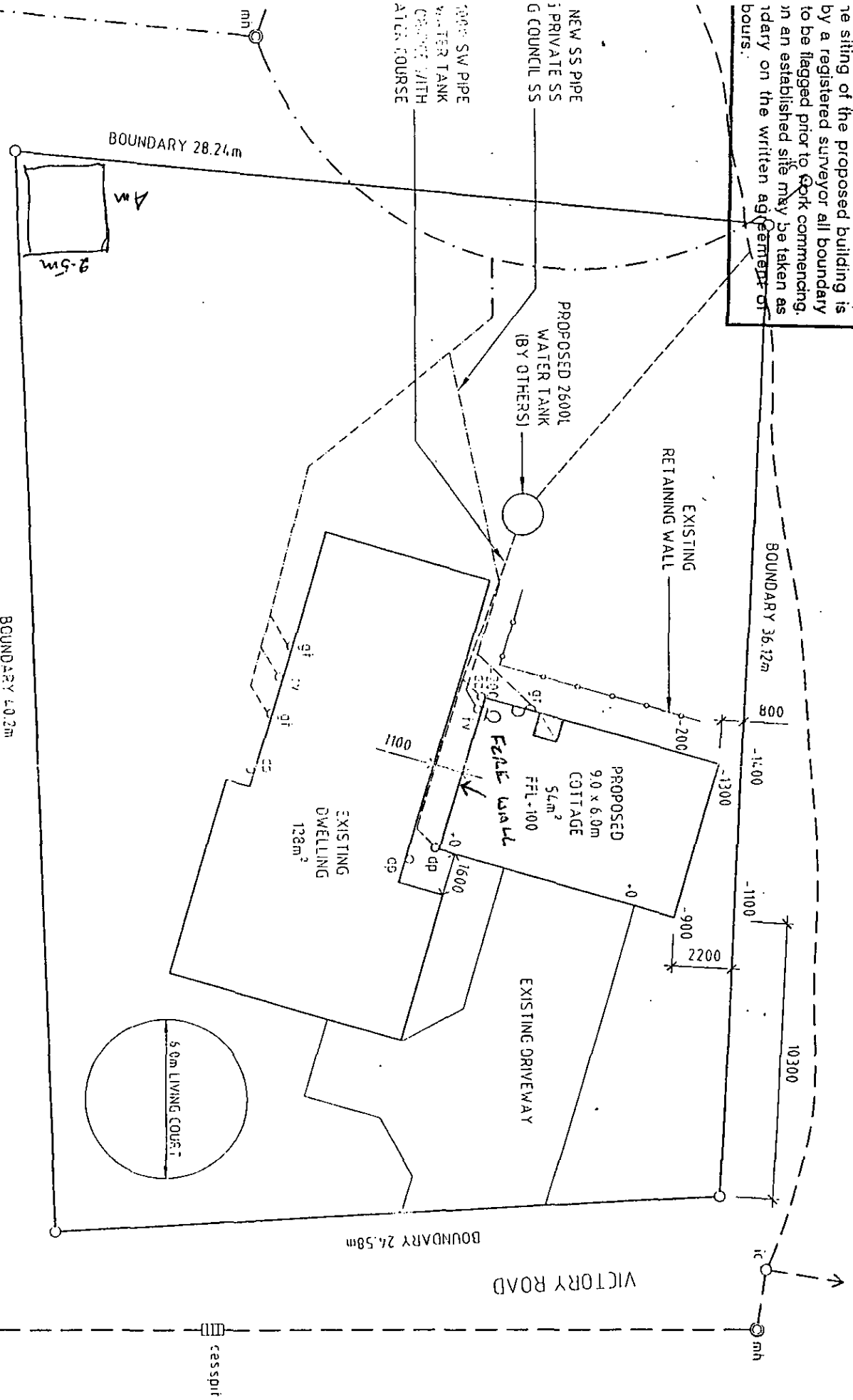
RFS[REQ][Requisitions'(Council Wide)][20050573][CURRENT]
Loctn[50144][31 VICTORY RD, LAINGHOLM, WAITAKERE][31/ 8/2005]
Location Description[]
Contact Type[OWN][Property Owner]
1st Contact Person[736960][HITCHENS, KARL GARRY]
[31 VICTORY RD, LAINGHOLM, WAIT]
Ph. H[8168708]B[6310366]M[]
2nd Contact Person[]
Debtor[]
Request Details[Garden shed has been relocated to rear of section, but]
[placed within the 3 metre side and rear yard without],
[resource consent approval. (Bush Living Environment).]
RFS Type[DP][District Plan]Priority[N][NORMAL]
Date Submitted[31/ 8/2005] Time Submitted[15:55] Start Date[31/ 8/2005]
Handling Officer[SPE][DIPROSE COLIN]
Receiving Officer[SPE][DIPROSE, COLIN]
Authorising Officer[] External Of[]
Dept[RS][Regulatory Se]Function[PLN][Planning] External Ref[]
[A[E[S[Ac[Fe[Extra[Std Let[Outc]]
[Co[L[Su[S[Add Notes [Monit[Analy[Enqu]]
[Search [Do]]



→ This post would appear to be
the cor boundary post bet No's 31 & 33

PLANNING NOTICE

Planning consent documents must be submitted to the council before any site during construction. The siting of the proposed building is to be flagged prior to work commencing. An established site may be taken as a boundary on the written agreement of the council.



NOTES

- PROPOSED COTTAGE TO BE SITED 1m FROM SIDE & 16 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS
- EARTHWORKS
- EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE

PLANS A
SUBJECT TO
ON BU
SIGNED
AUTHORISED

Handwritten signature/initials

LEGEND



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Ref: Chris Wadsworth
(Field Services)

REMOVED

08 January 2009

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

STREET ADDRESS:

**31 Victory Road, LAINGHOLM
LOT 644 DP 32446**

SWP:

SWIM-1999-14672

A recent inspection of your property has revealed that the Spa pool has been removed. Council acknowledges this and will remove all requisitions relating to any pool fencing from our records.

Should you consider replacing the pool at any time in the future, please ensure that building consent is obtained beforehand.

Should you have any queries in relation to this matter please feel free to contact me.

Yours faithfully

Chris Wadsworth
Pool Fencing Officer
FIELD SERVICES

Swimming/Spa Pool Fencing Inspection Form

ENTERED

Carl Hitchins
8168708
Waitakere City Council
Te Taiāo o Waitakere

Date Inspected: 07.01.09

SWIM-1999-14672

Inspectors Name: Reg Pritchard Neville Exler Chris Wadsworth

Site Address: 31 Victory Rd, Laingholm

Licence Number:

Inspection Type: Primary Secondary

	Yes	No
Occupants Home	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Left Calling Card	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fee Paid	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fee Required		
Registration Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Re-Inspection Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Category of Pool

~~Swimming Pool~~

- | | |
|---|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground Pool |
| <input type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Indoor Pool | <input type="checkbox"/> Unknown |

Spa Pool OR Secondary Pool/Spa

- | | |
|--|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground |
| <input checked="" type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Above Ground On Deck | <input type="checkbox"/> Indoor Spa |
| <input type="checkbox"/> Unknown | |

Outcome of Inspection

Compliant

- Meets the required standard
- Has been partially drained (below 400mm) or emptied
- Swimming/Spa pool has been removed

Non Compliant

- Does not meet the required standard
- Inspector was unable to gain access to the immediate swimming pool area
- Process to be placed on hold and reviewed at a later date
Review date:
- Requires immediate enforcement
- Unable to gain access the ISWPA
- Updated non compliance letter required (for re-inspection only)
Date of planned re-inspection:

Non Compliance Conditions

FENCE

- F01** Provide a fence to the ISWPA so as to prevent direct access from
- F02** Ensure that the Swimming/Spa pool fence is a minimum height of 1.2m.
- F03** Ensure that the gap beneath the Swimming/Spa pool fence is not greater than the maximum allowable 100mm.
- F04** Remove any climbable objects (lower than 1.2m) from within 1.2m of the outside of the Swimming/Spa pool fence. If any objects are unable to be removed, the Swimming/Spa pool fence must be raised to a minimum height of 1.2m above, and 1.2m past either side of each object.
- F05** Ensure that there is a minimum gap of 900mm between either the bottom and middle rails, or the top and middle rails of the wooden fencing, or the middle rail must be removed or made otherwise un-climbable.

GATES

- G01** Ensure that the Swimming/Spa pool gates are self closing and self latching from a stationary measured distance of 150mm, and swing away from the ISWPA.
- G02** A latching device must be fitted at either 1.2m if located on the inside of the gate, and if accessible only by reaching over the gate (not accessible through the gate), or 1.5m if located outside the gate.
- G03** Ensure that the gap beneath the Swimming/Spa pool gate is not greater than the maximum 100mm.

DOORS

- D01** Ensure that all swinging doors which provide access to the ISWPA are made self closing and self latching from a stationary measured distance of 150mm, and are swinging away from the ISWPA. A latching device must also be fitted to each door at a minimum height of 1.5m. NOTE: sets of doors must operate (latch and close) independently of each other.
- D02** Provide bolts to all sliding or sliding-folding doors which provide access to the ISWPA at a minimum height of 1.5m.

WINDOWS

- W01** Provide all lower windows (below 1.2m) which open into the ISWPA with permanent stays which restrict the window opening to a maximum of 100mm.

MISCELLANEOUS

- M01** Remove all items not associated with the use of the Swimming/Spa pool from within the ISWPA i.e. clothes lines, gardening equipment, general storage etc.
- M01a** Isolate the landscaped area from the immediate Swimming/Spa pool area.
- M02** You are required to thoroughly clean the Swimming/Spa pool so as to prevent the breeding of mosquitoes.
- M03** The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade cloth etc).
- M04** The medium gap trellis, 10mm-50mm, must be raised to the minimum height of 1.8m.
- M05** The lower hanging limbs (below 1.2m) of the trees which are within 1.2m of the Swimming/Spa pool fence are to be trimmed or removed. NOTE: only those which would support the weight of a child 0-6 years.
- M06** Ensure that any other fences or handrails etc which abut the Swimming/Spa pool fencing are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e. would themselves comply with the Act.
- R01** Registration of the Swimming/Spa pool is required (\$69.00).

DETAILED SKETCH OF SWIMMING/SPA POOL AND ASSOCIATED FENCING

SITE NOTES



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Ref: Chris Wadsworth
(Field Services)

16 December 2008

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 31 Victory Road, LAINGHOLM
LOT 644 DP 32446
SWP: SWIM-1999-14672

A Swimming Pool Inspector called to inspect your pool fence recently but was unable to gain access to the pool area.

Would you please telephone Council's Swimming Pool Advisor at the Civic Centre on phone number 839 0400, to arrange a suitable time to carry out an inspection to ensure that your pool is fenced in accordance with the Fencing of Swimming Pools Act 1987.

I would ask that you arrange for this inspection to occur promptly in order to facilitate the inspection process and help ensure that children are kept safe from drowning.

Yours faithfully

Chris Wadsworth
Pool Fencing Inspector
FIELD SERVICES

Swimming/Spa Pool Fencing Inspection Form

ENTERED

Date Inspected: 11.12.08

Inspectors Name: Reg Pritchard Neville Exler Chris Wadsworth

Site Address: 31 Victory Rd, Laingholm

Licence Number:

Inspection Type: Primary Secondary

	Yes	No
Occupants Home	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Left Calling Card	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Fee Paid	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fee Required		
Registration Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Re-Inspection Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Category of Pool

- Swimming Pool**
- | | |
|---|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground Pool |
| <input type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Indoor Pool | <input type="checkbox"/> Unknown |

- Spa Pool** OR **Secondary Pool/Spa**
- | | |
|---|--|
| <input type="checkbox"/> Above Ground | <input type="checkbox"/> In Ground |
| <input type="checkbox"/> Above Ground In Deck | <input type="checkbox"/> In Ground In Deck |
| <input type="checkbox"/> Above Ground On Deck | <input type="checkbox"/> Indoor Spa |
| <input type="checkbox"/> Unknown | |

Outcome of Inspection

Compliant

- Meets the required standard
- Has been partially drained (below 400mm) or emptied
- Swimming/Spa pool has been removed

Non Compliant

- Does not meet the required standard
- Inspector was unable to gain access to the immediate swimming pool area
- Process to be placed on hold and reviewed at a later date
Review date:
- Requires immediate enforcement
- Unable to gain access the ISWPA
- Updated non compliance letter required (for re-inspection only)
Date of planned re-inspection:

Non Compliance Conditions

FENCE

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- F02 Ensure that the Swimming/Spa pool fence is a minimum height of 1.2m.
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- F04 Remove any climbable objects (lower than 1.2m) from within 1.2m of the outside of the Swimming/Spa pool fence. If any objects are unable to be removed, the Swimming/Spa pool fence must be raised to a minimum height of 1.2m above, and 1.2m past either side of each object.
- F05 Ensure that there is a minimum gap of 900mm between either the bottom and middle rails, or the top and middle rails of the wooden fencing, or the middle rail must be removed or made otherwise un-climbable.

GATES

- G01 Ensure that the Swimming/Spa pool gates are self closing and self latching from a stationary measured distance of 150mm, and swing away from the ISWPA.
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- D02 Provide bolts to all sliding or sliding-folding doors which provide access to the ISWPA at a minimum height of 1.5m.

WINDOWS

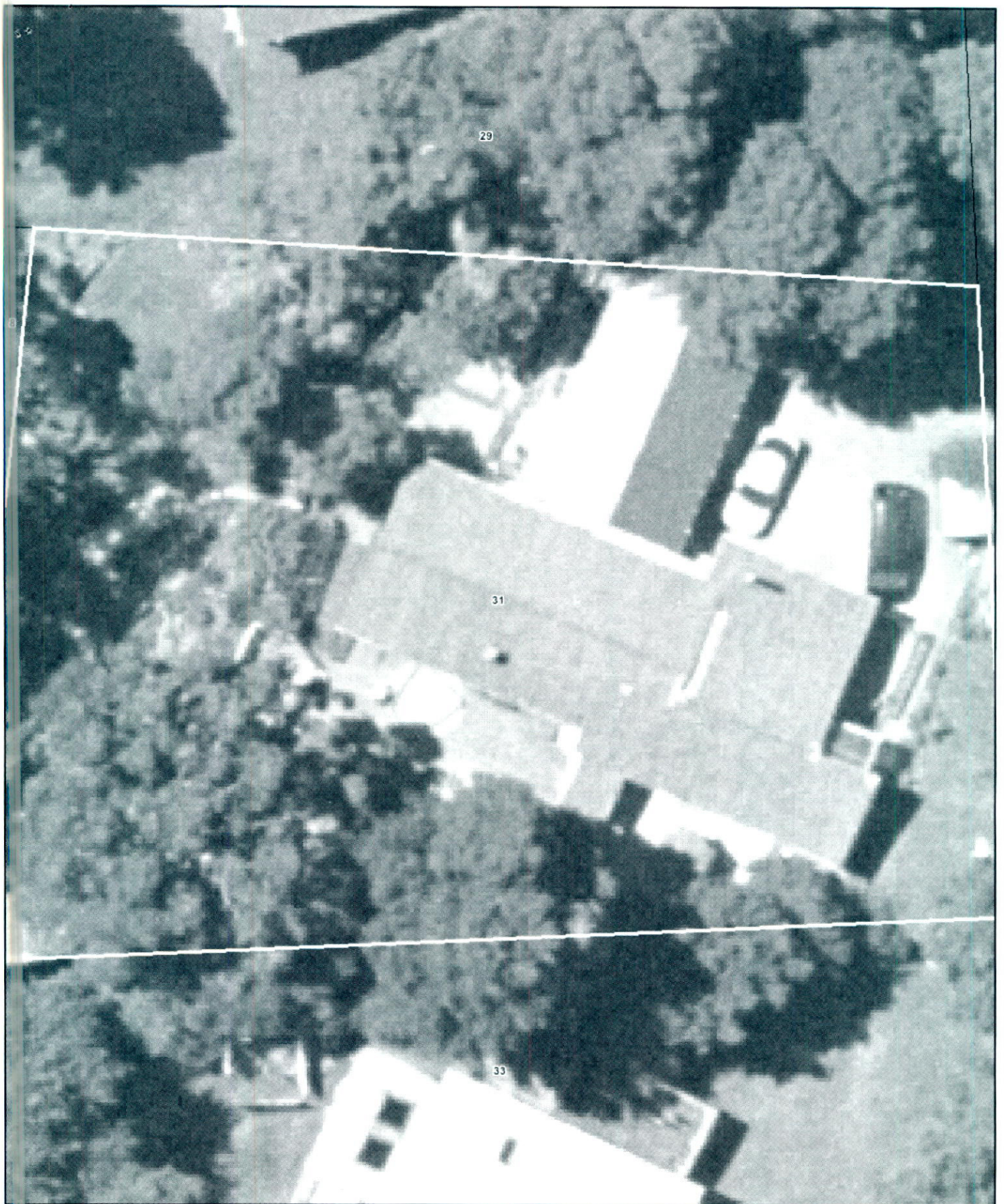
- W01 Provide all lower windows (below 1.2m) which open into the ISWPA with permanent stays which restrict the window opening to a maximum of 100mm.

MISCELLANEOUS

- M01 Remove all items not associated with the use of the Swimming/Spa pool from within the ISWPA i.e. clothes lines, gardening equipment, general storage etc.
- M01a Isolate the landscaped area from the immediate Swimming/Spa pool area.
- M02 You are required to thoroughly clean the Swimming/Spa pool so as to prevent the breeding of mosquitoes.
- M03 The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade cloth etc).
- M04 The medium gap trellis, 10mm-50mm, must be raised to the minimum height of 1.8m.
- M05 The lower hanging limbs (below 1.2m) of the trees which are within 1.2m of the Swimming/Spa pool fence are to be trimmed or removed. NOTE: only those which would support the weight of a child 0-6 years.
- M06 Ensure that any other fences or handrails etc which abut the Swimming/Spa pool fencing are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e. would themselves comply with the Act.
- R01 Registration of the Swimming/Spa pool is required (\$69.00).

DETAILED SKETCH OF SWIMMING/SPA POOL AND ASSOCIATED FENCING

SITE NOTES



11/12/2008

31 Victory Rd, Laingholm

Cadastral Information from
Land Information New Zealand
Digital Cadastral Database DCDB
Crown Copyright Reserved.



Scale = 1:193 @ A4

Services shown on public amenity land are not public drains unless used as through drains. While Council endeavours to provide accurate spatial data no guarantee as to the completeness and accuracy of the data shown on this plan can be given. All information, including levels and locations, are not of survey grade accuracy and should be verified on site. For enquires about the information shown please phone the call centre (09) 839 0400.



Waitakere City Council
Te Taiāro o Waitakere

26 July 2002

STEPHEN GEORGE GRIFFITHS
31 VICTORY RD
LAINGHOLM
WAITAKERE CITY 1007

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

STREET ADDRESS: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007

LOT 644 DP 32446

OUR REFERENCE: SWP99001232

A recent inspection of the above property has revealed a Spa pool exists, and at the time of the inspection your Spa pool was partially drained/empty.

Should your pool be refilled to a level greater than 400mm then full compliance to the Fencing of Swimming Pools Act is required, and Council notified.

Council will review the pool fencing periodically to check its status.

Yours faithfully

pp Jason Sheehan

Dean Nuralli
Operations Compliance Manager
FIELD SERVICES



Waitakere City Council
Te Taiāo o Waitakere

SWIMMING/SPA POOL INSPECTION FORM

DATE INSPECTED: 25/7/02 FEE REQUIRED (tick box)

INSPECTORS NAME: Jason Sheehan

SITE ADDRESS: 31 Victory Place Road

(TICK APPROPRIATE BOX/ES THAT ARE APPLICABLE)

SPA:

SWIMMING POOL:

INGROUND:

ABOVE GROUND:

OTHER: _____
(State Where)

SWIMMING/SPA POOL RESULTS

(TICK APPROPRIATE BOX/ES APPLICABLE)

COMPLYING	SWP 5
REMOVED	SWP 3
PARITAL DRAINED/EMPTY	<input checked="" type="checkbox"/> SWP 4
UNABLE TO GAIN ACCESS	SWP 1
NEW NON COMPLYING	SWP 8
PROVIDE A FENCE TO THE IMMEDIATE SWIMMING/SPA POOL AREA	
PROVIDE A GATE TO THE IMMEDIATE SPA/SWIMMING POOL FENCE AREA	
ENSURE THE SPA /SWIMMING POOL GATE IS SELF CLOSING & SELF LATCHING, SWINGING AWAY FROM THE POOL AREA	
PROVIDE THE LOWER WINDOWS WITH LATCHES THAT RESTRICT FROM OPENING NO MORE THAN 100MM	
ENSURE THE SPA/SWIMMING POOL FENCE IS GREATER THAN OR EQUAL TO A HEIGHT OF 1200MM.	
PROVIDE ALL DOORS (THAT GIVE DIRECT ACCESS TO THE SPA/SWIMMING POOL AREA) WITH BOLTS GREATER THAN OR EQUAL TO A HEIGHT OF 1500MM	
REMOVE ALL OTHER APPLIANCES FROM THE IMMEDIATE POOL AREA (IE) CLOTHELINE, BBQ ETC.	

OTHER COMMENTS:

19 March 1999

Private Bag 93109
Henderson
Waitakere City

Refer: Mr Donaghy : jc (Field Services)
Extn. 8651 (Civic Centre)

Mr & Mrs Griffiths
31 Victory Road
Laingholm
WAITAKERE CITY

Dear Sir/Madam,

FENCING OF SWIMMING POOLS - LOT NO: 644 DP NO: 32446
STREET ADDRESS: 31 VICTORY ROAD, LAINGHOLM

Pursuant to the Fencing of Swimming Pools Act 1987 all owners of swimming pools must ensure that pools are fenced in accordance with that Act.

Following a recent inspection of your property it is apparent that your pool is not fenced in the manner required by the Act. Please undertake without delay all necessary work to ensure that your swimming pool complies with the attached guidelines. From our inspection it is apparent that the following matters require attention:

Entry Doors to Spa Pool

1. Be self-closing.
2. Have a latching device.
Latching device to be at least 1.5 metres above the ground on the outside of the fence.

When completed, please fill in the enclosed form and return to Council along with the fee so that a final inspection can be made to check for compliance.

The Fencing of Swimming Pools Act 1987 provides:

"8. **Obligations of owner and persons in control of pool -**

- (1) Every owner of a pool to which this Act applies shall ensure that, except as provided in any exemption granted under Section 6 of this Act, the pool, or some or all of the immediate pool area including all of the pool, is fenced by a fence that complies with the requirements of the Schedule to this Act at all times when this Act applies in respect of the pool...
- (3) Every person who has possession of the property on which any pool to which this Act applies is situated shall ensure that the pool is not filled or partly filled with water at any time when the person knows or could reasonably be expected to know that any obligation imposed by this section on that or any other person is not being complied with....

In the interests of public safety the Council intends to enforce the requirements of the Fencing of Swimming Pools Act 1987. If further clarification is required in respect of this matter please contact the undersigned.

Yours faithfully



Ted Donaghy
BUILDING SURVEYOR

TO: REGULATORY SERVICES
 WAITAKERE CITY COUNCIL
 PRIVATE BAG 93109
 HENDERSON

**REGISTRATION OF SWIMMING POOL
 FOR COMPLIANCE OF POOL FENCING PURSUANT TO
 THE FENCING OF SWIMMING POOLS ACT 1987**

OWNERS NAME:	MR & MRS GRIFFITHS	
SITE ADDRESS OF POOL:	31 VICTORY ROAD HAINOUM	
LEGAL DESCRIPTION:	LOT NO: 644	DP: 32446
POOL TYPE:	PARA <input type="checkbox"/> ABOVE <input type="checkbox"/> INGROUND <input type="checkbox"/> SPA <input checked="" type="checkbox"/> GROUND	
CORRESPONDENCE ADDRESS:		

I/WE request an inspection of the fences around the pool at the above address. The following arrangements have been made for the security of the pool.

HAS PREVIOUS INSPECTED WE WERE
 REQUIRED TO PUT SELF LOCKING LATCHES
 ON DOORS & SPOUTING ON ROOF OF THE
 SPA, ALL THIS WORK HAS BEEN DONE
 FOR THE FINAL INSPECTION FOR THE SAFETY
 & SANITARY INSPECTOR

Complies with plan
 18/5/99

Signature: K Griffiths Phone No: 817 4206
 Date: 18.5.99. *50198/2*

FEE PAYABLE: \$55.00 (Existing Pools Only)

20 May 1999

Private Bag 93109
Henderson
Waitakere City

Refer: Mr Donaghy: jc (Consent Services)
Extn. 8651 (Civic Centre)

Mr & Mrs Griffiths
31 Victory Rd
Laingholm
WAITAKERE CITY

ENTERED

Dear Sir/Madam,

FENCING OF SWIMMING POOLS ACT 1987
PROPERTY LOCATION: 31 VICTORY RD, LOT 644 DP 32446

Further to our letter of 19.3.99 we are able to advise that the pool fencing now complies with the minimum standard set out in the Act.

The Council is to be notified prior to the commencement of any works to the fence that bring about non-compliance with the minimum standards as specified in this Act.

A further review of the fencing will be required in three (3) years to check compliance.

Yours faithfully



Ted Donaghy
BUILDING SURVEYOR

Ref: Chris Wadsworth
(Field Services)

08 January 2009

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

STREET ADDRESS:

**31 Victory Road, LAINGHOLM
LOT 644 DP 32446**

SWP:

SWIM-1999-14672

A recent inspection of your property has revealed that the Spa pool has been removed. Council acknowledges this and will remove all requisitions relating to any pool fencing from our records.

Should you consider replacing the pool at any time in the future, please ensure that building consent is obtained beforehand.

Should you have any queries in relation to this matter please feel free to contact me.

Yours faithfully



Chris Wadsworth
Pool Fencing Officer
FIELD SERVICES

Ref: Chris Wadsworth
(Field Services)

16 December 2008

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 31 Victory Road, LAINGHOLM
LOT 644 DP 32446
SWP: SWIM-1999-14672

A Swimming Pool Inspector called to inspect your pool fence recently but was unable to gain access to the pool area.

Would you please telephone Council's Swimming Pool Advisor at the Civic Centre on phone number 839 0400, to arrange a suitable time to carry out an inspection to ensure that your pool is fenced in accordance with the Fencing of Swimming Pools Act 1987.

I would ask that you arrange for this inspection to occur promptly in order to facilitate the inspection process and help ensure that children are kept safe from drowning.

Yours faithfully



Chris Wadsworth
Pool Fencing Inspector
FIELD SERVICES

Building Consent

SECTION 51, BUILDING ACT 2004



THE BUILDING

Street address of building: 31 Victory Road, LAINGHOLM

Legal description of land where building is located: LOT 644 DP 32446

*Building name:

*Location of building within site/block number: LOT 644 DP 32446

*Level/unit number:

THE OWNER

Name of owner: K G Hitchens and E J Hitchens

*Contact person: Karl Gary Hitchens

Mailing address: 31 Victory Road, Laingholm, WAITAKERE 0604

Street address/registered office:

Phone number: Landline: Mobile:
Daytime: After hours:

Facsimile number:

Email address:

Website:

First point of contact for communications with the council/building consent authority: †

BUILDING WORK

The following building work is authorised by this building consent:

Combined heat pump/ hot water cylinder (externally mounted). Minor P&D

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

† This building consent is subject to the attached conditions:

(Page)

COMPLIANCE SCHEDULE

A compliance schedule is not required for the building.

‡ ATTACHMENTS

Copies of the following documents are attached to this building consent:



Signature

Control Services

Position

On behalf of: Waitakere City Council

Date: 19 November 2009

*Delete if the applicant is an individual.

† Contact details must be in New Zealand.

‡ Delete items not applicable.

§ Delete if the building is intended to have a life of 50 years or more.

Notes (The following are not applicable for amendments):

1. On completion of the work covered by this building consent application must be made on the prescribed form for Code Compliance Certificate, once final inspection(s) have passed.
1. The building consent will lapse and be of no effect if the building work has not been commenced within 12 calendar months of the date of issue of the consent.
2. Work must be completed and the Code Compliance Certificate issued within 2 years of the date of approval for granting of the consent.

CONDITIONS OF BUILDING CONSENT ABA-2009-1617

The above Building Consent has been approved today subject to the following conditions:-

1. To notations on plans.
2. The applicant shall take all steps necessary to avoid damaging the street, footpath or verge area and shall reinstate any damage to those areas to the satisfaction of Council.
3. Where one is not already constructed, the owner shall construct to a standard satisfactory to Council a vehicle crossing between the carriageway and the owner's land in accordance with Council Code of Practice.

If a non-standard crossing is required approval must be obtained from Transport Assets prior to construction of the crossing.

When excavating for the crossing the owner shall take all steps necessary to avoid damaging Council's watermain, which is generally located in the berm area with 450mm minimum cover. Where more than 250mm is being excavated the depth and location of the watermain should be confirmed by hand digging prior to commencement of excavation. (For further information please contact Council on phone 836-8045). In the event of any damage to the watermain the cost of any repairs will be charged to the owner.

4. Officers of Council are entitled at all times during normal working hours or while work is being carried out, to inspect
 - land on which building work is being or is proposed to be carried out
 - building work that has been or is being carried out on or off the building site
 - any building
5. Sanitary plumbing to be carried out by a registered plumber in compliance with the NZ Building Code or an alternative solution approved by Council and shall be inspected by Waitakere City Council Plumbing & Drainage Surveyor prior to closing in walls, cavities and under floor.
6. **Tempering Valves
New Building Work**

If the alteration consists of the installation of a new sanitary fitting then the new 'part' of the building must comply with all of the relevant provisions of the building code and therefore safe water temperatures are required at the outlets of fixtures used for personal hygiene. Hence, a tempering valve (or other suitable means) is required to control the water temperature to that sanitary fixture.

Pam Vonk

From: Carol Bergquist
Sent: Wednesday, 18 November 2009 4:43 p.m.
To: Pam Vonk
Subject: RE: ABA-2009-1617 31 Victory Road

Hi Pam

Yes - confirming authority to charge on SAP Code 7-LTES-07-041.

Carol Bergquist manager

Environment Strategy - Waitakere City Council
PH: 64 9 836 8000 x 8335

From: Pam Vonk
Sent: Wednesday, 18 November 2009 2:43 p.m.
To: Carol Bergquist
Subject: ABA-2009-1617 31 Victory Road

Hi Carol,

The above Solar Heating building consent is now ready for issue.

To enable us to issue the fees of \$466.10 please confirm your authority to charge on SAP Code 7-LTES-07-041.

In approving this, you are confirming you are within your DFA level

Regards Pam

Pam Vonk
C.P.U. Process Support
Ext 8639



Waitakere City Council
Te Taiāo o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

TAX INVOICE

GST Registration Number

52-211-247

WAITAKERE CITY COUNCIL
Private Bag 93109
Henderson
WAITAKERE 0650

Date: 18 November 2009
Customer No: 300209
Invoice No: 440258

Application Location: 31 Victory Road, LAINGHOLM

Application: ABA-2009-1617

Fee Code	Transaction Description	Amount
RECORD	Records Fee	16.00
PICKUP	Issuing Fee	22.75
COUNTR	Counter Processing Fee	69.30
PLNPRO	Plan Processing Fee	180.05
INSBSE	Base Inspection Fees	178.00

This account includes a total GST content of \$51.74

Invoice Total 466.10
Invoice Due 2 December 2009

Remittance Advice

(Please Detach and return with payment)



Waitakere City Council
Te Taiāo o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

Invoice Date:	18 November 2009	Application:	DAP
Invoice Number:	440258	Debtor Number:	300209
Name:	WAITAKERE CITY COUNCIL	Payment Reference:	374545
Application:	ABA-2009-1617	Invoice Total:	466.10



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

20 November 2009

Karl Garry Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Sir/Madam

Re : Application Number **ABA-2009-1617**
Proposal **Combined heat pump/ hot water cylinder (externally mounted). Minor P&D**
Project Address: **31 Victory Road, LAINGHOLM**

Thank you for your Building Consent application lodged with Council on 12-Nov-2009. This consent is now ready to be issued.

The following fees for processing the application are outstanding (GST invoice(s) enclosed), payment of these additional fees is required within 14 days of this letter.

RECORD	Records Fee	16.00
PICKUP	Issuing Fee	22.75
COUNTR	Counter Processing Fee	69.30
PLNPRO	Plan Processing Fee	180.05
INSBSE	Base Inspection Fees	178.00
CCC	Code Compliance Fee	179.00
		Payable Fee \$645.10
	Less WCC Solar Panel Subsidy	-500.00
		Payable Fee \$145.10

If payment is made by cheque(s) to a value of more than \$3,000.00, there will be a five working day clearance period before the consent is issued. If payment is made by Bank Cheque, this consent can be uplifted immediately. Council is unable to accept Credit Card payments.

Your Building Consent must be picked up within 42 days of the date of this letter, or we may refuse to issue the consent and return your application. Any outstanding processing fees will still be payable. Commencement of works relating to this application prior to issue of the consent is unlawful and subject to prosecution under the Building Act 2004.

Code Compliance Certificate Fee is payable at the time of Code Compliance Certificate application, and at the rate as shown in the Regulatory Fees and Charges schedule at that time.

District Plan compliance is assessed separately with the PIM application. You should refer to the PIM to identify all requirements in terms of District Plan matters. If amendments are made to the PIM as a result of resolving District Plan issues a new Building Consent application may be required.

Yours faithfully

P. Vonk
Pam Vonk
PROCESS SUPPORT



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

TAX INVOICE

GST Registration Number

52-211-247

K G Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Date: 20 November 2009
Customer No: 330987
Invoice No: 440411

Application Location: 31 Victory Road, LAINGHOLM

Application: ABA-2009-1617

Fee Code	Transaction Description	Amount
PLNPRO	Plan Processing Fee	145.10

This account includes a total GST content of \$16.12

Invoice Total 145.10
Invoice Due 4 December 2009

Remittance Advice

(Please Detach and return with payment)



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

Invoice Date: 20 November 2009

Application: DAP

Invoice Number: 440411

Debtor Number: 330987

Name: K G Hitchens

Payment Reference: 374545

Application: ABA-2009-1617

Invoice Total: 145.10



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

TAX INVOICE

GST Registration Number

52-211-247

WAITAKERE CITY COUNCIL
Private Bag 93109
Henderson
WAITAKERE 0650

Date: 20 November 2009
Customer No: 300209
Invoice No: 440404

Application Location: 31 Victory Road, LAINGHOLM

Application: ABA-2009-1617

Fee Code	Transaction Description	Amount
RECORD	Records Fee	16.00
PICKUP	Issuing Fee	22.75
COUNTR	Counter Processing Fee	69.30
INSBSE	Base Inspection Fees	178.00
CCBSE	Code Compliance Fee	179.00
PLNPRO	Plan Processing Fee	34.95

This account includes a total GST content of \$55.53

Invoice Total 500.00
Invoice Due 4 December 2009

Remittance Advice

(Please Detach and return with payment)



Waitakere City Council
Te Taiao o Waitakere

Waitakere Central
6 Henderson Valley Rd
Henderson 0612
Waitakere

Waitakere City Council
Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 839 0400

Invoice Date: 20 November 2009

Application: DAP

Invoice Number: 440404

Debtor Number: 300209

Name: WAITAKERE CITY COUNCIL

Payment Reference: 374545

Application: ABA-2009-1617

Invoice Total: 500.00

* 31 Victory Rd *

19 May 1998

STEPHEN GEORGE GRIFFITHS
31 VICTORY RD
LAINGHOLM
WAITAKERE CITY 1007



Waitakere City Council

Dear Sir/Madam

Resource Consent Application Number RMA980945
Location: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007.

I am pleased to advise that your Resource Consent (Planning) application has been considered and consent has been granted pursuant to sections 94, 104, 105, and 108 of the Resource Management Act 1991.

The report considering your application and the decision which has been made is attached. The conditions must be met for your consent to be valid.

Please note also that you must establish the activity within two years. If that does not happen the consent lapses and you may need to apply for an extension or a new consent.

If you are dissatisfied with the decision or conditions of consent you have an opportunity to object to the Council. If you want to do this you will need to write a letter outlining your concerns. You should refer to section 357 of the Resource Management Act 1991 which covers objections to decisions (see the guideline attached). Any objections must be made in writing within 15 working days of your receipt of this letter.

Please contact RUTH ANDREWS-BIDOIS of the Resource Management Section (extn 8335) if you have any general queries about the enclosed report or decision.

If you are dissatisfied with the decision and are considering lodging an objection you may wish to discuss the matter first with Peter Reaburn, Planning Manager (836-8014).

Yours faithfully

Peter Reaburn
PLANNING MANAGER

CITY OF WAITAKERE DISTRICT PLAN

RESOURCE CONSENT

Pursuant to Sections 104, 105 and 108 of the Resource Management Act 1991, being satisfied that no body or person is adversely affected, consent is granted to the application by Mr & Mrs Griffiths to remove a dead kauri and a dying kauri at 31 Victory Rd LAINGHOLM being Lot 644 DP 32446 for the following reasons:-

- (i) The written consent has been obtained from all persons considered to be potentially affected by the proposal pursuant to S94(2)(b) of the Resource Management Act 1991.
- (ii) The proposal has been considered in terms of the relevant assessment criteria, meets the relevant policies and objectives of the District Plan, and will not create any significant adverse effects on the environment. (Relevant assessment criteria are attached).

Conditions imposed on the consent are as follows:

NIL

Ruth Andrews-Bidois
Ruth Andrews-Bidois

Date: 18-5-98

For: Peter Reaburn
PLANNING MANAGER

BACKGROUND INFORMATION

Dates: Lodged: 1-5-98 Further Info. requested: - Further Info. received: -

Any Affected Persons: Yes No (Refer file)

Zone: Operative - - Proposed - -

Ward: H / W / NL / M Building Consent No.: -

Address For Service: as above

Use Category: Cont. Ltd Disc Disc. (Tick Appropriate Box)

District Plan Rules Relevant:- (Tick Appropriate Box)

Height to boundary:	<input type="checkbox"/>	Signage:	<input type="checkbox"/>	Height:	<input type="checkbox"/>
Privacy/Amenity:	<input type="checkbox"/>	Buildings:	<input type="checkbox"/>	Front Yard:	<input type="checkbox"/>
Outdoor Space:	<input type="checkbox"/>	Vegetation Clearance:	<input checked="" type="checkbox"/>	Other (Specify below):	<input type="checkbox"/>
Impermeable Surfaces:	<input type="checkbox"/>	Earthworks:	<input type="checkbox"/>		

Extent of non-compliance: removal of dead/dying trees within Protected Natural Area.

(If you have any queries about this report, please contact the Resource Management Section) (Ph: 836-8013)

CITY OF WAITAKERE DISTRICT PLAN

RESOURCE CONSENT

Pursuant to Sections 104, 105 and 108 of the Resource Management Act 1991, being satisfied that no body or person is adversely affected, consent is granted to the application by Mr & Mrs Griffiths to remove a dead kauri and a dying kauri at 31 Victory Rd LAINGHOLM being Lot 644 DP 32446 for the following reasons:-

- (i) The written consent has been obtained from all persons considered to be potentially affected by the proposal pursuant to S94(2)(b) of the Resource Management Act 1991.
- (ii) The proposal has been considered in terms of the relevant assessment criteria, meets the relevant policies and objectives of the District Plan, and will not create any significant adverse effects on the environment. (Relevant assessment criteria are attached).

Conditions imposed on the consent are as follows:

NIL

Ruth Andrews-Bidois
Ruth Andrews-Bidois

Date: 18-5-98

For: Peter Reaburn
PLANNING MANAGER

BACKGROUND INFORMATION

Dates: Lodged: 1-5-98 Further Info. requested: Further Info. received:
Any Affected Persons: Yes No (Refer file)
Zone: Operative Proposed -
Ward: H / W / NL / M Building Consent No.:

Address For Service: as above
Use Category: Cont. Ltd Disc Disc. (Tick Appropriate Box)

District Plan Rules Relevant:- (Tick Appropriate Box)

Height to boundary:	<input type="checkbox"/>	Signage:	<input type="checkbox"/>	Height:	<input type="checkbox"/>
Privacy/Amenity:	<input type="checkbox"/>	Buildings:	<input type="checkbox"/>	Front Yard:	<input type="checkbox"/>
Outdoor Space:	<input type="checkbox"/>	Vegetation Clearance:	<input checked="" type="checkbox"/>	Other (Specify below):	<input type="checkbox"/>
Impermeable Surfaces:	<input type="checkbox"/>	Earthworks:	<input type="checkbox"/>		

Extent of non-compliance: removal of dead/dying trees within Protected Natural Area.

Refer: Ruth Andrews-Bidois (Mrs): Resource Management Ref: rab
(Extension No. 8335) Civic Centre



18 May 1998

Mr & Mrs Griffiths
31 Victory Rd
Laingholm
WAITAKERE CITY

Waitakere City Council

Dear Mr & Mrs Griffiths

RE: REMOVAL OF DEAD KAURI/POSSIBLE REMOVAL OF A SECOND AT 31 VICTORY RD

Please find enclosed the completed Resource Consent for the removal of the dead kauri and the second dying one located on your above property.

Kauris dying in this manner can be for a number of reasons, most often due to disturbance around their roots or a change in the water table, both caused through development within the root zone. Kauri are very sensitive to any disturbance of this nature but may not show a decline for several years.

The second tree with a little foliage left on appears as though it may have gone beyond salvation. However, you may wish to seek the opinion of an arborist who might be able to offer some assistance. I have enclosed a list of such qualified people who may be able to assist.

Should the decision be made to remove it, however, then you are able to go ahead and do this without needing to contact the Council again, as the enclosed Consent has allowed for this second tree's removal.

Please do not hesitate to contact me should you wish to discuss the matter further.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Ruth Andrews-Bidois', with a long, sweeping flourish extending to the right.

Ruth Andrews-Bidois
RESOURCE MANAGEMENT



**WAITAKERE CITY COUNCIL
APPLICATION FOR RESOURCE CONSENT
UNDER SECTION 88 OF THE
RESOURCE MANAGEMENT ACT 1991**

OFFICE USE ONLY

Receipt Date: 1/5
 Initials: _____
 Register No: 980945
 Planner: Ruth/EP4
 Date By: 29/5

WAITAKERE CITY COUNCIL

TO: The Chief Executive
 Waitakere City Council
 Private Bag 93109
 Henderson
WAITAKERE CITY 1231

- 1 MAY 1998
 352625

ATTN: Planning Manager



**APPLICATION TO REMOVE AND/OR
PRUNE TREES IN WAITAKERE CITY**



APPLICANT: MR & MRS GRIFFITHS agent/owner
 ADDRESS OF PROPERTY: 31 VICTORY ROAD LAINGHOOM
 LEGAL DESCRIPTION: LOT 644 DP 32446
 TOTAL SITE AREA: .0994 HA M²
 UNIT SITE AREAS: (if applicable to residential developments only) _____

The type of Resource Consent sought is for vegetation removal or pruning within which Natural Area? (Box)

- General (Rule 2.2)
- Ecological Linkage/Restoration (Rule 2.2)
- Managed (Rule 2.2 - 2.3)
- Coastal (Rule 2.2 - 2.3)
- Protected (Rule 2.2 - 2.4)
- Riparian Margins (Rule 2.2 - 2.4)
- Heritage Tree(s)

* Please note that some species of tree do not require a Consent for removal or pruning.

Please note that particular information requirements and assessment criteria applicable to various resource consent categories are available from the Council on request.

NAMES AND ADDRESSES OF OWNERS AND OCCUPIERS OF THE PROPERTY (if other than applicant):

OWNER(S): _____

OCCUPIER(S): _____

ADDRESS FOR CORRESPONDENCE: _____

PHONE NO: BUSINESS: MOB 025463504

HOME: 817 4206

FAX: _____

DO YOU HAVE A DOG ON THE PROPERTY THAT MIGHT WORRY THE INSPECTING COUNCIL STAFF?

YES/NO

SIGNATURE: K Griffiths

DATE: 27-4-98

(1) **PLEASE ALLOW ADEQUATE TIME FOR INITIAL REVIEW AND SITE INSPECTION (APPROXIMATELY 2 WEEKS) PRIOR TO MAKING ENQUIRIES CONCERNING PROGRESS OF APPLICATION PROCESSING.**

(2) **REPORT AND DECISION**

YOU WILL BE NOTIFIED OF THE COUNCIL'S DECISION WITHIN 20 WORKING DAYS OF RECEIPT OF FULL INFORMATION, AND HAVE A RIGHT OF APPEAL TO THE PLANNING TRIBUNAL IF YOU ARE DISSATISFIED WITH THE DECISION.

(3) **PLEASE RING THE ENVIRONMENTAL PROTECTION SECTION ON 836-8000 EXT 8335 OR EXT 8693 WITH ANY QUERIES REGARDING THIS FORM**

Chief Executive	
Corporate Services	
Development	
Regulatory	
Strategy & Dev	
Human Resources	
City Infrastructure	
Special Issues	

PART A (Must be completed)

DESCRIPTION OF PROPOSAL

(Please include the following: details of why tree(s) to be removed or pruned (if this is to accommodate new building, then full plans will need to be supplied); description of tree(s)' size and species; details of tree(s)' location (supply sketch, site plan or photograph); confirmation of who will be undertaking the work; written consent of neighbours (if applicable).

one dead Kauri Tree approx
1 metre from existing building
at the back of the house

Also another Kauri tree which is
not looking very well, would like
to save that one

PART B (Must be completed)

In this section, please list the measures to be put in place to compensate for removal of the vegetation as described (e.g. this may be replanting, for instance)

No measures have been taken to compensate for removal of dead Kauri tree, has its close to house but will do so if needed.

Also we have another Kauri Tree which doesn't look well, would like someone to look at it to see what the problem is

* PLEASE NOTE THAT IF INFORMATION REQUIRED IS NOT SUPPLIED, *
THE APPLICATION MAY BE PUT ON HOLD UNTIL THIS IS RECEIVED



SOIL & ROCK CONSULTANTS

Consulting Geotechnical Engineers

Henderson Telephone (09) 835-1740
Fax (09) 835-1847
Email info@soilandrock.co.nz

Albany Telephone (09) 414-1655
Fax (09) 414-5382
Email albany@soilandrock.co.nz

Our Ref. 03365

25 September 2003

Mr & Mrs Hitchens
31 Victory Road
Laingholm
AUCKLAND

Dear Mr & Mrs Hitchens

**GEOTECHNICAL APPRAISAL
PROPOSED NEW SLEEPOUT
31 VICTORY ROAD, LAINGHOLM**

Introduction

As instructed, we have completed an appraisal of the founding conditions in the vicinity of your proposed sleepout. The purpose of the investigation was to assess subsoil conditions for the design of foundations for the structure. Our findings, presented herein, will be used to support a Building Consent application to Waitakere City Council.

Site Description/Proposed Works

The site lies to the west of and slightly below Victory Road. The site is approximately rectangular with the long sides oriented approximately east/west and perpendicular to Victory Road. An existing house occupies the area toward the southern boundary. A carport and garage are located between the existing house and the northern boundary approximately midway on the site. Approximately 5.0m to 10.0m north of the northern boundary is a broad swampy area developing into a watercourse that tracks initially toward the west, becoming southwesterly as it tracks

behind the existing carport, garage and house. The swampy area is covered with low-lying plants such as Wandering Jew and a handful of mature native trees in excess of 8.0m in height.

The existing carport and garage comprise a lightweight structure and appear to be founded upon a concrete floor slab supported by inferred non-engineered filling.

The proposed works comprise the removal of the existing garage and carport and construction of a lightweight versatile structure of similar dimensions in the approximate area of the existing structure.

It is proposed to found the new structure on a concrete block perimeter footing and use the existing concrete slab as a subgrade for a new 'habitable' floor slab. This proposal will require some removal of the existing slab in order to position the new perimeter strip footing and achieve the necessary minimum floor level of 225mm above the impervious exterior ground surface.

Geology

Reference has been made to the Auckland Urban Area Geological Map, Sheet R11, Scale 1:50,000 dated 1992 which indicates that the site is underlain by residual soils of the Nihotupu Formation, a subgroup of the Waitakere Group of volcanic derived sedimentary deposits. These soils are derived by the weathering of the parent sandstones and siltstones to form a mantle of residual soils typically comprising firm to very stiff clays, silts and sands of variable plasticity. These soils are prone to shrinkage in the summer when the groundwater tables are low and also prone to swelling in the winter when the groundwater tables are high.

Given the proximity to a swamp and watercourse, it is likely that the Nihotupu Formation soils will be overlain by local Alluvial Deposits.

Investigations

Fieldwork comprised a walkover inspection of the site and the drilling of one hand augerhole, (augerhole AH1). The position of the augerhole is indicated on the site sketch, Drawing No. 03365/1. It should be noted that the dimensions and location of site features and the position of the augerhole were measured in by tape from existing site features and inferred boundaries without survey instrument control and are therefore approximate only.

Measurements of the undrained shear strengths were taken in the augerhole at intervals of depth by means of a Pilcon hand held shear vane. The test methods are in accordance with the "New Zealand Geotechnical Society Guidelines for Hand Held Shear Vane Testing" dated August 2001. The peak vane shear strength and the remoulded vane shear strength values shown on the attached augerhole log represents readings off the Pilcon shear vane dial adjusted in accordance with BS1377. Calibration factors for shear vanes used are given on the attached augerhole log.

Scala Penetrometer testing was undertaken from the base of the augerhole in order to obtain a strength profile at depth. Scala Penetrometer testing was carried out until refusal, defined as 20 blows per 100mm penetration was achieved for this device. Results of the Scala Penetrometer testing are attached.

A visual and tactile field classification of the subsoils encountered during drilling was carried out in accordance with "Guidelines for the Field Description of Soil and Rocks in Engineering Use", Issued by the New Zealand Geomechanics Society 1998.

Subsoil Conditions

Our investigation showed that the site was underlain in the location of the augerhole by a surficial layer of non-engineered fill further underlain by local Alluvial Deposits. The following provides a summary description of the subsoils encountered. A more detailed description is provided on the attached augerhole log.

- **Inferred Non-engineered Fill.** A layer of topsoil to 200mm underlain by silty clay fill to a depth of 0.5m below current ground level was encountered at the location of the augerhole. The soil comprising the strata is inferred to be non-engineered fill. The non-engineered fill was soft to firm, wet and moderately to highly plastic. This strata is considered unsuitable for the founding of permanent structures.
- **Alluvial Deposits.** Underlying the fill were local Alluvial Deposits comprising a greenish grey silty clay becoming a silt at depth. The augerhole was concluded at 3.6m below current ground level due to the soils at depth causing the augerhole to close up, preventing further drilling. The soil over the full depth of the augerhole was saturated.

This is not unexpected given the nearby location of the developing watercourse. It is likely that the local Alluvial Deposit soils will remain wet to saturated throughout the course of a year.

Vane shear strengths between 0.5m and 2.5m below current ground level ranged between approximately 75kPa and 160kPa. Vane shear strengths measured at 3.0m and 3.5m below current ground level were 64kPa and 56kPa respectively.

- **Scala Penetrometer Testing.** Scala Penetrometer testing was undertaken from the base of the augerhole (3.6m) and terminated at a depth of 7.6m below current ground level. The soils to a depth of approximately 4.6m below current ground level offered little penetration resistance, however refusal as described in the Investigation section above was not achieved and the Scala Penetrometer testing was concluded at a depth of 4.0m below the base of the augerhole, which is a practical maximum penetration depth for the instrument.
- **Groundwater Table.** The groundwater table was encountered on the day of drilling (17 September 2003) at a depth of 1.0m below current ground level. Given the proximity of the swamp and developing stream we anticipate that the groundwater table would maintain this level during the course of the year and in all likelihood rise to shallower levels following wet weather conditions.

Land Stability

The land in the area of the proposed building platform is of gentle inclination. Much of the area is covered with concrete, however the areas of exposed topography indicated no signs of deep-seated instability. We consider that following the recommendations of this report being adopted there is no restriction on the construction of the proposed sleepout from a stability point of view.

Foundations

The non-engineered fill is considered unsuitable for use as a founding stratum for a permanent structure.

~~The Alluvial deposit soils underlying the non-engineered fill are considered a suitable founding~~
~~stratum for conventional strip, pad and short bored footings supporting all load bearing walls.~~ All footings should be founded 300mm into stiff natural soils or 450mm below final ground level, whichever is the greater depth, to minimise the effects of seasonal shrinking and swelling of the soils.

~~Footings should not be founded deeper than 600mm~~ into stiff natural soil in order to preserve a stiff 'raft' of approximately 2.0m in depth below the base of the footing.

A low retaining wall exists to the rear of the current garage/carport. It is unlikely that this wall has been constructed to withstand surcharge loads. Accordingly, foundations for the new structure should embed a minimum depth of 400mm below a line inclined at 1V:1H from the base of the retaining wall.

Strip, pad and short bored footings may be designed in accordance with the following parameters:

(i) **Working Load Design**

An Allowable Bearing Capacity of 60kPa is available for Working Load Design under static load conditions. This value may be increased by 50% under seismic load conditions.

(ii) **Ultimate Limit State Design**

A Dependable Bearing Capacity of 90kPa is available for Ultimate Limit State Design carried out in accordance with NZS 4203:1992. A Strength Reduction Factor of $\phi = 0.5$ has been used to determine the Dependable Bearing Capacity.

Given the likelihood of a high Groundwater table, we recommend that pumping equipment be available prior to placing concrete in the footing in order to provide a dry footing.

Floor Slab

There are two options for the construction of a concrete floor slab for the proposed new building as follows:

Option A

Option A involves leaving the existing slab in-situ (with minor cutting and excavation to position the strip footings and achieve required formation levels) and construction a new slab over the top. It is likely that the existing slab and fill subgrade will have undergone some settlement as the structure appears to be at least 10 years old, and has been subject to a vehicle surcharge. Further settlement should be within tolerable limits for a new floor slab. However, if this option is adopted the new slab should be constructed in a way that allows for differential settlement between the slab and the perimeter footing. It should also be noted that the existing slab and the new slab above it may continue to settle potentially resulting in cracking and unevenness in the floor.

Option B

Option B involves removal of the existing floor slab and fill subgrade. Granular fill would be used to backfill the excavation to the required level. The granular fill should comprise a clean, compacted free-draining basecourse. NZS 3604:1999 requires that the compaction of granular fill that is in excess of 600mm in depth be tested by a registered engineer prior to the placement of concrete.

All foundation excavations should be inspected at the time of construction by a Registered Engineer who is familiar with the findings of this report.

Stormwater Control

Attention should be paid to disposal of stormwater. Concentrated stormwater flows from driveways, roofed and paved areas must be collected and carried in sealed pipes to a disposal point away from the building platform. Stormwater flows must not be allowed to run onto or over the ground in the vicinity of the building platform so as to adversely affect slope stability or foundation conditions.

Observation of Construction

The recommendations given in this report are based on limited site data from discrete locations. Variations in ground conditions could exist across the site. It is in the interests of all parties that we be retained to inspect excavations and piling conditions exposed during construction, so that ground conditions can be compared with those assumed in formulating this report. In any event,

we should be notified of any variations in ground conditions from those described or assumed to exist.

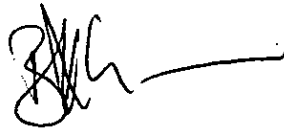
Limitations

This report has been prepared for the sole benefit of Mr & Mrs Hitchens for the presently proposed development. It will be used in design by Mr & Mrs Hitchens appointed Consultants to support a Building Consent application to Council. It is not to be relied upon or used out of context by any other person without reference to Soil & Rock Consultants.

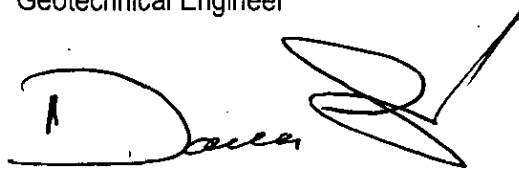
We trust this is satisfactory and if you have any queries please contact the undersigned at your convenience.

Yours faithfully

SOIL & ROCK CONSULTANTS



Prepared by: Bruce Green
Geotechnical Engineer



Reviewed by: Damir Soric
Registered Geotechnical Engineer

Job No: 03365

Job Name: 31 Victory Road
Laingholm

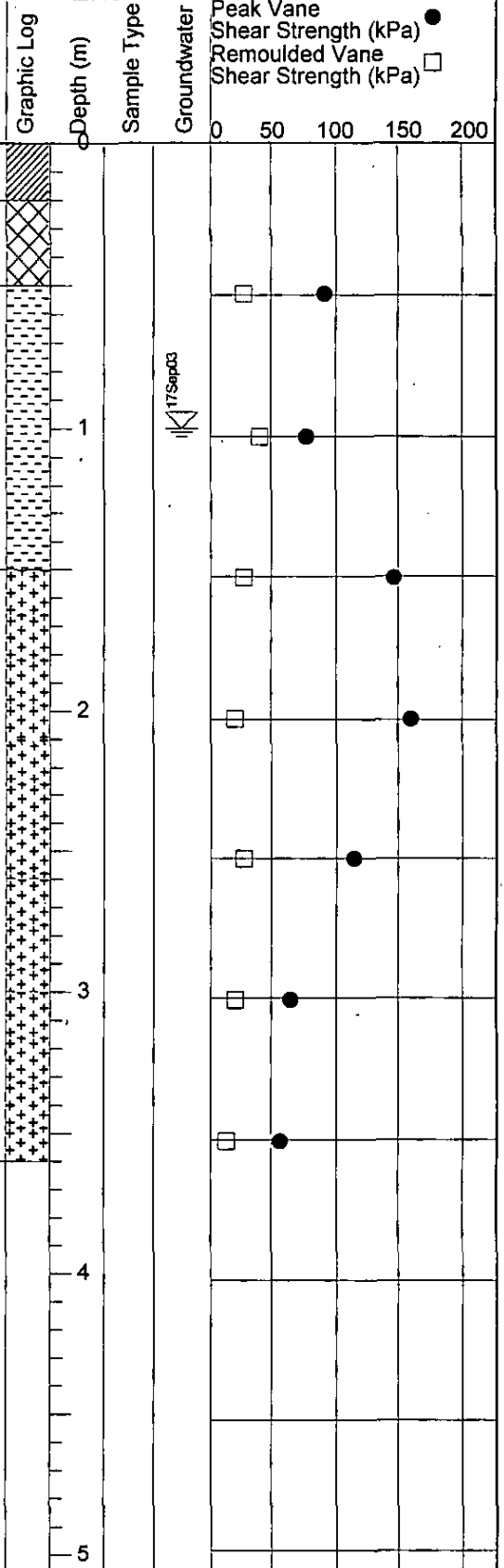
AUGERHOLE LOG AH 1

Borehole Location: See site plan

Surface Elevation: Datum:

Surface Conditions: Level, shrubs

Soil description in accordance with the NZ Geomechanics Society Publication
"Guidelines for the Field Description of Soils and Rocks in Engineering use"



TOPSOIL

Intermixed dark brown and orange silty CLAY, soft to firm, wet, moderately to highly plastic [FILL]

Greenish grey silty CLAY, soft, saturated, highly plastic [ALLUVIAL DEPOSITS]

Frequent organic fibres

Water seepage

Orange SILT, some clay, minor siltstone clasts, stiff, saturated, slightly plastic

Reddish orange SILT, some clay, trace of sand, loose, saturated

Occasional siltstone clasts

Poor sample recovery, hole swelling

EOB 3.6 metres (hole swelling)

Observations:

Date: 17 September 2003

Shear Vane No: G104

Logged by: PT

Shear Vane Calib Factor: -1.331

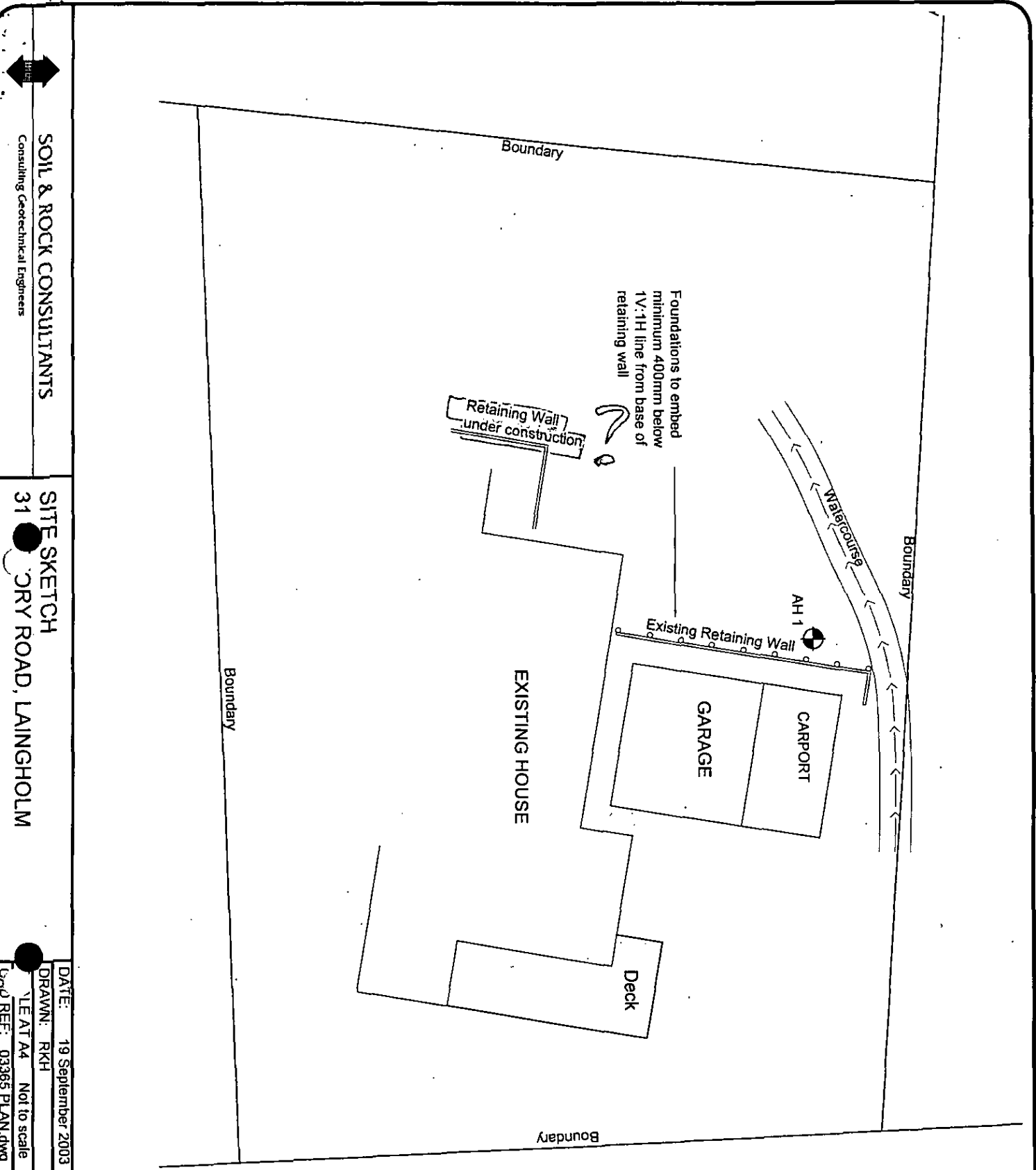
Drilling Method: Hand Auger

Date of last calibration: 7 May 2003

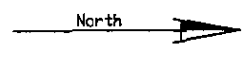


SOIL & ROCK CONSULTANTS

Consulting Geotechnical Engineers



VICTORY ROAD



KEY:



Location of Soil & Rock Consultants hand augerhole 17 September 2003

NOTE:

Sketch Plan. Site features measured with Tape. Locations approximate only.

SOIL & ROCK CONSULTANTS
Consulting Geotechnical Engineers

SITE SKETCH
31 CRY ROAD, LAINGHOLM

DATE: 19 September 2003
DRAWN: RKH
SCALE: A4 Not to scale
GND REF: 03365 PLAN.dwg

DRAWING NO.: 03365/1
SHEET 1 OF 1



SOIL & ROCK CONSULTANTS

Consulting Geotechnical Engineers

SCALA PENETROMETER SHEET - TABLE OF BLOWS PER INCREMENT

JOB NAME: 31 Victory Road
Laingholm

JOB NO: 03365 TESTED BY: PT DATE: 17.09.2003

Depth of Penetration	AH 1	AH 1											
DEPTH START	3.60 m	contd											
50 mm	0	3											
100	1	3											
150	0	2											
200	0	3											
250	0	3											
300	1	4											
350	0	2											
400	0	2											
450	1	3											
500	0	3											
550	1	3											
600	0	3											
650	1	2											
700	1	3											
750	1	2											
800	0	3											
850	1	2											
900	1	3											
950	1	3											
1000	2	3											
1050	1	3											
1100	2	3											
1150	1	3											
1200	2	2											
1250	2	2											
1300	2	2											
1350	1	3											
1400	1	3											
1450	2	4											
1500	2	6											
1550	1	4											
1600	2	4											
1650	2	8											
1700	1	6											
1750	2	5											
1800	2	5											
1850	2	6											
1900	2	7											
1950	2	8											
2000	2	4											
DEPTH END		7.60 m											

Testing Method: NZS 4402:1988 Test 6.5.2 Dynamic Cone Penetrometer



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier **NA1069/48**
Land Registration District **North Auckland**
Date Issued **01 April 1953**

Prior References
NA932/236

Estate Fee Simple
Area 994 square metres more or less
Legal Description Lot 644 Deposited Plan 32446

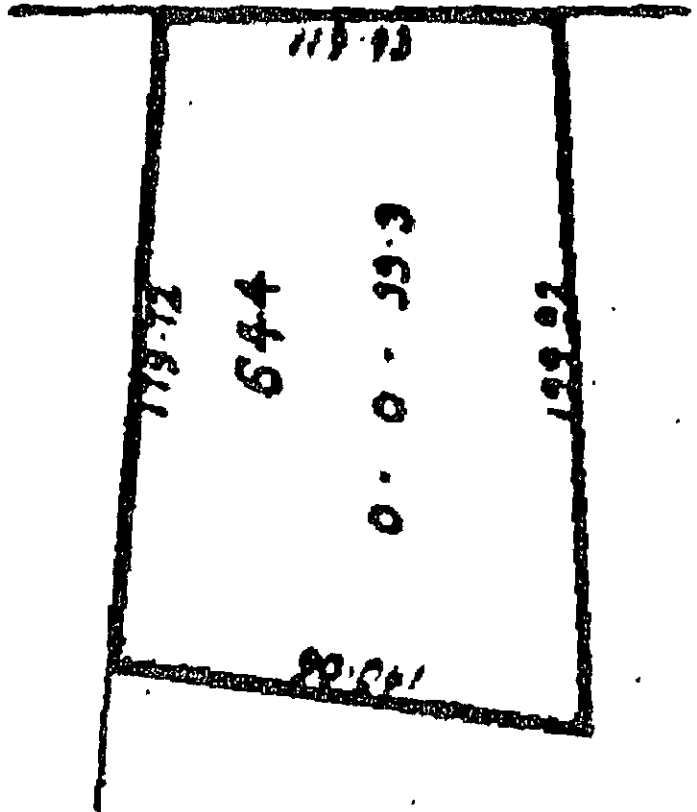
Proprietors
Karl Garry Hitchens and Erika Jane Hitchens

Interests

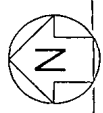
Subject to a water drainage right (in gross) in favour of the Waitemata County Council created by Transfer 215494
Fencing Agreement in Transfer 522347 - 1.4.1953
607108.1 Settled under the Joint Family Homes Act 1964 - 1.7.1976 at 9:00 am
5687093.3 Mortgage to ASB Bank Limited - 8.8.2003 at 9:00 am

Victory Road

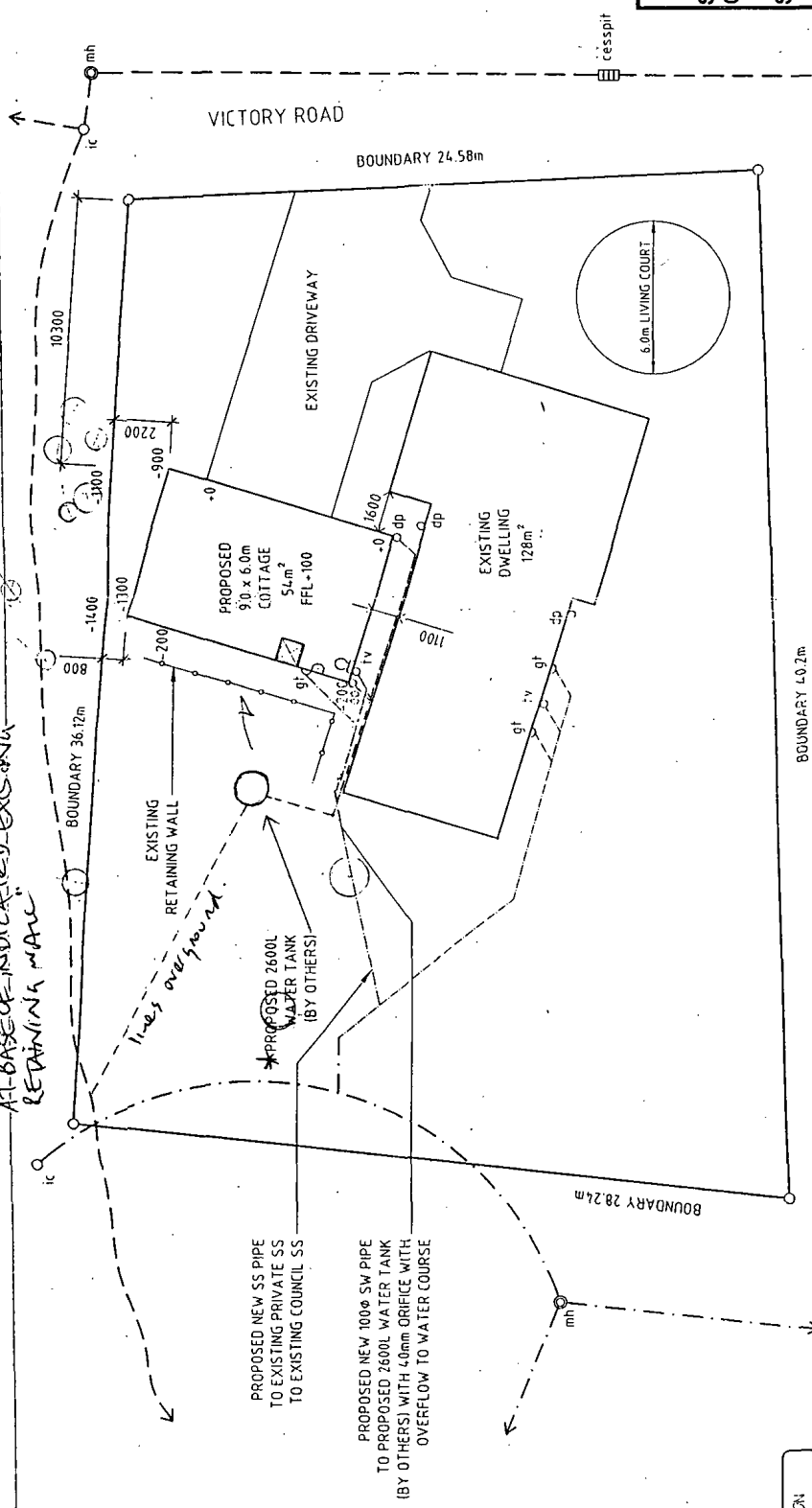
- 188 -



CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED



A WATER TANK TO BE CLEAR OF UTILITIES, PREFERABLY AT-BASE OF INDICATED EXISTING RETAINING WALL



PROPOSED NEW SS PIPE TO EXISTING PRIVATE SS TO EXISTING COUNCIL SS

PROPOSED NEW 100mm SW PIPE TO PROPOSED 2600L WATER TANK (BY OTHERS) WITH 40mm ORIFICE WITH OVERFLOW TO WATER COURSE

17/404

PLANS AND SPECIFICATIONS APPROVED
 SUBJECT TO CONDITIONS ENDORSED ON: RMA 2004/1254
 SIGNED: [Signature] DATE: 22/10/04
 AUTHORIZED OFFICER

LEGEND

---	EXISTING COUNCIL SW
---	EXISTING PRIVATE SW
---	EXISTING PRIVATE SS
○ mh	MANHOLE
○ dp	DOWNPIPE
D gt	GULLY TRAP
○ tv	TERMINAL VENT

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 1992
 WINDOW SIZES INDICATE ROUGH OPENING

SCALE: 1:200
 DATE: 18/03/2004
 DRAWN: [Name]
 FILE: VERSATILE
 SHEET: CF

NOTES

BOUNDARY 40.2m

BOUNDARY 28.24m

BOUNDARY 36.12m

BOUNDARY 24.58m

PROPOSED COTTAGE TO BE SITED 1.1m FROM SIDE & 1.6 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS

EARTHWORKS

EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE AREA (APPROXIMATE)

BUILDING PLATFORM 10m² (AREA OUT OF LEVEL)

OUTSIDE BUILDING PLATFORM <5m²

VOLUME (APPROXIMATE - BASED ON LEV. S)

BUILDING PLATFORM 6m³

OUTSIDE BUILDING PLATFORM <1m³

TOWN PLANNING

LOT 5-1
 DP 32446
 CT NA1089/48

SITE AREA	994m ²
EXISTING BUILDING COVERAGE	128m ²
PROPOSED BUILDING	54m ²
TOTAL BUILDING COVERAGE	182m ²
IMPERMEABLE SURFACES (DRIVEWAY, BUILDINGS, DECKS)	282m ²
PERMEABLE AREA	712m ²
	71.6%

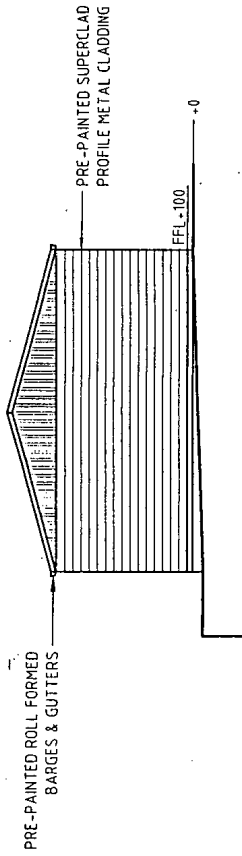
VERSATILE BUILDINGS

HEAD OFFICE:
 112 WATERLOO ROAD
 PH: (03) 348-8704
 FAX: (03) 348-9095

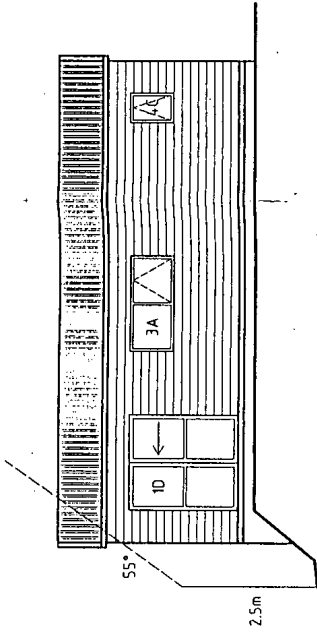
PROJECT FILE
 K HITCHENS
 31 VICTORY ROAD, LAINGHOLM

SITE PLAN

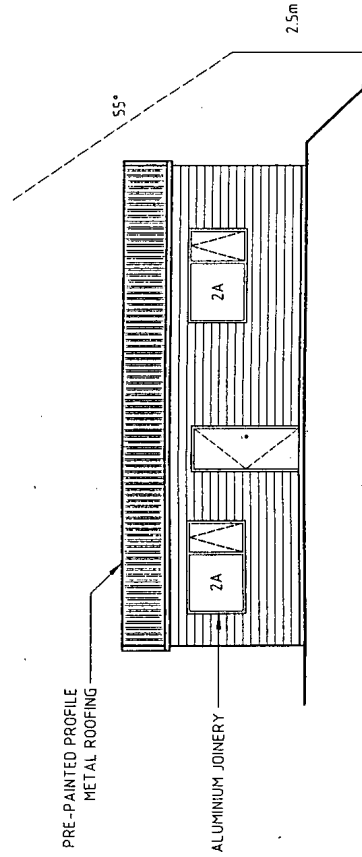
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED



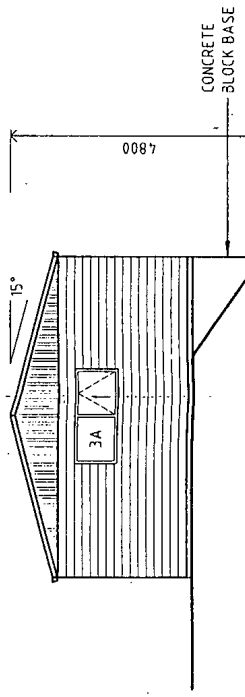
① FRONT ELEVATION



② SIDE ELEVATION



③ SIDE ELEVATION



④ REAR ELEVATION

Handwritten signature
17/4/04

PLANS AND SPECIFICATIONS
APPROVED
 SUBJECT TO CONDITIONS ENDORSED
 ON: RMA 2004/124
 SIGNED: *[Signature]* DATE: 27/04/04
 AUTHORIZED OFFICER

Note: Construction to comply with NZS 2624 (1999) and the New Zealand Building Code 1992. WINDOW SIZES INDICATE ROUGH OPENING.

SCALE: 1:100	DATE: 18/03/2004	SHEET: CF
DRAWN: VERSATILE	FILE: VERSATILE	

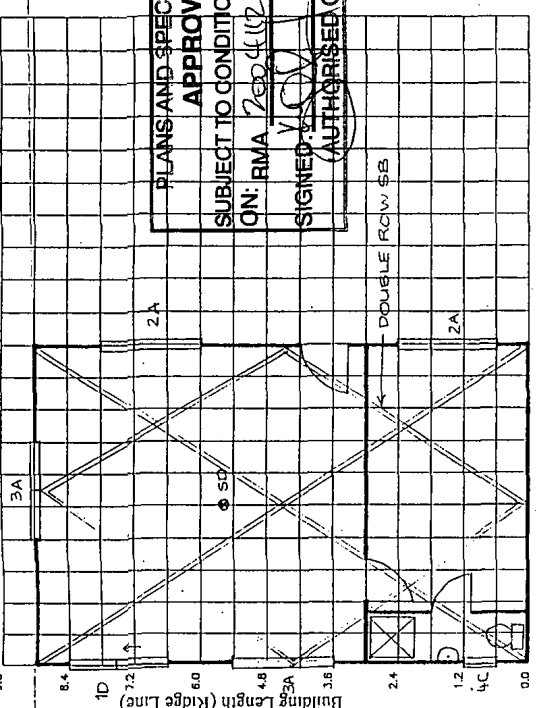
VERSATILE BUILDINGS
 PH: (03) 348-8704

PROJECT TITLE
 K HITCHENS
 31 VICTORY ROAD, LAINGHOLM

DRAWING TITLE

ELEVATIONS

FLOOR PLAN
Building Width (Gable)



CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

BUILDING DATA

Length	9.0m	Width	6.0m	Area	54.0m ²
STUD HEIGHT	2.1m	2.4m	2.7m	3.0m	
CLADDING	Versatiled	Superclad	Other		
WIND ZONE	Low	Med	High	V-High	
FLOOR	Concrete	Timber			
ROOF PITCH	15°	20°	25°	other	

NOTES:

Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000. Copyright: These drawings must not be reproduced without express permission of Versatile Buildings Ltd.

GENERAL
All construction to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Ltd's Producer Statement for Design, dated July, 2002. VB2000 Series

FOUNDATIONS
Concrete floor shall be 20mPa, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine graded and treated to T.P.A specification H1.2 or C.F. MCP 10 framing. Studs shall be 90x35 timbers at 600 centres spaced 100mm. LVL, Superclad or P.C. under all plates. Refer to Producer Statement VB2000, Sheet 4 for timber details, options and specification. Fix hardware in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING
Purins shall be 90mm x 45mm on edge at 1500 max c/s fixed to Gangnail 15 degree trusses. Fix purins, trusses and ridge braces as detailed in Producer Statement VB2000, Sheets 14 & 15. For raking ceiling (gibber board) refer VB2000 page 13.

SIDE ENTRY OPENING LINTELS
LVL Beams size/span as per Producer Statement VB2000 Sheet 4. Fixing details VB2000 Sheet 9

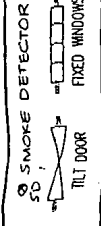
ROOFING
Shall be steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING
Fix in accordance with NZ 9604 & as wall bracing fixing specification

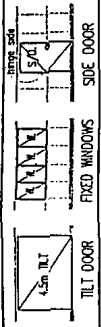
ROOF BRACING
For all buildings fix Lumberlok roof plane strap bracing in accordance VB2000 Producer Statement, Sheet 17. For 2.7 & 3.0m stud, refer VB2000 Sheet 8

WALL BRACING
Fix Bracing per VB2000 Sheet 7. Bracing Panel locations and fixing refer, Wall Bracing, 600 Series, Feb 04 Ver 1.4

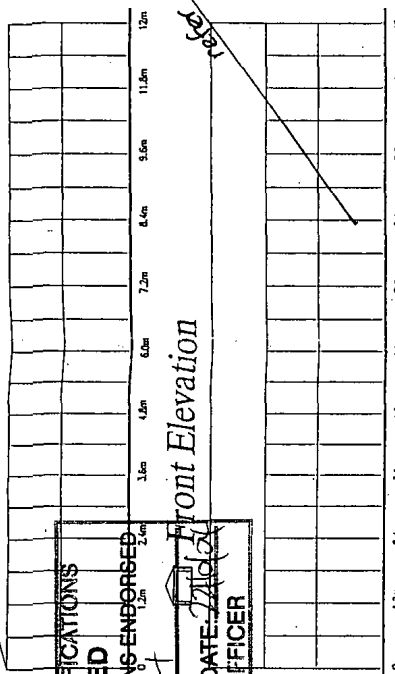
LEGEND Plan



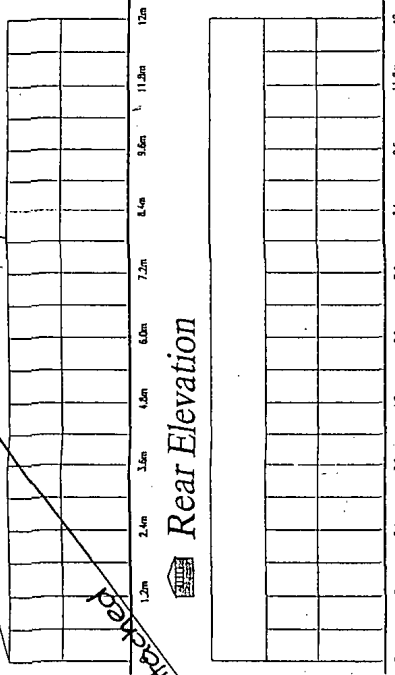
LEGEND Elevation



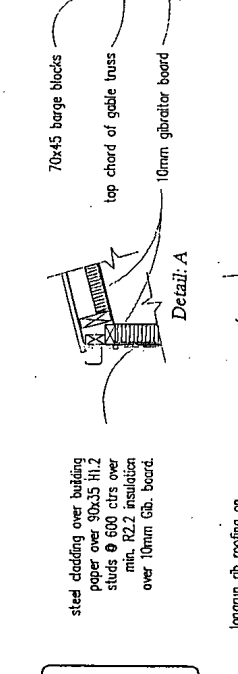
Front Elevation



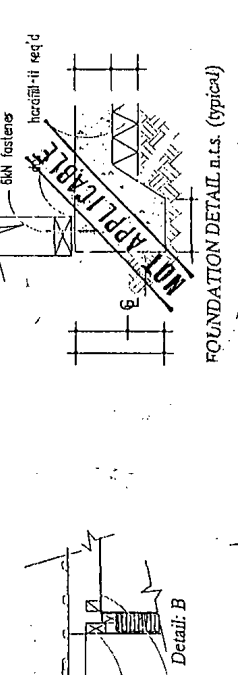
Rear Elevation



Left Elevation



Right Elevation



SPECIFICATIONS

FOUNDATIONS
Concrete floor shall be 20mPa, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine graded and treated to T.P.A specification H1.2 or C.F. MCP 10 framing. Studs shall be 90x35 timbers at 600 centres spaced 100mm. LVL, Superclad or P.C. under all plates. Refer to Producer Statement VB2000, Sheet 4 for timber details, options and specification. Fix hardware in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING
Purins shall be 90mm x 45mm on edge at 1500 max c/s fixed to Gangnail 15 degree trusses. Fix purins, trusses and ridge braces as detailed in Producer Statement VB2000, Sheets 14 & 15. For raking ceiling (gibber board) refer VB2000 page 13.

SIDE ENTRY OPENING LINTELS
LVL Beams size/span as per Producer Statement VB2000 Sheet 4. Fixing details VB2000 Sheet 9

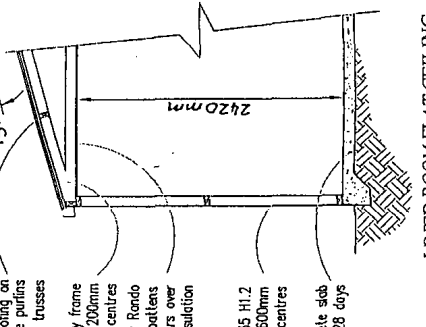
ROOFING
Shall be steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING
Fix in accordance with NZ 9604 & as wall bracing fixing specification

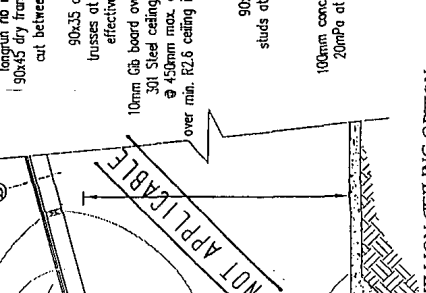
ROOF BRACING
For all buildings fix Lumberlok roof plane strap bracing in accordance VB2000 Producer Statement, Sheet 17. For 2.7 & 3.0m stud, refer VB2000 Sheet 8

WALL BRACING
Fix Bracing per VB2000 Sheet 7. Bracing Panel locations and fixing refer, Wall Bracing, 600 Series, Feb 04 Ver 1.4

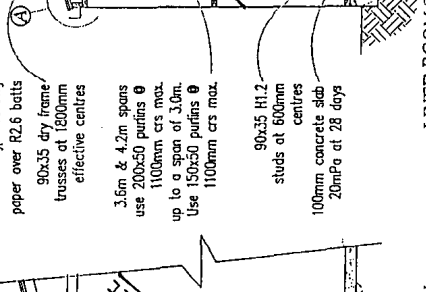
FOUNDATION DETAIL n.l.s. (typical)



Detail: A



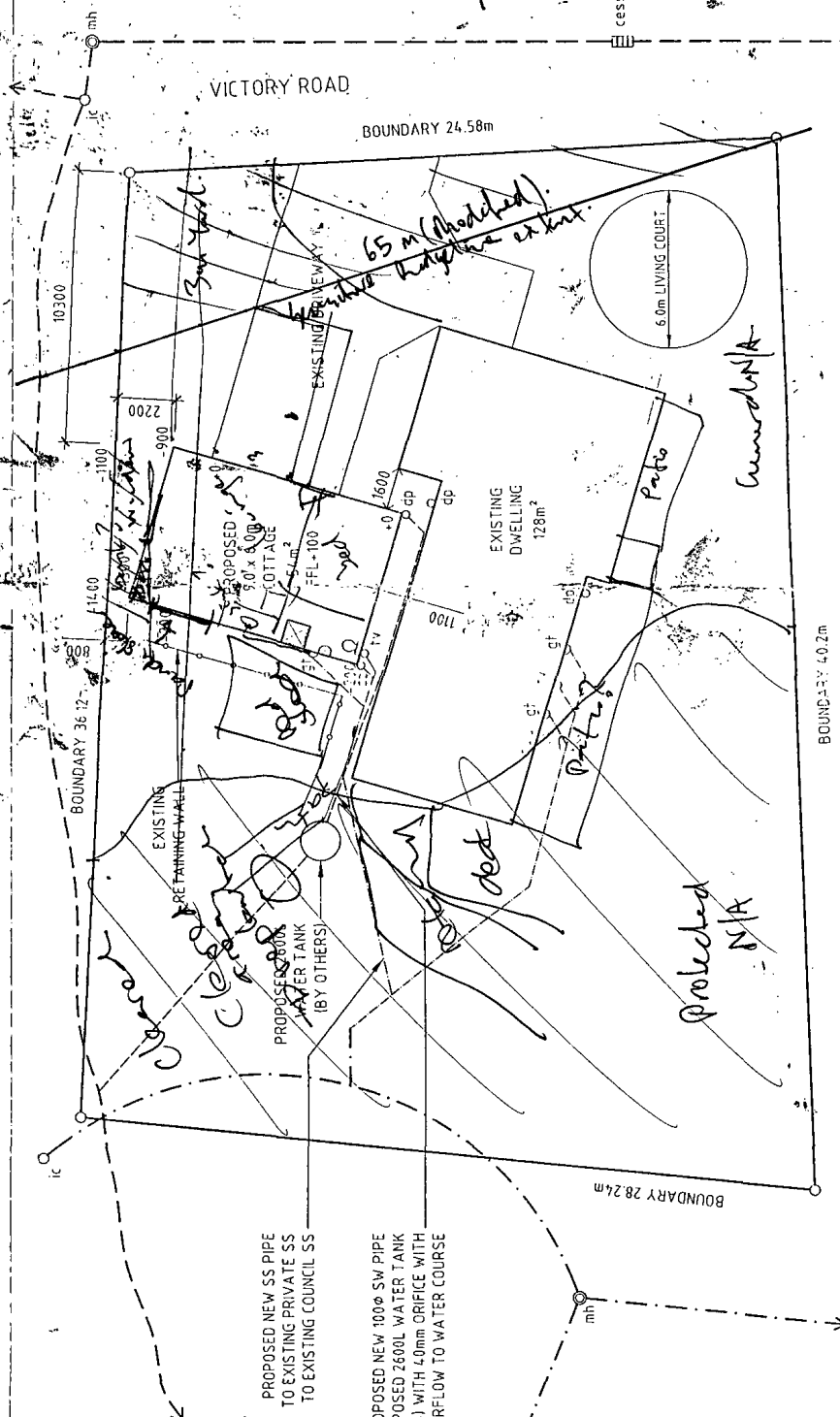
Detail: B



VERSATILE BUILDINGS
Construction Details, 600 Series
VERSATILE BUILDING

Copyright: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF VERSATILE BUILDINGS LTD.
K HITCHENS
31 Victory Road, Lavingham
PH: (03) 946-8764
Proposed Garage For:
VERSATILE BUILDINGS
Construction Details, 600 Series
VERSATILE BUILDING

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING. ALL DIMENSIONS IN MM UNLESS STATED



Tank to be clear of trees in local area at base of retaining wall
 Existing red shed?
 Site plan showing retaining walls - retrospective support?
 Sign: 17/4/04
 Date: 17/4/04

LEGEND

---	EXISTING COUNCIL SW
---	EXISTING COUNCIL SS
---	EXISTING PRIVATE SW
---	EXISTING PRIVATE SS
○	MANHOLE
○	DOWNPIPE
D	GULLY TRAP
○	TERMINAL VENT

Note: Construction to comply with NZS 2604 (1999) and the New Zealand Building Code 1992 WINDLOADS USE NZS 3604 (1999)

SCALE:	DATE:
1:200	18/03/2004
PROJECT NAME:	FILE:
VERSATILE	VERSATILE

NOTES

PROPOSED COTTAGE TO BE SITED 1m FROM SIDE & 1.6 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS

EARTHWORKS

EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE AREA (APPROXIMATE)

BUILDING PLATFORM:

OUTSIDE BUILDING PLATFORM

VOLUME (APPROXIMATE - BASED ON LEVELS)

BUILDING PLATFORM:

OUTSIDE BUILDING PLATFORM

10m² (AREA OUT OF LEVEL)

+5m³

6m³

<1m³

BOUNDARY 4.02m

PROPOSED NEW 1000 SW PIPE TO EXISTING PRIVATE SS TO EXISTING COUNCIL SS

PROPOSED NEW 1000 SW PIPE TO PROPOSED 2600L WATER TANK (BY OTHERS) WITH 40mm ORIFICE WITH OVERFLOW TO WATER COURSE

LEGAL DESCRIPTION

LOT	644
DP	32446
CT	NA1068/48

TOWN PLANNING

SITE AREA	994m²
EXISTING BUILDING COVERAGE	128m²
PROPOSED BUILDING COVERAGE	54m²
TOTAL BUILDING COVERAGE	182m²
IMPERMEABLE SURFACES (DRIVEWAY, BUILDINGS, DECKS)	282m²
PERMEABLE AREA	712m²

120m² covered car park

VERSATILE BUILDINGS

HEAD OFFICE:
 112 WATERLOO ROAD
 PH: (03) 348-9704
 FAX: (03) 348-9093

PROJECT TITLE
K HITCHENS
 31 VICTORY ROAD, LAINGHOLM

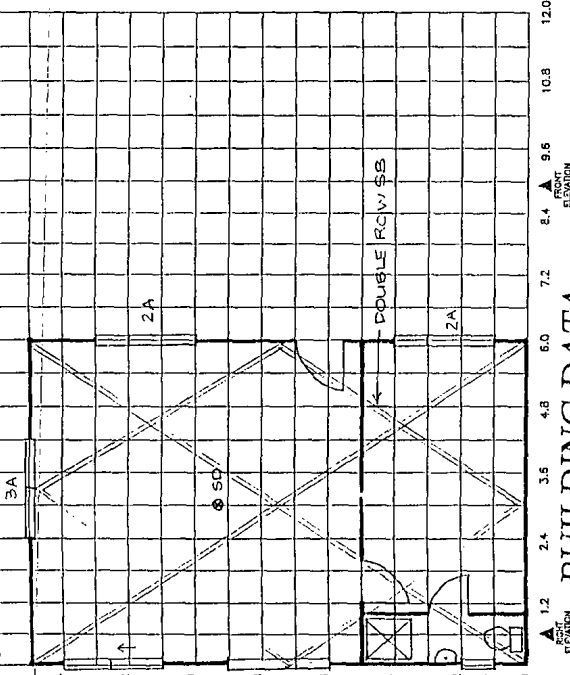
DRAWING TITLE

SITE PLAN

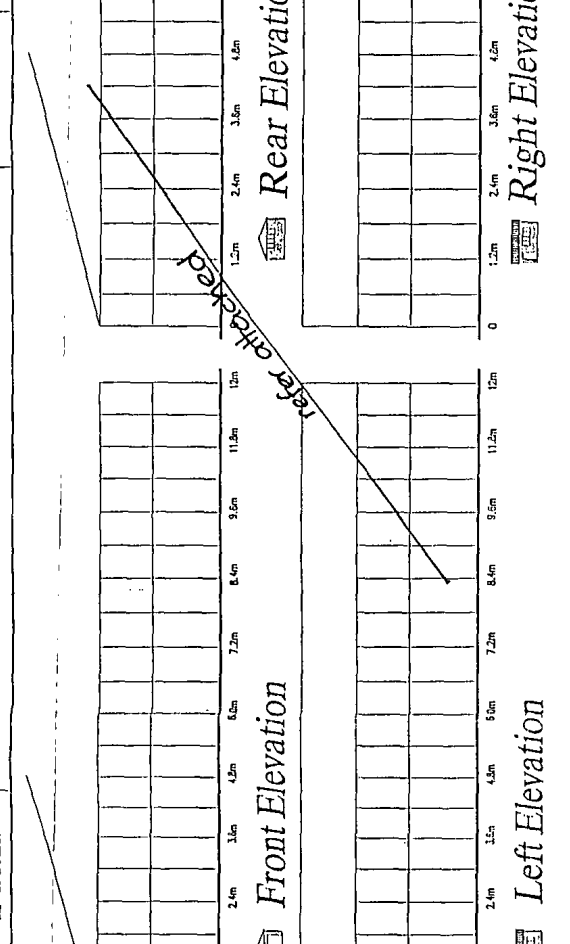
SHEET:	DATE:
01	18/03/2004

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

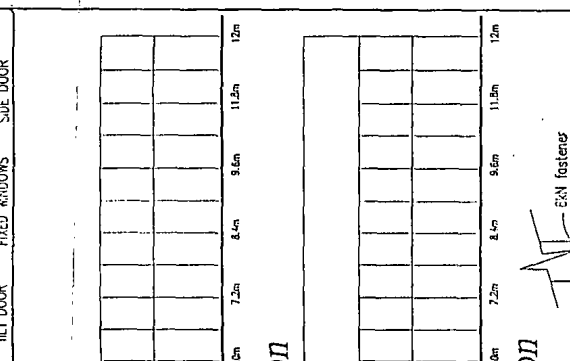
FLOOR PLAN
Building Width (Gable)



LEGEND
Plan



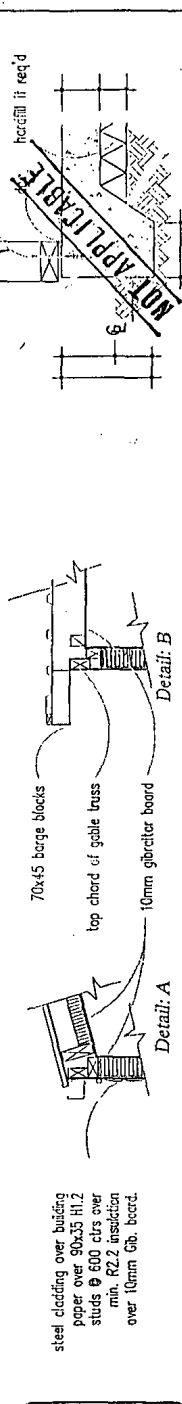
LEGEND
Elevation



NOTES:
Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000. Copyright: These drawings must not be reproduced without express permission of Versatile Buildings Ltd.

BUILDING DATA

Length	9.0m	Width	6.0m	Area	54.0m ²
STUD HEIGHT	2.1m	2.4m	2.7m	3.0m	
CLADDING	Versatile	Specified	Other		
WIND ZONE	Low	Med	High	V-High	
FLOOR	Concrete	Timber			
FLOOR PITCH	15°	20°	25°	other	



GENERAL
All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Ltd/Mitek Producer Statement for Design, dated July, 2002. VB2000 Series

FOUNDATIONS
Concrete floor shall be 200Pa, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine gauged and treated to T.P.A. specification H1.2 or C.F. MGP 10 framing. Studs shall be 90x35 frames at 300 cts and housed into plates. Lay 'Supercourse' D.P.C. under all plates. Refer nail Produce: Statement VB2000 Sheet 4 for timber grade options and specification. Fix hardware in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING
Purlins shall be 50mm x 45mm on edge at 1500 max cts fixed to Giralgal 15 degree trusses. Fix purlins, trusses and ridge braces as detailed in Producer Statement VB2000, Sheets 14 & 15. For raking ceiling (skillion roof) refer VB2000 page 13.

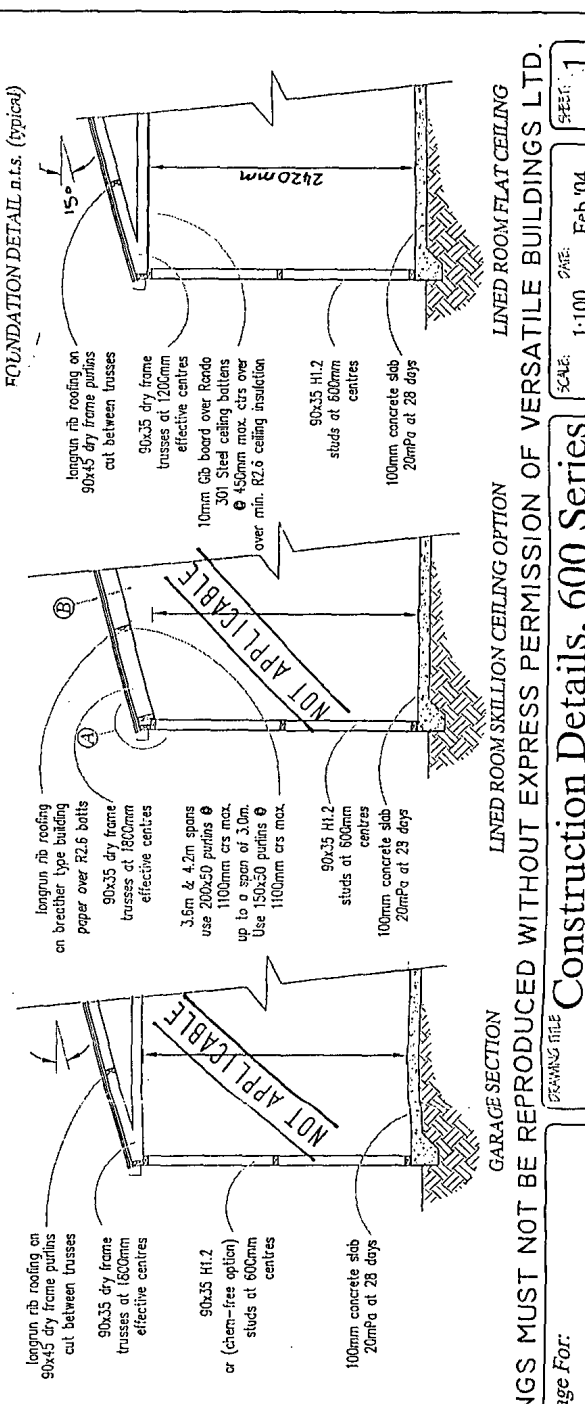
SIDE ENTRY OPENING LINTELS
LVL Beams steelspan as per Producer statement VB2000 Sheet 4. Fixing details VB2000 Sheet 9

ROOFING
Shall be steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING
Fix in accordance with NZ 3604 & as wall bracing fixing specification

ROOF BRACING
For all buildings for Lumberlok roof plane strap bracing in accordance VB2000 Producer Statement, Sheet 17. For 2.7 & 3.0m stud, refer VB2000 Sheet 8

WALL BRACING
Fix Bracing per VB2000 Sheet 7. Bracing Panel locations and fixing refer: Wall Bracing: 603 Series, Feb 04 Ver 1.4



SPECIFICATIONS

FOUNDATION DETAIL D.L.S. (typical)

longrun rib roofing on breather type building paper over R2.6 batts

90x35 dry frame trusses at 1200mm effective centres

10mm Gb board over Rando 301 Steel ceiling battens @ 450mm max. cts over 10mm min. R2.0 ceiling insulation

90x35 H1.2 studs at 600mm centres

100mm concrete slab 20MPa at 28 days

longrun rib roofing on 90x45 dry frame purlins cut between trusses

90x35 dry frame trusses at 1200mm effective centres

10mm Gb board over Rando 301 Steel ceiling battens @ 450mm max. cts over 10mm min. R2.0 ceiling insulation

90x35 H1.2 studs at 600mm centres

100mm concrete slab 20MPa at 28 days

longrun rib roofing on breather type building paper over R2.6 batts

90x35 dry frame trusses at 1800mm effective centres

3.6m & 4.2m spans use 200x50 purlins @ 1100mm cts max. up to a span of 3.0m. Use 150x50 purlins @ 1100mm cts max.

90x35 H1.2 studs at 600mm centres

100mm concrete slab 20MPa at 28 days

longrun rib roofing on 90x35 dry frame trusses at 1800mm effective centres

3.6m & 4.2m spans use 200x50 purlins @ 1100mm cts max. up to a span of 3.0m. Use 150x50 purlins @ 1100mm cts max.

90x35 H1.2 studs at 600mm centres

100mm concrete slab 20MPa at 28 days

Garage Section
LINED ROOM SKILLION CEILING OPTION

Lined Room Flat Ceiling

longrun rib roofing on 90x45 dry frame purlins cut between trusses

90x35 dry frame trusses at 1200mm effective centres

10mm Gb board over Rando 301 Steel ceiling battens @ 450mm max. cts over 10mm min. R2.0 ceiling insulation

90x35 H1.2 studs at 600mm centres

100mm concrete slab 20MPa at 28 days

longrun rib roofing on breather type building paper over R2.6 batts

90x35 dry frame trusses at 1800mm effective centres

3.6m & 4.2m spans use 200x50 purlins @ 1100mm cts max. up to a span of 3.0m. Use 150x50 purlins @ 1100mm cts max.

90x35 H1.2 studs at 600mm centres

100mm concrete slab 20MPa at 28 days

longrun rib roofing on 90x35 dry frame trusses at 1800mm effective centres

3.6m & 4.2m spans use 200x50 purlins @ 1100mm cts max. up to a span of 3.0m. Use 150x50 purlins @ 1100mm cts max.

90x35 H1.2 studs at 600mm centres

100mm concrete slab 20MPa at 28 days

Construction Details, 600 Series
VERSATILE BUILDING

PROJECT TITLE
K HITCHENS
31 Victory Road, Laingholm

Proposed Garage For:

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SCALE: 1:100 DATE: Feb 04

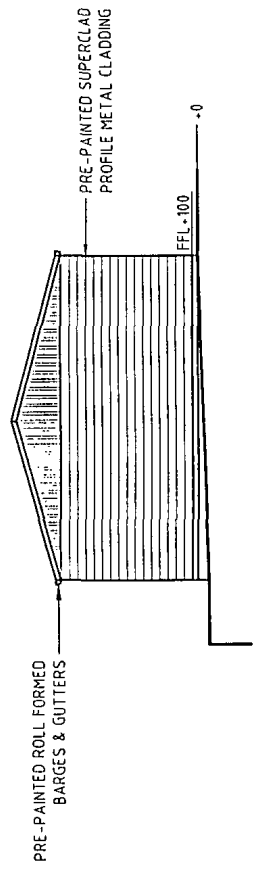
DRAWN: V.B. Ltd FILE: VG-136A

SHEET: 1 OF 1

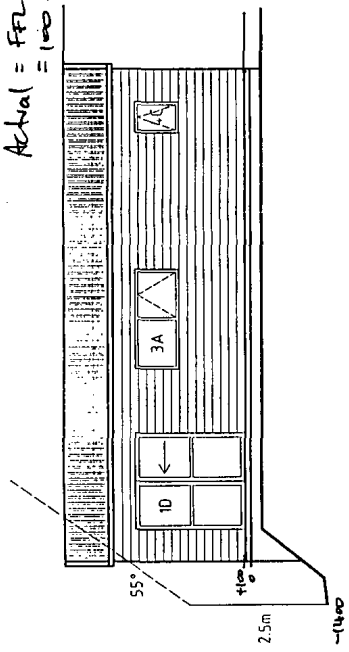
HEAD OFFICE:
112 WATERLOO ROAD

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED

$2.5 + (1.428 \times D) + \text{Spot @ Barrows}$
 $A_{\text{low}} = 2.5 + \text{Spot}$
 $= 2.5 + (1.428 \times 0.8) + 1.428$
 $= 2.24$
 $\text{Actual} = \text{FFL} + H$
 $= 1.00 + 3.35 = 3.45$
 $\text{Diff} = 1.11\text{m}$

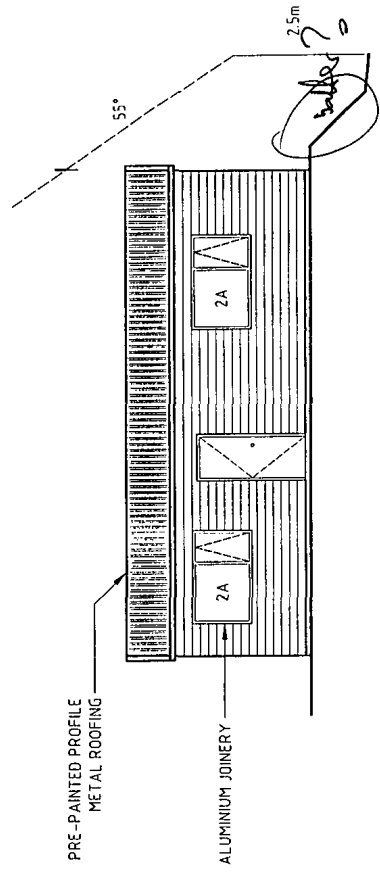


① FRONT ELEVATION

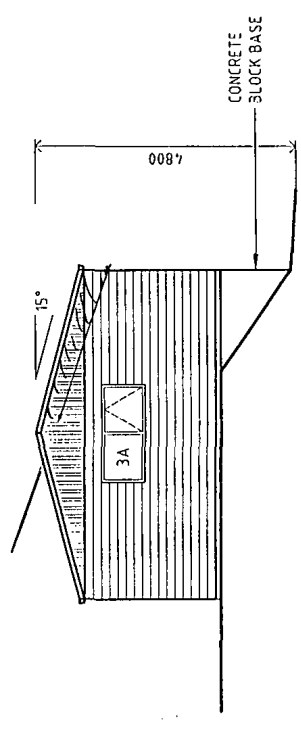


② SIDE ELEVATION

Sign *g.w. Jethes*
 Date 17/4/04



③ SIDE ELEVATION



④ REAR ELEVATION
 No. of pan. 2

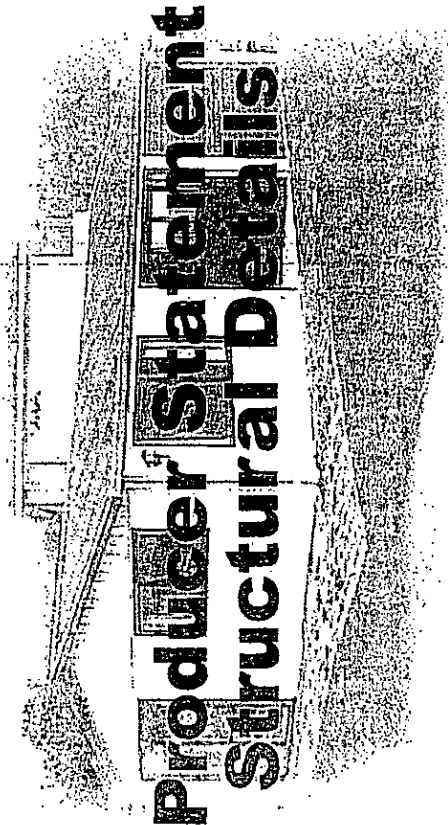
VERSATILE[®] BUILDINGS

Designed by:

Mi™ **MiTek** New Zealand Ltd.

PO Box 3887
Riccarton, CHRISTCHURCH
www.mitek.nz.co.nz

HOME OF GANG-NAIL[®] BUILDING SYSTEMS



Producer Statement Structural Details

Notes

Copyright: These drawings must not be reproduced without express permission from Mitek NZ Ltd and Versatile Buildings Ltd.

BRANZ Note: Copies of Bracing Test Report for wall cladding, Test number STR346, available for inspection from Versatile Buildings Ltd, 112 Waterloo Road, Christchurch.

Building Classification: Buildings designed for Class 4 & 5 Category as defined in NZS4203:1992 Table 2.3.1

Patent: 'Flexi-Brace' subject to Patent Application No: 504428 Mitek NZ Ltd

Steel 'Stud Saver' subject to Registered Patent No's 330803 & 314494.

Index

Index	Cover Page
Page 1	Producer Statement: MiTek NZ Ltd- Design
Page 2	Producer Statement: Versatile Buildings/BHP - Durability
VB2000-3	Detail Index
VB2000-4	Floor slab/bolting & Size Tables/Charts
VB2000-5	Hardware Fixing Details
VB2000-6	1000 Series Wall Bracing Units (1000mm stud centers)
VB2000-7	600 Series Wall Bracing Units (600mm stud centers)
VB2000-8	Roof & Wall Bracing (300mm Stud)
VB2000-9	Fire-Wall Details
VB2000-10	Ply-bracing (Floor joist/rafter/beam near opening)
VB2000-11	Palatial Wall Bracing
VB2000-12	Internal Trussing Details
VB2000-13	Roofing Wall Bracing (end wall brace) details
VB2000-14	Truss details 4.1m to 7.8m span
VB2000-15	Truss details 8.2m to 10.2m span
VB2000-16	Roof bracing (600 & 1000 series)
VB2000-17	Garaport / Verandah & Deck details
VB2000-18	Alternative Truss Stiffener Detail

CONVENTIONS:

"600 series" refers to buildings with studs at 600mm centers.

"1000 series" refers to buildings with studs at 1000mm centers.

VB2000 SERIES

February 2004 Version 1.4

VB Ltd



MiTek New Zealand Ltd.

Correspondence from: CHRISTCHURCH
20 Kotzikas Place, Sockburn
PO Box 8387, Riccarton
Phone: (03) 348 8691
Fax: (03) 348 0314

AUCKLAND
5 Zelanian Drive, East Tamaki
PO Box 58-014, Greenmount
Phone: (09) 274 7109
Fax: (09) 274 7100

HOME OF GANG-NAIL® BUILDING SYSTEMS

www.miteknz.co.nz

PRODUCER STATEMENT - DESIGN MiTek New Zealand Ltd.

VB 2000 MiTek DESIGN

The building design VB 2000 sheets VB2000/3 through to VB2000/18 has been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000
I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

Stephen Anthony COLL

A.E. IPENZ, MNZIOB

for MiTek New Zealand Ltd
20 Kotzikas Place
CHRISTCHURCH
NEW ZEALAND

Date: 3 February, 2004



BHP New Zealand Steel



MAKING BUILDINGS EASY

VERSATILE BUILDINGS LTD

PRODUCER STATEMENT – DURABILITY

The building designs VB2000 have been designed using the external metal cladding on the walls to assist in their structural stability. To satisfy the requirements of Clause B2: "Durability" of the proposed NZBC Nov.2004 and to ensure the cladding material meets a 50-year durability life the following provisions must apply:

Range of Product and Use

- Specification: AS1397: 1994
- Coating Type: Zinalume & G2z
- Steel thickness range: 0.35mm – 0.95mm BMT
- Steel grade range: G300 – G550
- Application: Standard Versatile Walls on Class IV & V Building category as per NZS4203: 1992
- Fasteners: Heavy Zinc or Zinc-tin coated clouts to comply with AS3566 Classes 3 & 4.
Aluminium rivets for all BHP Cladding products.

Requirements, Limitations and Exclusions

- Applicable to buildings in Coastal Very Severe, Coastal Severe, Coastal Moderate and Inland Moderate environments as described in BHP New Zealand Steel Environment Categories Sept 2003.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Fixing Guide VB2000
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance

- **Moderate Coastal**
Rain washing only required on exposed sections, sheltered or protected areas require washing every 3 months for areas 1000m from breaking surf or immediate vicinity of calm salt water such as estuaries.
- **Severe and Very Severe Environment**
Rain-washing only required on exposed areas. Sheltered and protected areas require washing down every month and whenever corrosive salts are present.

Extended Maintenance, Painting or Repainting

- **Extended Durability**
Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturers recommendations are to be followed for surface preparation and paint type to be used.
- **Evident Corrosion**
Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required. Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.
If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

References

1. BHP New Zealand Steel
"Environmental Categories" Sept 2003
2. Versatile Buildings Assembly Instructions
3. New Zealand Building Code 1992

Brett Waterfield

for Versatile Buildings Ltd
112 Waterloo Road
Christchurch

NEW ZEALAND

Gary Bonniface

for BHP New Zealand Steel
Private Bag 92121
Auckland

NEW ZEALAND

Dated: 1st Feb 2004

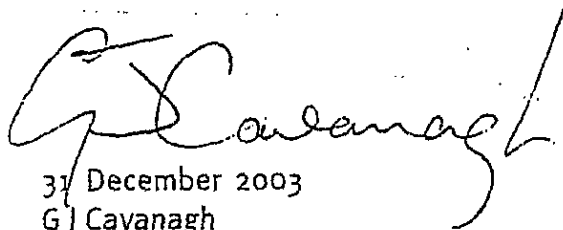
Producer Statement – Manufacture
Versatile Buildings Ltd

This is to certify that 90x35 Laserframe MGP Timber Framing produced by Carter Holt Harvey and supplied to Versatile Buildings Ltd for their VB2000 Series buildings and specified for building work in relation to the performance requirements of the NZ Building Code will be fit for purpose and meets the objectives of Clause B1 Structure subject to:

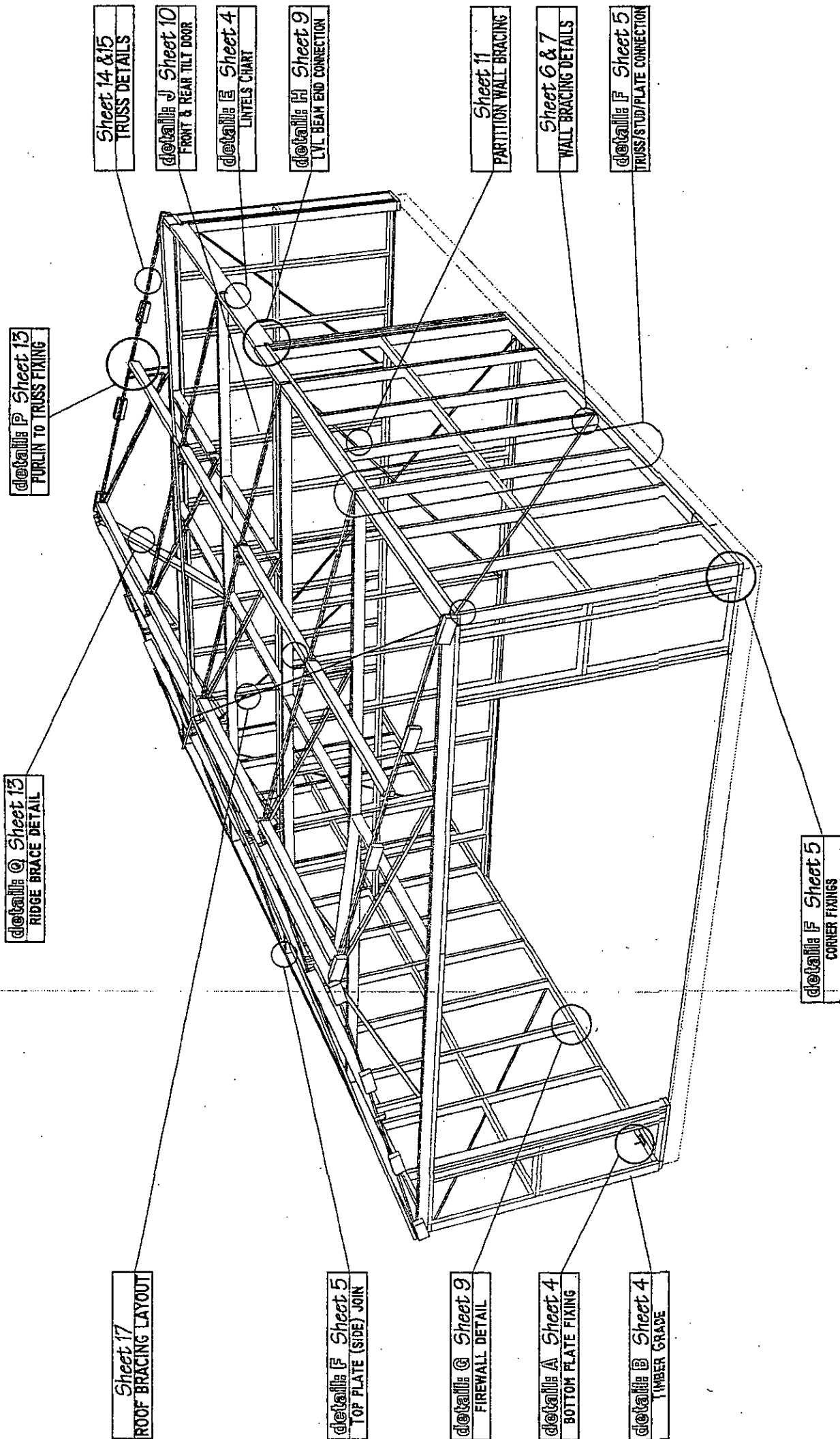
1. The design being properly completed in accordance with:
 - a) NZS 3603 : 1993 Timber Design Code.
 - b) Laserframe Product Information sheet dated November 1997.

2. The Laserframe framing work being properly completed in accordance with the drawings and specifications of Versatile Buildings Ltd. for the VB2000 Series buildings.

I, Guy John Cavanagh being a professional engineer experienced in timber products development, specification and design, have taken all reasonable steps to verify that Laserframe structural timber for residential and non-residential framing will comply with the strength and serviceability performance requirements of the NZ Building Code clause B1 Structure.



31 December 2003
G J Cavanagh
BE MICE
Registered Engineer No 5282



Sheet 14 & 15
TRUSS DETAILS

detail J Sheet 10
FRONT & REAR TILT DOOR

detail E Sheet 4
LINTELS CHART

detail H Sheet 9
LVL BEAM END CONNECTION

Sheet 11
PARTITION WALL BRACING

Sheet 6 & 7
WALL BRACING DETAILS

detail F Sheet 5
TRUSS/STUD/PLATE CONNECTION

detail P Sheet 13
PURLIN TO TRUSS FIXING

detail Q Sheet 13
RIDGE BRACE DETAIL

Sheet 17
ROOF BRACING LAYOUT

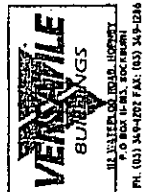
detail F Sheet 5
TOP PLATE (SIDE) JOIN

detail C Sheet 9
FIREWALL DETAIL

detail A Sheet 4
BOTTOM PLATE FIXING

detail B Sheet 4
TIMBER GRADE

detail F Sheet 5
CORNER FIXINGS



VERSATILE BUILDINGS LTD
Construction Details

DRAWING TITLE:
Detail Index

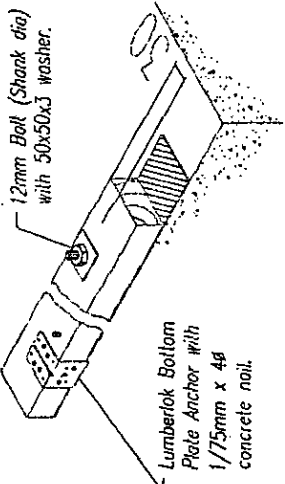
DESIGN: DRAWN: YB LTA
S.A. COLL DATE: YB2000-3
DRAWING: DATE: Feb '04

SHEET:
3

OF SHEET:
18

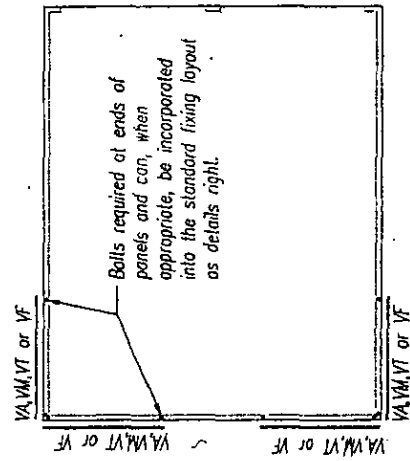
Wind Load	Max. Truss Span or Building Width
Low	12000
Medium	10600
High	9600
Very High	8400

NOTE: For fastener spacing @ 900 crs, truss spans building width can be increased by 25%.



Detail A Bottom plate fixing

Detail C 2.7 & 3.0m stud plate fixing

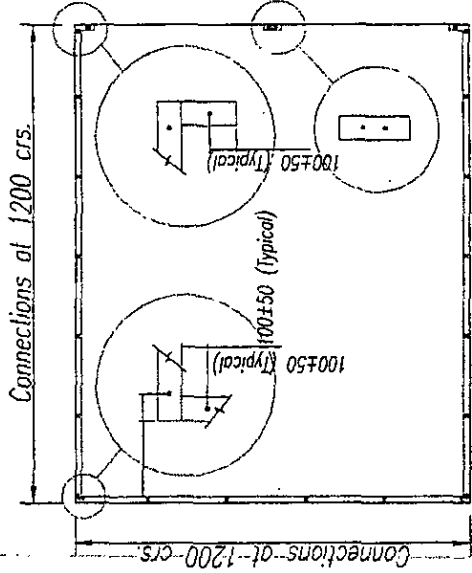


Detail B Timber grades

TIMBER GRADES:

LOCATION	STUD	Low/Med.& High Wind	V.High Wind (600 series only)
90x35 STUDS (Machine Stress Graded)	2.1 to 3.0m stud	MGP10	2.1m to 2.7m
90x35 PLATES (Machine Stress Graded)		MGP10	MGP10
90x45 PURLINS (Machine Stress Rated)		MSR F5	MSR F5

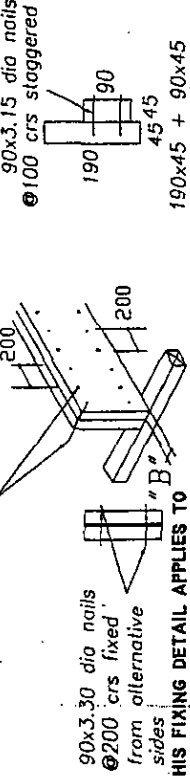
Detail D 2.1 & 2.4m stud plate fixing



NOTE:

1. Connections must be applied at all corners and door openings shown and then spaced, as per layout above, between these points.

90x3.30 dia nails driven alternative sides



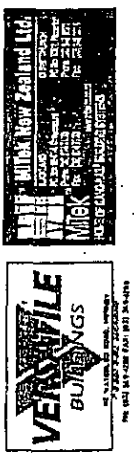
THIS FIXING DETAIL APPLIES TO 170,240 & 300 LVL LINTELS

Detail E Lintel charts

SIDE ENTRY: ALUMINIUM JOINERY			
2.1m stud height			
Opening Width	Bldg Width	Lintel Size	
865mm clear span	up to 9.0m	190x45 + 90x45	
1165mm clear span	up to 9.0m	190x45 + 90x45	
1765mm clear span	up to 9.0m	190x45 + 90x45	
2365mm clear span	up to 9.0m	190x45 + 90x45	
2.4m-3.0m stud height			
Opening Width	Bldg Width	Lintel Size	
865mm clear span	up to 9.0m	2x 90x45	
1165mm clear span	up to 9.0m	2x 90x45	
1765mm clear span	up to 9.0m	2x 140x45	
2365mm clear span	up to 9.0m	190x45 + 90x45	

SIDE ENTRY: TILT-DOORS			
2.7m wide opening			
Bldg Wth/Truss Span	Low/Med/High & or 0.5 kPa snowload	V.High & or 1.00 kPa snowload	
up to 6.0	170x45 LVL	2x 170x45 LVL	
over 6.0 to 12.0	2x 170x45 LVL	2x 170x45 LVL	
3.0m-4.5m wide opening			
Bldg Wth/Truss Span	Low/Med/High & or 0.5 kPa snowload	V.High & or 1.00 kPa snowload	
up to 6.0	240x45 LVL	2x 240x45 LVL	
over 6.0 to 12.0	2x 240x45 LVL	2x 240x45 LVL	
4.8m wide opening			
up to 12.0	2x 300x45 LVL	2x 300x45 LVL	

DESIGN NOTES: Dead load: 0.20kPa
Live Load: 0.25kPa. Snow Load: 0.50 kPa & 1.0kPa
Max. long term deflection: (L/300 or 15mm) max.
Wind Load in accordance with NZS 3604:1999
to low wind, Medium wind, High wind & V High wind



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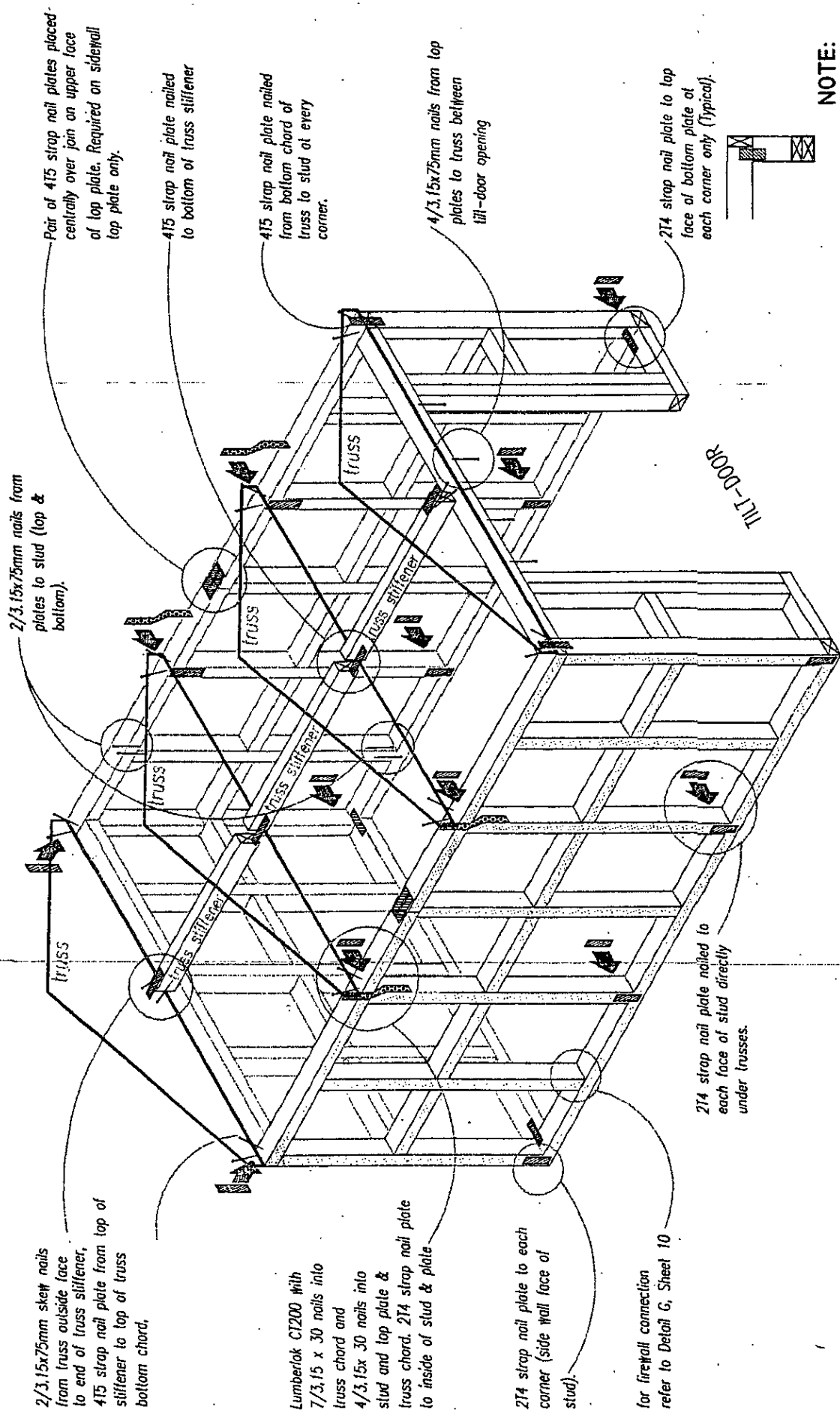
DRAWING TITLE:
Floor Slab & Tables

DESIGN: S.A. Coll
DRAWING: VB L14
DATE: Feb '04

SHEET: **4**

OF SHEET: **18**

Detail F Hardware Fixing Locations



2/3.15x75mm skew nails from truss outside face to end of truss stiffener, 415 strap nail plate from top of stiffener to top of truss bottom chord.

Lumberlok CT200 with 7/3.15 x 30 nails into truss chord and 4/3.15x 30 nails into stud and top plate & truss chord. 214 strap nail plate to inside of stud & plate

214 strap nail plate to each corner (side wall face of stud).

for fire/wall connection refer to Detail G, Sheet 10

2/3.15x75mm nails from plates to stud (top & bottom).

Pair of 415 strap nail plates placed centrally over join on upper face of top plate. Required on sidewall top plate only.

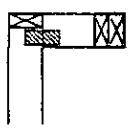
415 strap nail plate nailed to bottom of truss stiffener

415 strap nail plate nailed from bottom chord of truss to stud at every corner.

4/3.15x75mm nails from top plates to truss between tilt-door opening

214 strap nail plate to top face of bottom plate of each corner only (Typical).

214 strap nail plate nailed to each face of stud directly under trusses.



NOTE:
hardware fixings apply to both 600 & 1000 series buildings.



VERSATILE BUILDINGS LTD
A 0 BOX 14-03, SOCARWAY
PH: (03) 344-002 FAX: (03) 344-1028

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Construction Details
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DRAWING TITLE:
Hardware Fixing

DESIGN: DRAWN: S.A. Coll
DRAWING: YB L14
DATE: YB2000-5 Feb '04

SHEET:
5

OF SHEET:
18

BRACING ELEMENT: VV1 Bracing units(B/U's) per/m: 50 Description: Versacled nailed every rib	BRACING ELEMENT: VS1 Bracing units(B/U's) per/m: 40 Description: Superclad nailed as below	BRACING ELEMENT: VA1 Bracing units(B/U's) per pair 70 Description: Pair of angle brace @ approx 45°	BRACING ELEMENT: VT1 Bracing units(B/U's) per unit 70 Desc: Crossed tensioned strip-brace @ approx. 45°

BRACING ELEMENT: VF1 Bracing units(B/U's) per unit: 125 Desc: 1 single Flexi-Brace (Patent App. No. 504428)	BRACING ELEMENT: VF2 Bracing units(B/U's) per unit: 150 Desc: 1 double Flexi-Brace & 1 double-half Flexi-Brace panel	BRACING ELEMENT: VF3 Bracing units(B/U's) unit: 50 Desc: 1 single Flexi-Brace (full height panel)	BRACING ELEMENT: VF4 Bracing units(B/U's) unit: 70 Desc: 1 double Flexi-Brace (full height panel)

VERSATILE BUILDINGS LTD
Construction Details

VERSATILE BUILDINGS

1000 Series Wall Bracing

DRAWING TITLE: 1000 Series Wall Bracing

DESIGN: S.A. COIL
DRAWING: VB L4
DATE: Feb '84

SHEET: 6

OF SHEET: 18

VERSATILE BUILDINGS LTD
MILK HOUSE, 220, NEW ZEALAND RD, AUCKLAND, N.Z.
TELEPHONE: 011-839 1111
FACSIMILE: 011-839 1111
TELEX: 9205 1111
CABLE: 9205 1111

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BRACING KEY:



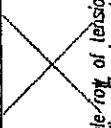
Indicates double row of tensioned Multibrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.



Indicates single row of tensioned Multibrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.



Indicates double row of tensioned Stripbrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.



Indicates single row of tensioned Stripbrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.

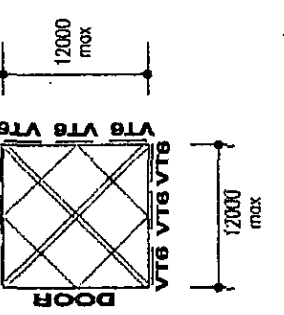
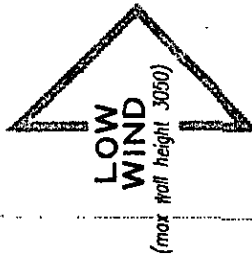
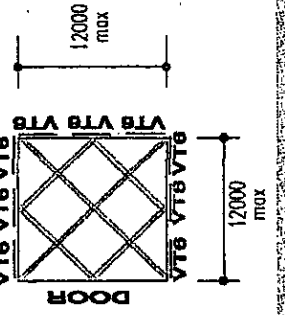
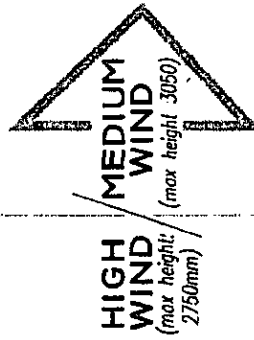
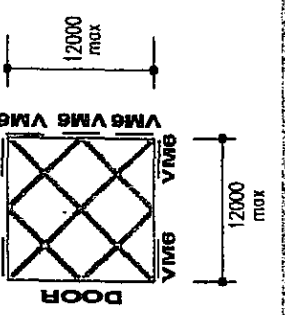
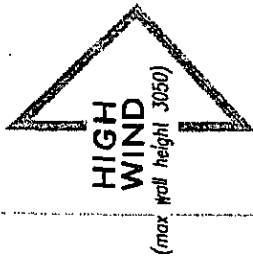
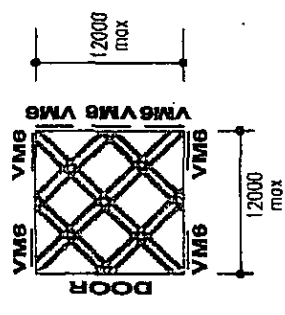
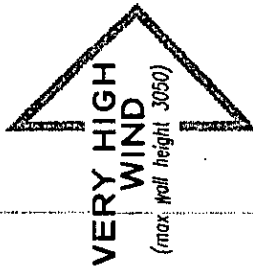
VM6

Indicates single crossed strip in wall @ 45° of tensioned multibrace. Fixed at top and bottom plates with 6 x 30 x 3.15 nails. Use a 12mm bolt with a 50 x 50 x 3 washer at each end of panel through bottom plate. Fixing details on page: VB2000-7

VT6

Indicates single crossed strip in wall @ 45° of tensioned stripbrace. Fix as per multibrace except with 4 x 30 x 3.15 nails. Bolt as per multibrace. Fixing details on page: VB2000-7

- Note Building dimensional ratio of side walls and end wall must not exceed 1 to 1.5.
- Design covers garages of wall heights 2750 to 3050.
- All other details as per the designs VB2000 - pages 3 to 17. All bracing to be installed to a maximum angle of 55 and a minimum angle of 45 to the bottom plate. Can be located in any position along the wall. Where possible to install wall bracing in all 4 walls locate the bracing elements evenly.



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DRAWING TITLE:
Bracing 2750-3050 stud

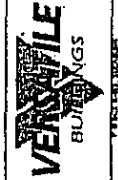
DESIGN: DRAWN: V5 L14
DRAWING: DATE: VB2000-8 Feb 04

SHEET: 8

OF SHEET: 18

BRACING ELEMENT: VV6	BRACING ELEMENT: VS6	BRACING ELEMENT: VA6	BRACING ELEMENT: VT6
Bracing units(B/U's) per/1200mm per/1800mm 60 90	Bracing units(B/U's) per/1200mm per/1800mm 45 68	Bracing units(B/U's) per pair 70	Bracing units(B/U's) per unit 100
Description: Versaclad nailed every rib 1200mm 60 b/u's Nail alternate ribs sheet step versaclad cladding bolt requirements refer detail 2114 or 2420mm	Nail all pans (150mm cirs) at steel edges, around windows, doors etc. 1700mm 15 b/u's Nail bottom on hinge only intermediate studs, (hidden, nailed) sheet edges board cladding 300 cirs at top & bottom plates 2114 or 2420mm	Description: Pair of angle brace @ approx 45° Fix angle brace with exposed edge adjacent 15 min. 45 min. 55 max. 2114 or 2420mm Fix intermediate stud crossings with 2x 60x3.15 nails. Fix both ends with 3x 60x3.15 nails.	Desc: Crossed tensioned strip-brace @ approx. 45° Fix strip-brace onto gutter pan & top plate 100mm strip: 100 b/u's multi-250 b/u's 1 tensioner per strip M16: multi-brace M16: of brace M16: strip below 200 long 90x35 plates to fit 6/30x3.15 nails 2114 or 2420mm

BRACING ELEMENT: VF5	BRACING ELEMENT: VF6	BRACING ELEMENT: VF7	BRACING ELEMENT: VF8
Bracing units(B/U's) per unit: 80	Bracing units(B/U's) per unit: 105	Bracing units(B/U's) per/m: 30	Bracing units(B/U's) per/m: 60
Description: 1 single Flexi-Brace & 1 half Flexi-Brace panel Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge 1700mm down, fasten in 15 b/u's of stud. 1/Type 17 35mm screws per end 6N Stud to bottom plate fixing: 8/30x3.15 product nails to stud & 4/Type 17 35mm screws to plate 100mm 50x50x3 washer 12mm bolt with 100mm from stud within 2114 or 2420mm	Description: 1 double Flexi-Brace & 1 double-half Flexi-Brace panel Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge 1700mm down, fasten in 15 b/u's of stud. 1/Type 17 35mm screws per end 6N Stud to bottom plate fixing: 8/30x3.15 product nails to stud & 4/Type 17 35mm screws to plate 100mm 50x50x3 washer 12mm bolt with 100mm from stud within 2114 or 2420mm	Description: 1 single Flexi-Brace (full height panel) Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge 600mm down, fasten in 30 b/u's of stud. 1/Type 17 35mm screws per end. 6N Stud to bottom plate fixing: 8/30x3.15 product nails to stud & 4/Type 17 35mm screws to plate 100mm 50x50x3 washer 12mm bolt with 100mm from stud within 2114 or 2420mm	Description: 1 double Flexi-Brace (full height panel) Gang-Nail Flexi-Brace (Patent App. No. 504428) fix with exposed edge 600mm down, fasten in 60 b/u's of stud. 1/Type 17 35mm screws per end. 6N Stud to bottom plate fixing: 8/30x3.15 product nails to stud & 4/Type 17 35mm screws to plate 100mm 50x50x3 washer 12mm bolt with 100mm from stud within 2114 or 2420mm



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Construction Details

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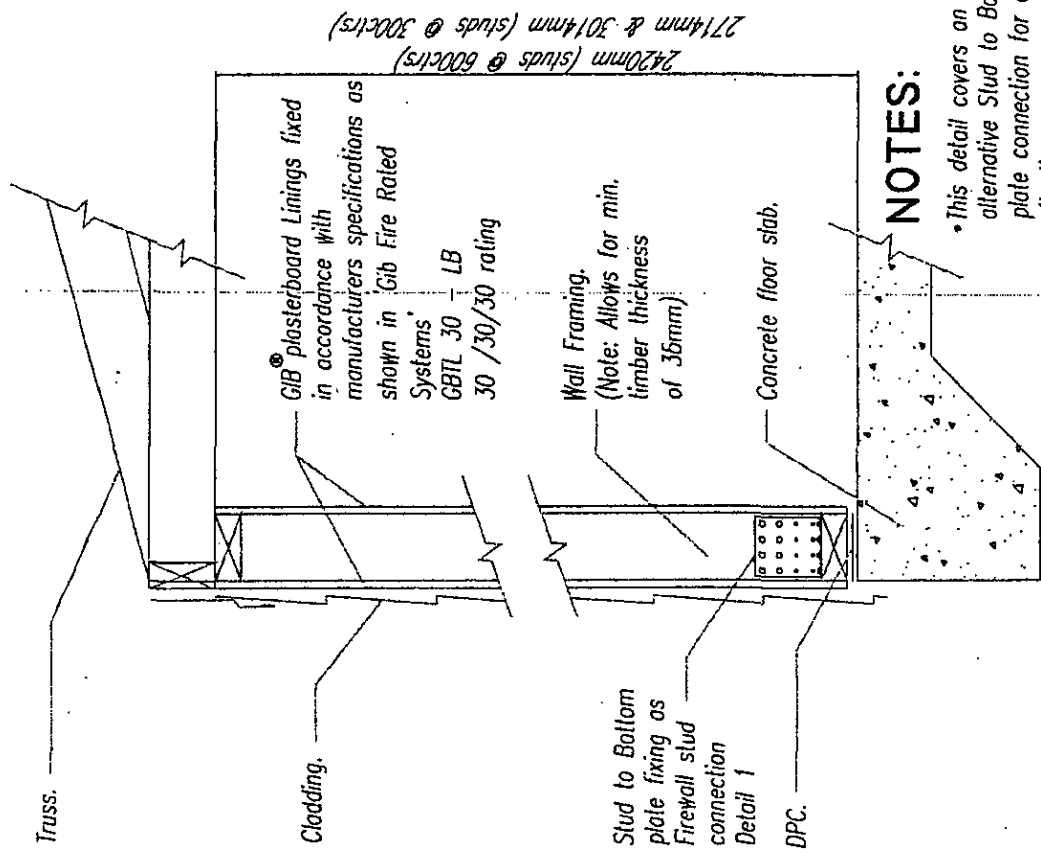
DRAWING TITLE:
600 Series Wall Bracing

DESIGN: DRAWN:
S.A. Coll VB L24

SHEET:
7

OF SHEET:
18

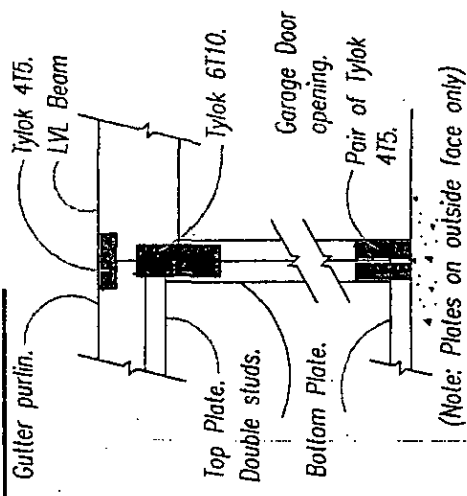
Cross section through firewall



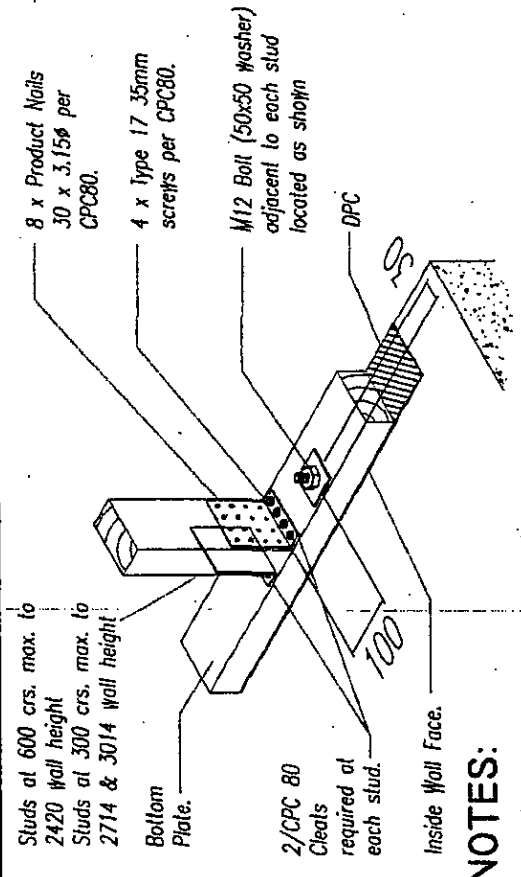
NOTES:

- This detail covers an alternative Stud to Bottom plate connection for a firewall situation.
- Firewalls are applicable for studs @ 300mm & 600mm ctrs max.

Detail H LVL Beam Connection

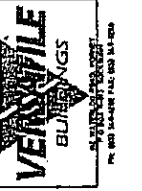


Detail I Firewall stud connection



NOTES:

- Fixing components are available in a pack, including:
2 x CPC80 cleats
16 Product Nails 30 x 3.15 ø Galv.
8 x Type 17 35mm Hex head screws Galv.
- Both faces of wall clad in fireproof lining. Not shown for clarity.



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Construction Details
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REVISION: 07/05/03 - FIREWALL DETAIL EXPANDED FOR 2714 & 3014 STUD HEIGHTS

DRAWING TITLE: Fire-Wall & LVL Details

DRAWING NO: VB2000-9

DATE: Feb '04

DESIGN: S.A. Col

DRAWN: VB Ltd

CHECKED: VB Ltd

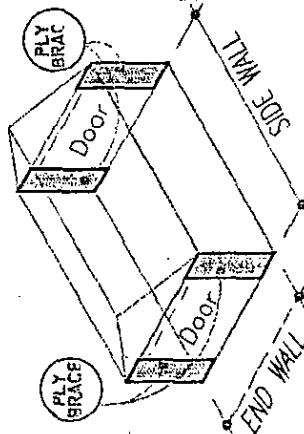
SHEET: 9

OF SHEET: 18

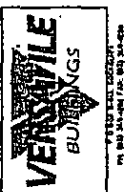
Detail J Ply Brace (single & double sided)

NOTE:

- Ply braces (as detailed below) can be substituted for standard wall bracing, where 2 tilt-doors are located in opposite walls.
- Ply brace panels of less than 500mm wide shall require specific design.



BRACING ELEMENT: VP1	BRACING ELEMENT: VP2
Bracing units(B/U's)per pair: 135	Bracing units(B/U's)per pair: 170
Desc: 7.5mm Ply panel (one face)& 1 single Flexi-Brace	Desc: 7.5mm Ply panel (both faces) & 1 single Flexi-Brace
<p>Gang-Nail Flexi-Brace fix with exposed edge down, fasten in centre of stud.</p> <p>500mm min.</p> <p>6kN fastened to top plate and inside of truss (total 4 per stud)</p> <p>1/Type 17 35mm screw per end</p> <p>double stud of each of bracing panel</p> <p>Construction Ply: 7.5mm construction ply on inside of wall. Fix using nails 150mm centres around sheet edges & across diang.</p> <p>6kN stud anchor OR plate: Nailon 150mm 2 x 80 x 3.15φ nails fix 30x member 6 per member</p> <p>6kN Stud to bottom plate fixing: 8/30x3.15φ product nails to stud & 4/Type 17 35mm screws to plate</p> <p>12mm bolt with 50x50x3 washer within 100mm</p>	<p>Gang-Nail Flexi-Brace fix with exposed edge down, fasten in centre of stud.</p> <p>500mm min.</p> <p>6kN fastened to top plate and inside of truss (total 4 per stud)</p> <p>1/Type 17 35mm screw per end</p> <p>double stud of each of bracing panel</p> <p>Construction Ply: 7.5mm construction ply on both sides of wall. Fix using 30x 3.15φ flat head nails @ 150mm centres around sheet edges & across diang.</p> <p>6kN stud anchor OR plate: Nailon 150mm 2 x 80 x 3.15φ nails fix 30x member 6 per member</p> <p>6kN Stud to bottom plate fixing: 8/30x3.15φ product nails to stud & 4/Type 17 35mm screws to plate</p> <p>12mm bolt with 50x50x3 washer within 100mm</p>



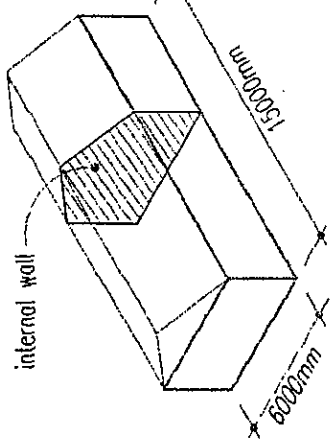
VERSATILE BUILDINGS LTD
Construction Details
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DRAWING TITLE:
Ply Bracing Front & Rear

DESIGN: SA. Coil
DRAWING: VB2000-10
DRAWN: VB Ltd
DATE: Feb '04

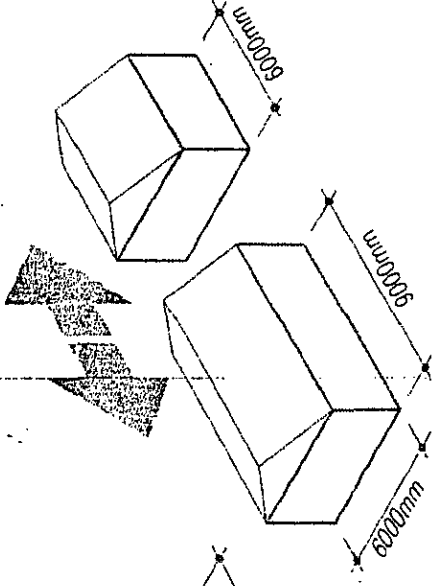
SHEET: **10**

OF SHEET: **18**



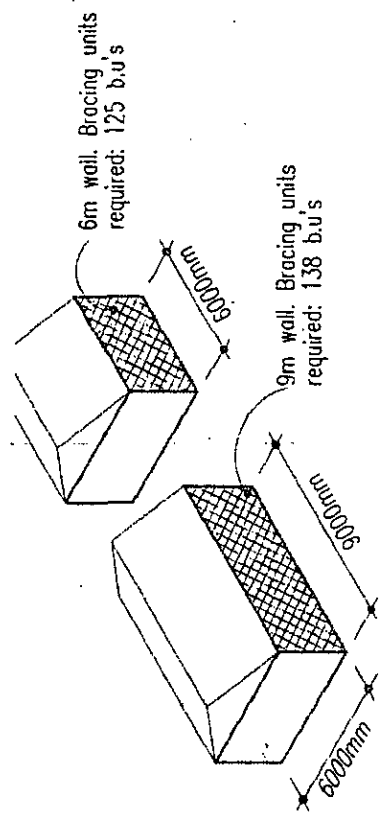
INTENDED BUILDING (example)

1. If required building is outside bracing requirements from the sheets 9 & 17 (wall & roof) then consider the building as two separate constructions (about the internal wall.)



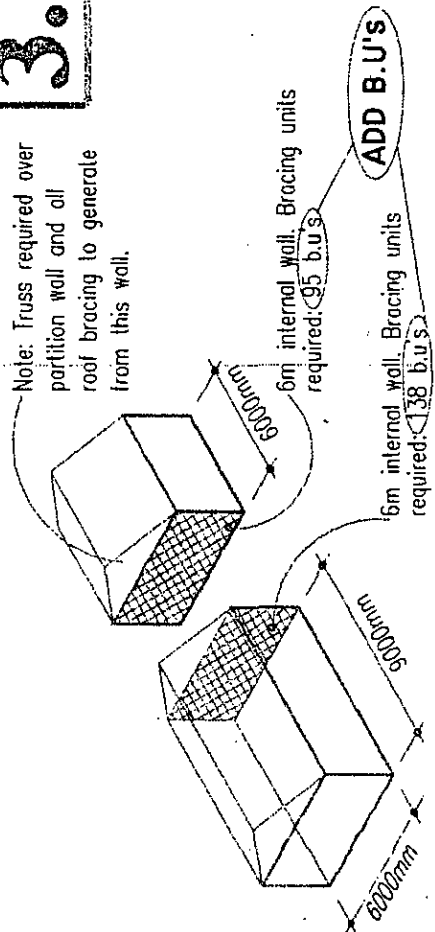
2.

Brace side walls as individual 'walls' from sheet 8. Consider the building as two separate constructions. eg: 15m x 6m = 1 (6m x 9m) & 1 (6m x 6m)



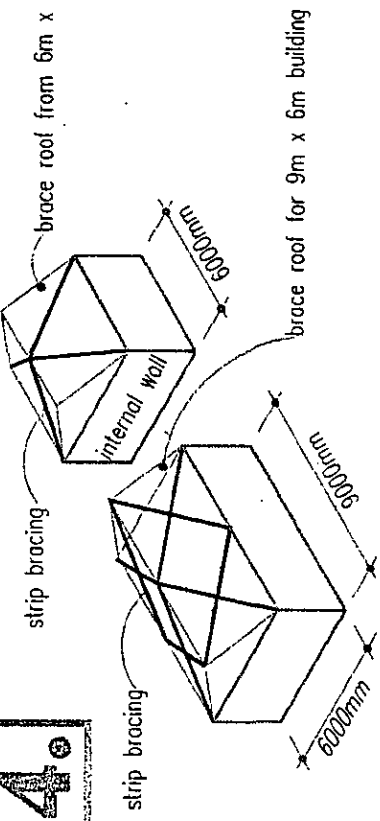
3.

Note: Truss required over partition wall and all roof bracing to generate from this wall.



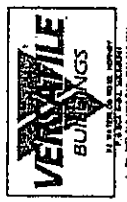
3. Brace internal walls from respective wall bracing sheets 6/7. Use only the VT of VF (Strip brace or Flexi-Brace) Eg: Total bracing units: 233 b.u's required (for example)

4.



4. Brace roof as individual buildings from Sheet 16 eg: 6m x 9m roof & 6m x 6m

5. All other details as per VB2000 drawings apply. eg: 6m x 9m roof & 6m x 6m



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Construction Details

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DRAWING TITLE:
Partition wall bracing

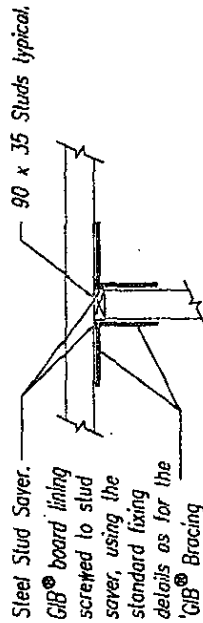
DESIGN: DRAWN: YB Ltd
S.A. Coll: YB Ltd
DRAWING: DATE: Feb '04
VB2000-11

SHEET:
11

OF SHEET:
18

Detail K Internal Partition

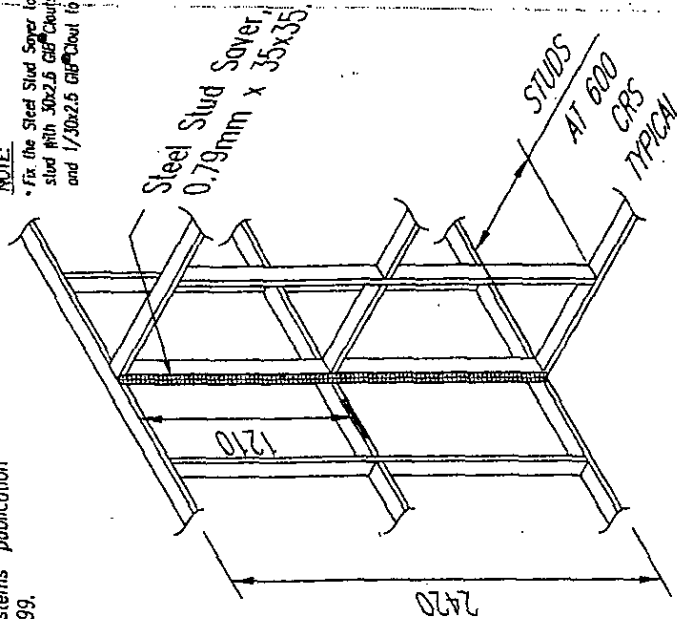
Garages (non-braced situation) & Cottages (braced situation)



Steel Stud Sayer.
GIB® board lining
screwed to stud
sayer, using the
standard fixing
details as for the
'GIB® Bracing
Systems' publication
1999.

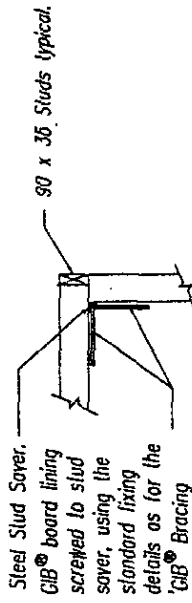
NOTE:

* Fix the Steel Stud Sayer to the adjacent stud with 30x2.5 GIB® Cleats at 300mm crs. and 1/30x2.5 GIB® Cleat to each nog and plate

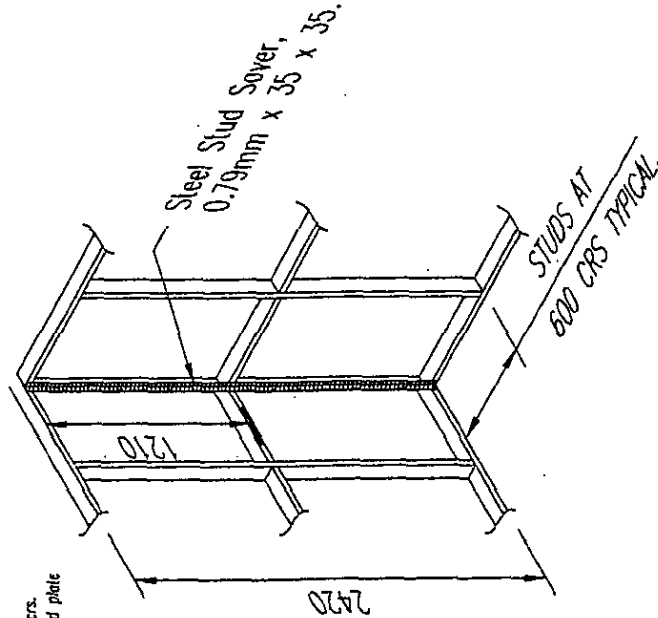


Detail L External Corner

Garages (non-braced situation)

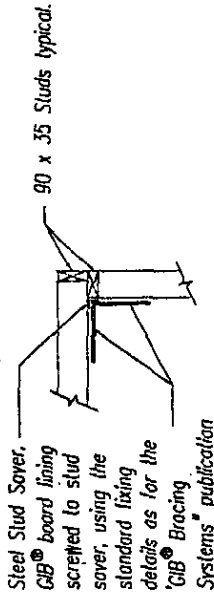


Steel Stud Sayer.
GIB® board lining
screwed to stud
sayer, using the
standard fixing
details as for the
'GIB® Bracing
Systems' publication
1999.

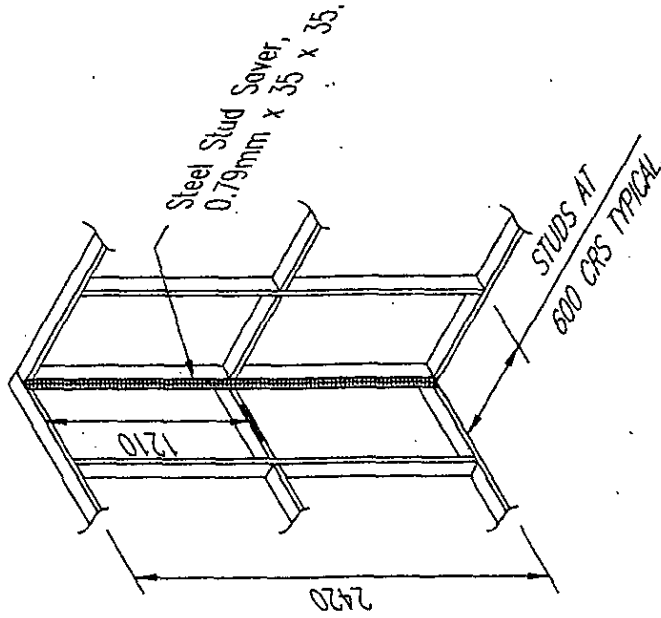


Detail M External Corner

Cottages (braced situation)



Steel Stud Sayer.
GIB® board lining
screwed to stud
sayer, using the
standard fixing
details as for the
'GIB® Bracing
Systems' publication
1999.



NON BRACED SITUATION:

The standard building construction has its own bracing system through Angle Brace (VA), Strip Brace (VI), Multi Brace (VM), Superclad (VS), Flexibrace (VF) and or Versaclad (VV) and the addition of Plaster Board internal lining, although adds significantly to the building stiffness, is not required for stability or bracing.

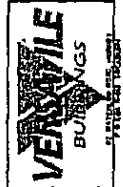
NOTES:

BRACED SITUATION:

The cottage construction details use the GIB® Board lining as an integral part of the building bracing. The corner and internal partition arrangements as detailed are to be used in conjunction with the standard fixing details as for the 'GIB® Bracing Systems' publication 1999.

TEST RESULTS:

Testing of the STEEL STUD SAVER using the fixing arrangements as detailed on this sheet, has been carried out by BRANZ and their opinion verifies the acceptable performance of the system. This opinion dated 5 May 1999 is available for inspection from Cong-Nail Group Ltd, 20 Kotzikas Place Christchurch.



VERSATILE BUILDINGS LTD
Construction Details

DRAWING TITLE:

Internal Lining Details

DESIGN: S.A. Coll
DRAWING: V.B.L.T.
DATE: Feb '04

SHEET: 12

OF SHEET: 18

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Specification trusses

SPAN AND LOAD CHART

Live Load = 0.20kPa (Distr)
1.0kN (Conc)

Dead Load = 0.15 kPa (top chord)
0.20 kPa (bottom chord)
on 900 & 1200crs. only

Wind Load Cpi = 0.60 max
Cpe = 0.80 max

Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD(kpa)
2000	High	0.60
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

TIMBER:

The specification of timber shall be as follows:

Grading: MSC Radiata Pine to F4 or MGPI0 grade as noted.

Treatment: To NZMP 3640 : 1992

Moisture Content: Dry

MANUFACTURING TOLERANCES:

±10mm

±5mm

±10mm

±5mm

±10mm

±5mm

±10mm

±5mm

±10mm

±5mm

±10mm

±5mm

±10mm

±5mm

±10mm

±5mm

Typical positioning tolerances for plates

NOTE:

- Plates are to be fully pressed home on both sides of joints. The plate axis must be located in the specified or indicated direction.



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Construction Details
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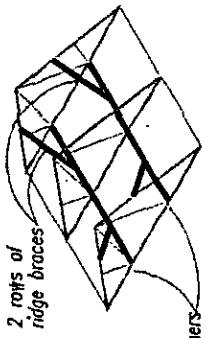
DRAWING TITLE:
Truss Details

DESIGN: DRAWN:
S.A. Coll VB L14

SHEET:
14

OF SHEET:
18

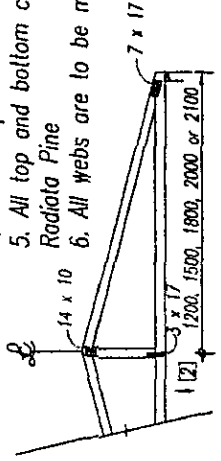
- NOTE:**
- Truss top chord pitch range is 15°, 20°, 25°, 30°
 - Indicates location of Bottom Chord Brace (truss stiffener)
 - Indicates the Truss Camber (typical)
 - All truss plates are Gang-Nail CN10 type
 - All top and bottom chords are to be MCP10 90 x 35 Radiata Pine
 - All webs are to be min. F4 70 x 35 Radiata Pine



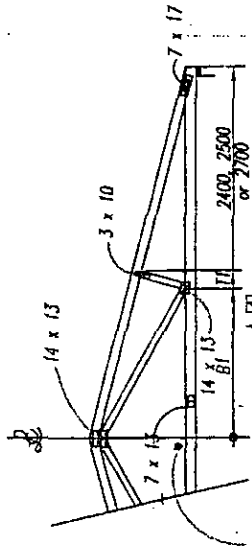
2 rows of ridge braces per roof(s) of stiffeners

2 rows of truss stiffeners

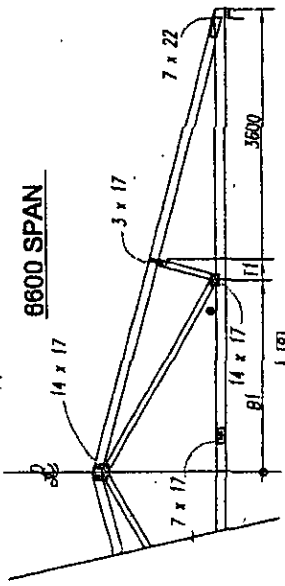
NOTE: Use 2 Ridge braces per roof(s) of stiffeners



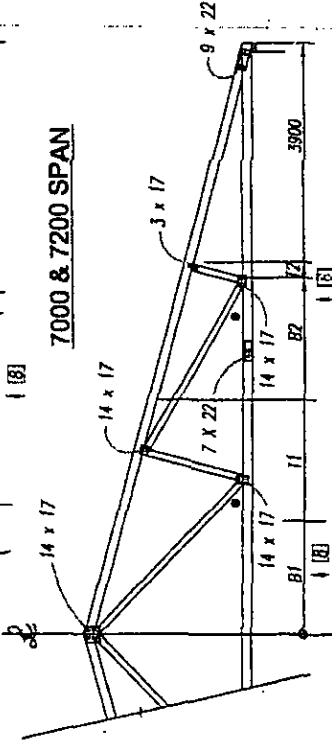
2400 to 4200 SPAN INCLUSIVE



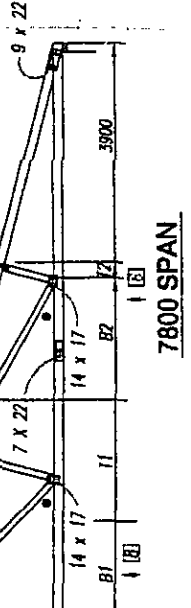
4800, 5000 & 5400 SPAN
Only required on the 5400 span



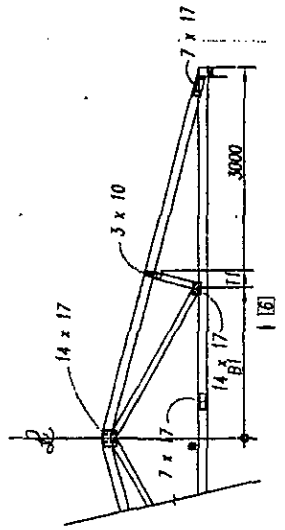
6600 SPAN



7000 & 7200 SPAN



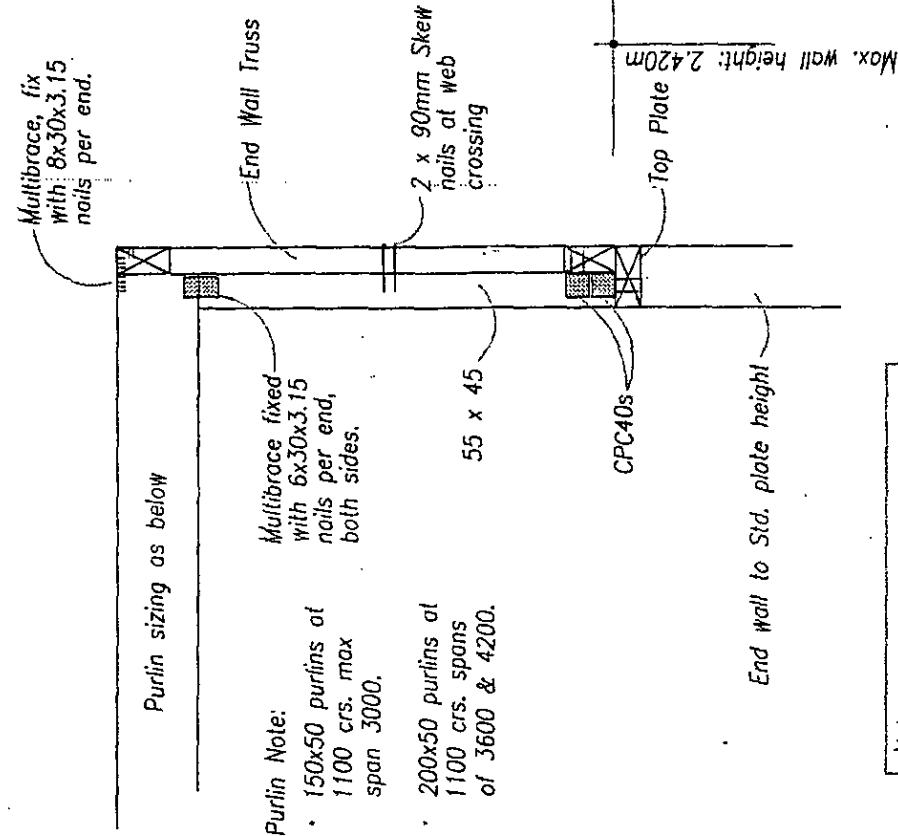
7800 SPAN



6000 SPAN

Detail N Cross section - raking ceiling end wall

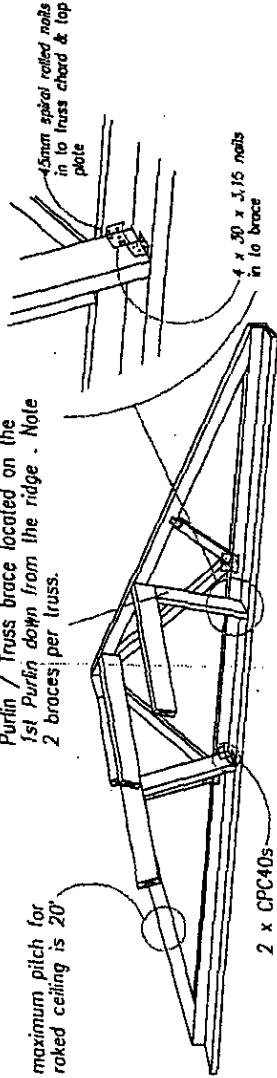
Detail O purlin / truss brace - end wall



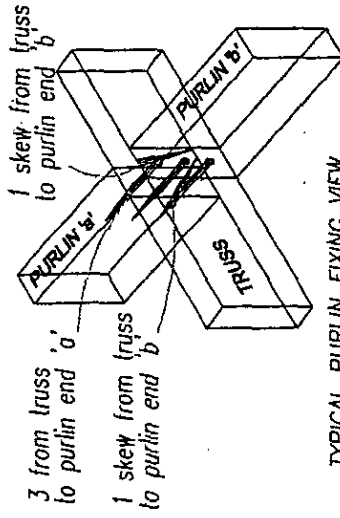
Purlin Note:

- 150x50 purlins at 1100 crs. max span 3000.
- 200x50 purlins at 1100 crs. spans of 3600 & 4200.

Note:
Design covers the end wall stability at the top plate level via the Purlin brace construction.

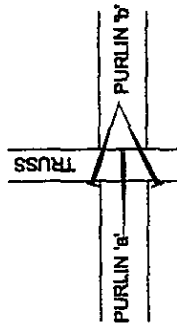


Detail P: Purlin detail



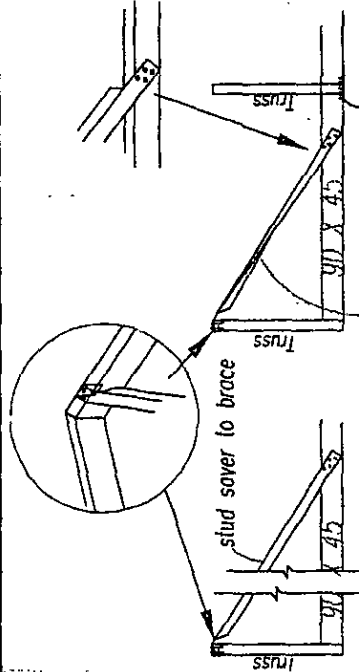
TYPICAL PURLIN FIXING VIEW

Note: all nails to be 90mmx 3.15ø

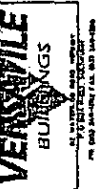


TYPICAL PURLIN FIXING PLAN VIEW

Detail Q: Ridge brace



NOTE: 1500 Angle Brace applies to 15 degrees pitch only
Otherwise 1 stud saver as ridge brace to ridge brace position at both ends of building



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DRAWING TITLE:

Roof details

DESIGN: SA. Coll
DRAWING: VB LTA
DATE: VB2000-13 Feb 04

SHEET:

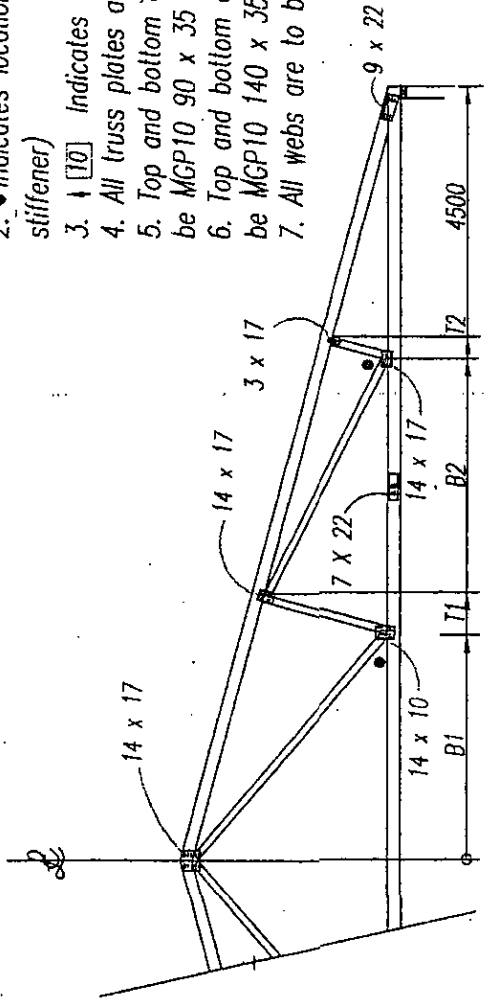
13

OF SHEET:

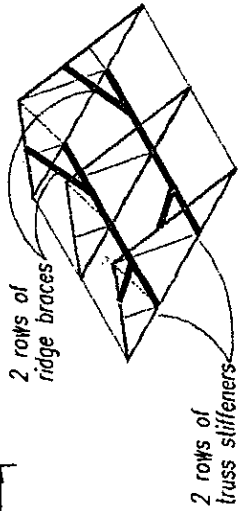
18

NOTE:

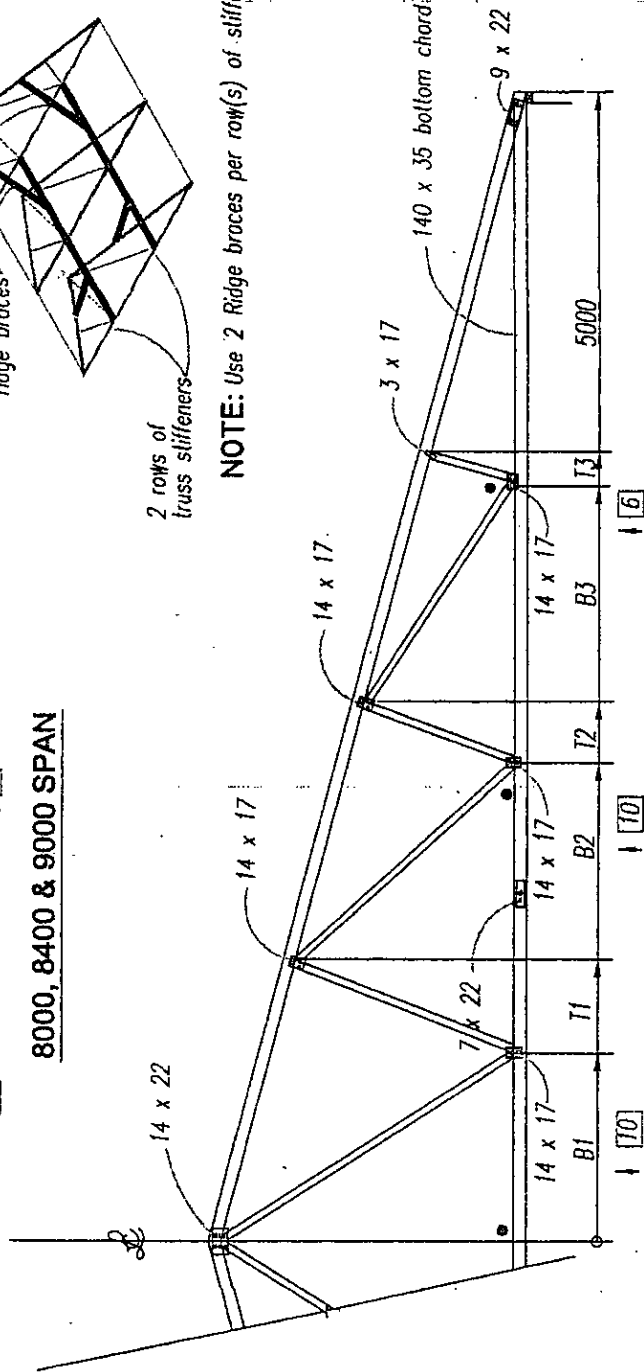
1. Truss top chord pitch range is 15°, 20°, 25°, 30°
2. • Indicates location of Bottom Chord Brace (truss stiffener)
3. † [10] Indicates the Truss Camber (typical)
4. All truss plates are Gang-Nail GN10 type
5. Top and bottom chords for 8.4 & 9.0m span are to be MGP10 90 x 35 Radiata Pine
6. Top and bottom chords for 9.6 & 10.2m span are to be MGP10 140 x 35 Radiata Pine
7. All webs are to be min. F4 70 x 35 Radiata Pine



8000, 8400 & 9000 SPAN



NOTE: Use 2 Ridge braces per row(s) of stiffeners



9600 & 10200 SPAN

Specification trusses

SPAN AND LOAD CHART

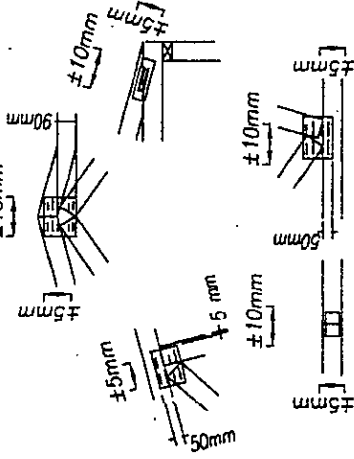
Live Load = 0.20kPa (Distr)
1.0kN (Conc)
Dead Load = 0.15 kPa (top chord)
0.20 kPa (bottom chord)
on 900 & 1200cs only
Wind Load Cpi = 0.50 max
Cpe = 0.80 max
Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD (kPa)
2000	High	0.60
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

TIMBER:

The specification of timber shall be as follows:
Grading: MGP Radiata Pine to F4 or MGP10 grade as noted.
Treatment: To NZMP 3640 : 1992
Moisture Content: Dry

MANUFACTURING TOLERANCES.

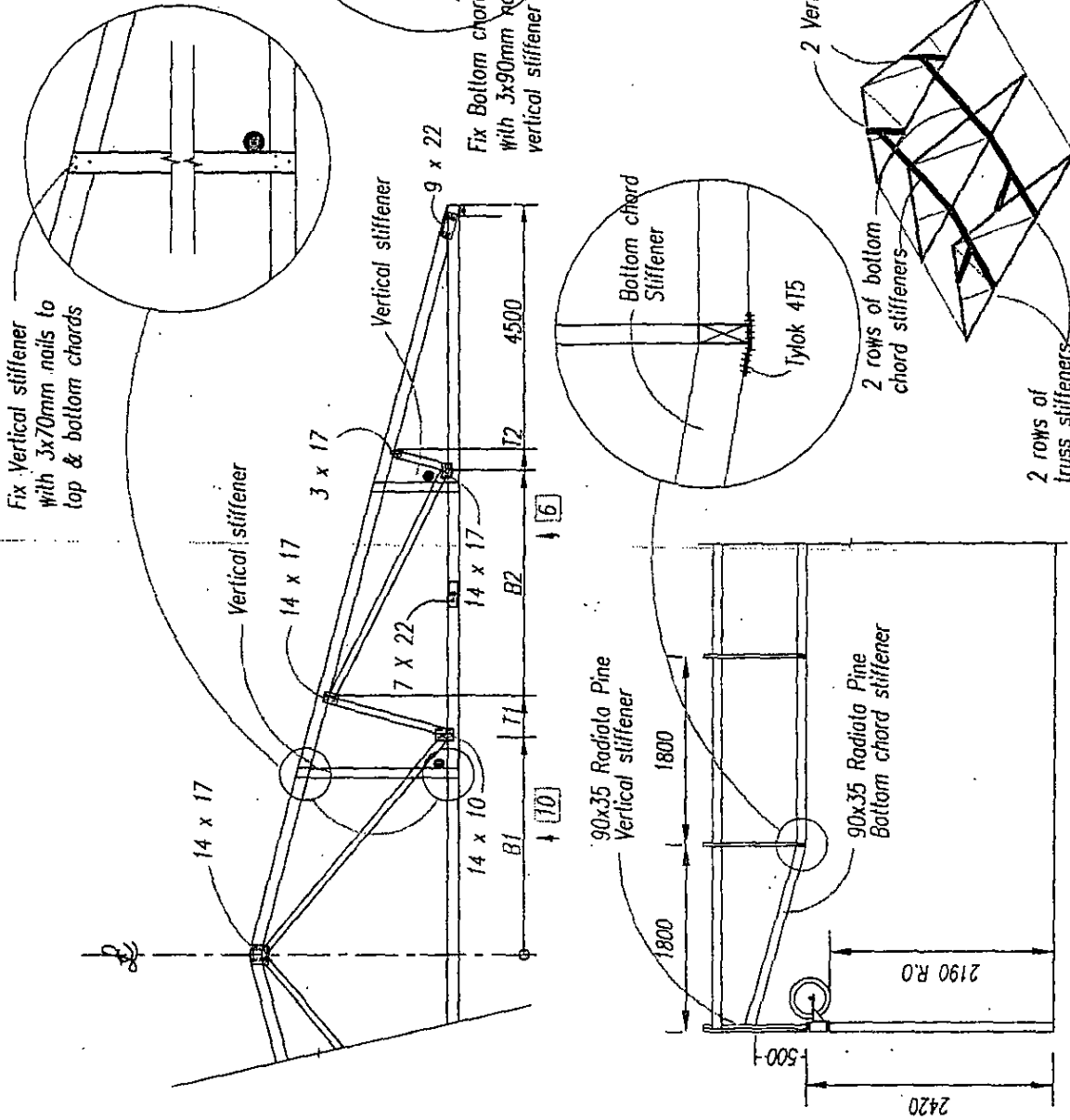


Typical positioning tolerances for plates

NOTE:

1. Plates are to be fully pressed home on both sides of joints. The plate axis must be located in the specified or indicated direction.

- NOTE:
1. Truss top chord pitch range is 15°, 20°, 25°, 30°
 2. • Indicates location of Bottom Chord Brace.
 3. [10] Indicates the Truss Camber (typical)
 4. All truss plates are Gang-Nail GN10 type



Roller Door Section - Bottom Chord Stiffener @ 1.8 ctrs on 600 Series

Sectional Door Section - Bottom Chord Stiffener @ 2.4 ctrs

REVISION: HEIGHTS CHANGED FOR TRUSS SET-BACK DETAIL - 29/08/03
 REVISION: NOTE ADDED FOR 1000 SERIES TRUSS SET-BACK - 11/08/03

DESIGN: S.A. Col
 DRAWING: Y.B.L.L.L
 DATE: Feb '04
 VP2000-16

DRAWING TITLE:
 Alternative Truss Stiffener
 Details

SHEET 16 OF SHEET 18

VERSATILE BUILDINGS LTD
 Construction Details
 COPYRIGHT 1993 BY VERSATILE BUILDINGS LTD. BY PERMISSION OF MITEX NZ LTD OR VERSATILE BUILDINGS LTD.

VERSATILE BUILDINGS LTD
 Construction Details
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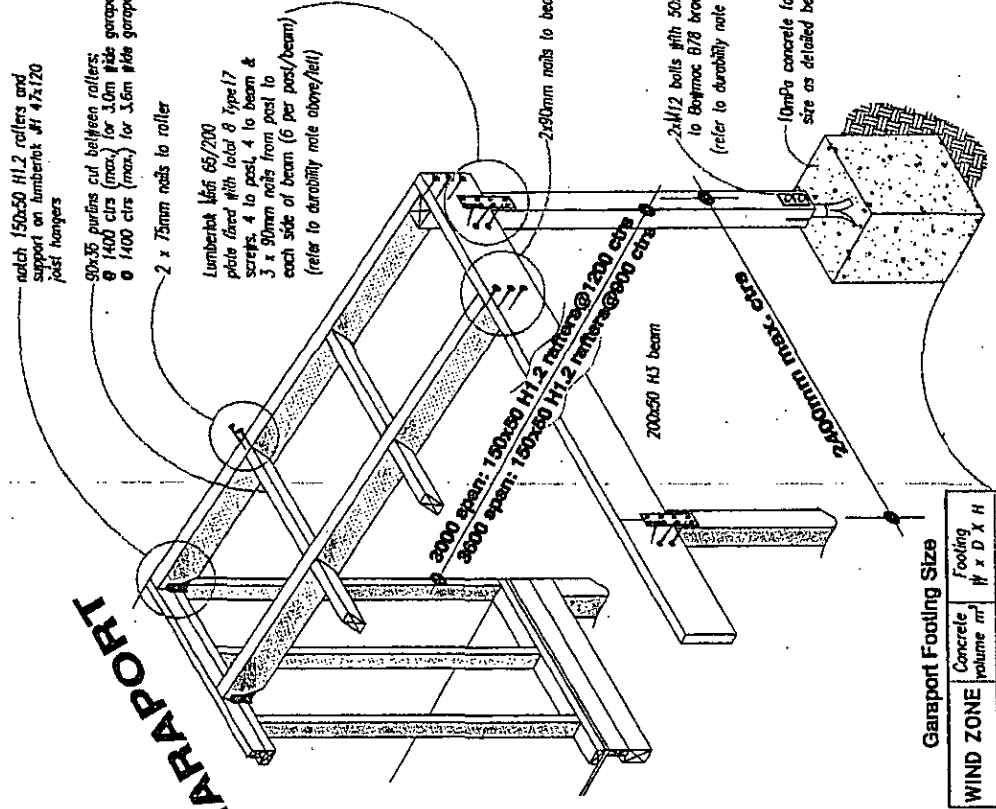
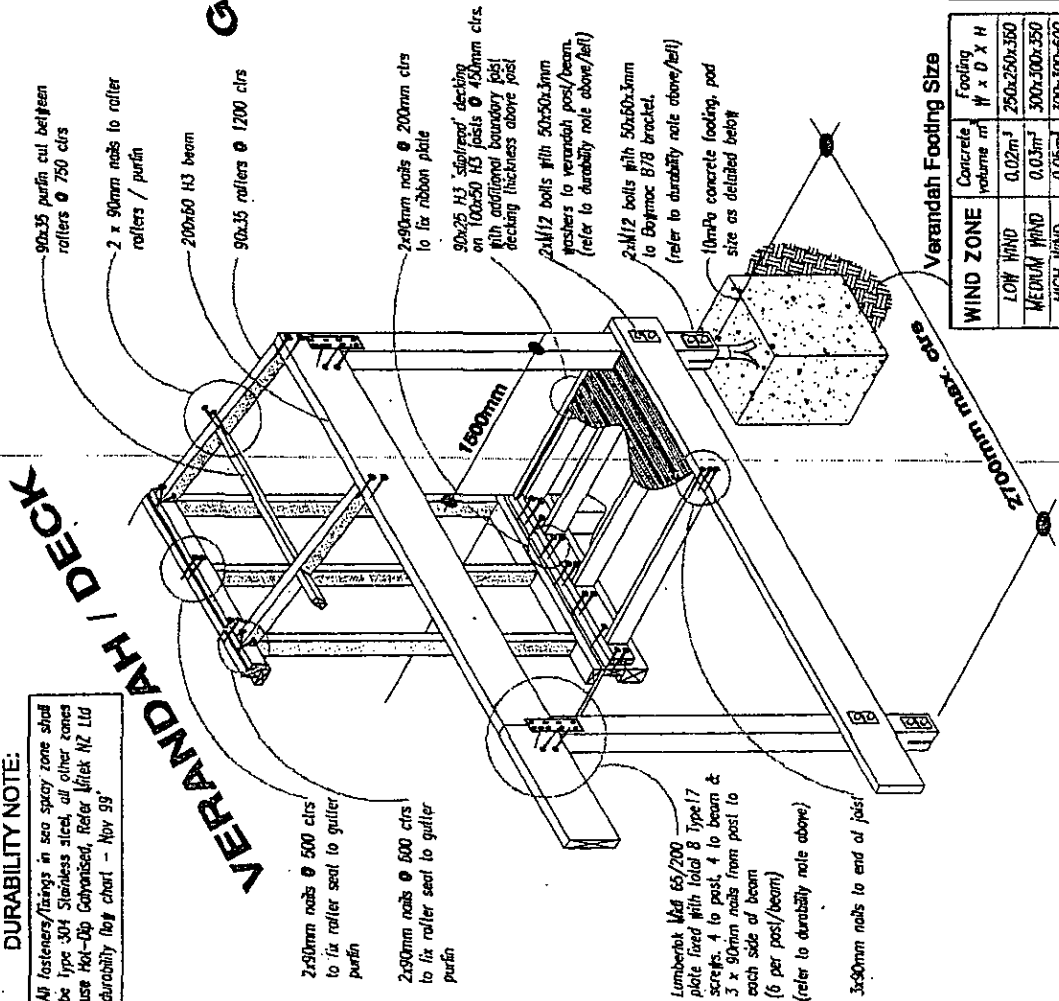
MITEX New Zealand Ltd
 GENERAL MANAGER
 45 BRIDGEWAY, NEWTON, AUCKLAND
 09-833 1111
 1000+0000+0000+0000+0000

VERSATILE BUILDINGS LTD
 45 BRIDGEWAY, NEWTON, AUCKLAND
 09-833 1111
 1000+0000+0000+0000+0000

DURABILITY NOTE:

All fasteners/fixings in sea spray zone shall be type 304 Stainless steel, all other zones use Hot-Dip Galvanised. Refer *Metek NZ Ltd durability flow chart - Nov 98*

VERANDAH / DECK



Verandah Footing Size

WIND ZONE	Concrete volume m ³	Footing # x D x H
LOW WIND	0.02m ³	250x250x350
MEDIUM WIND	0.03m ³	300x300x350
HIGH WIND	0.05m ³	300x300x600
VERY HIGH WIND	0.07m ³	350x350x600

Garaport Footing Size

WIND ZONE	Concrete volume m ³	Footing # x D x H
LOW WIND	0.03m ³	300x300x350
MEDIUM WIND	0.05m ³	300x300x600
HIGH WIND	0.10m ³	400x400x600
VERY HIGH WIND	0.15m ³	400x400x800



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Construction Details
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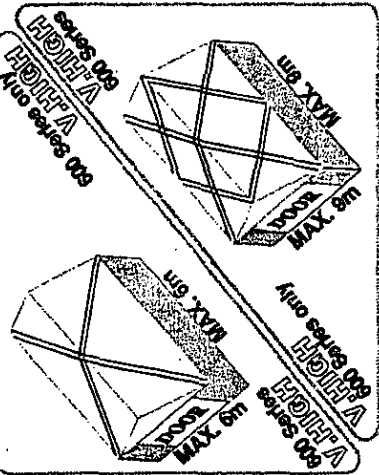
DRAWING TITLE:
Verandah/Deck details

DESIGN: S.A. Coil
DRAWING: VB2000-10
DATE: Feb '04

SHEET:
18

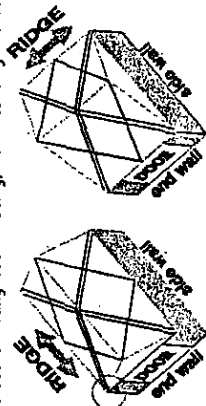
OF SHEET:
18

600 Series only
VERY HIGH WIND



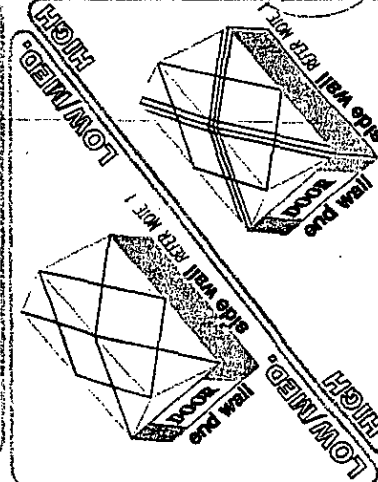
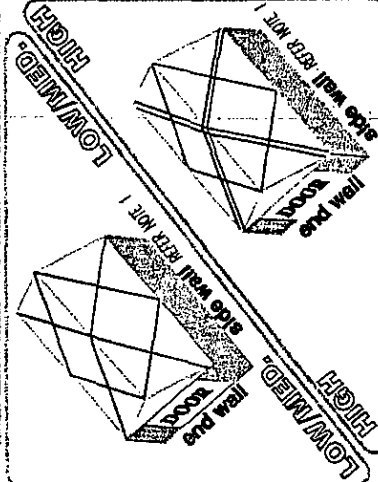
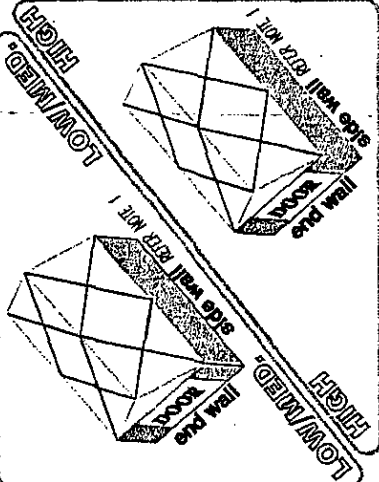
ROOF BRACING NOTES:

1. End Wall / Side Wall ratios over 1:1.5 shall have a double rafter (corner to corner)
eg: 6m x 9m = Single Rafter
eg: 6m x 9.6m = Double Rafter
2. End Wall / Side Wall ratios shall not exceed 1:2 in Low / Medium & High Wind zones.
eg: 6m wide(end wall) x 12m deep (side wall) = 1:2
3. End Wall / Side Wall ratios shall not exceed 1:1.5 in Very High Wind zones.
eg: 6m wide(end wall) x 9m deep (side wall) = 1:1.5
4. Maximum stud height is 2.40m. Refer to sheet 9 for 2.7m & 3.0m stud heights.
5. The ridge can run along or across the end wall, without effecting roof bracing, refer to diagram below:

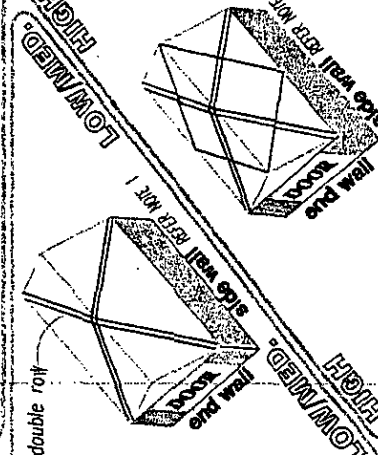
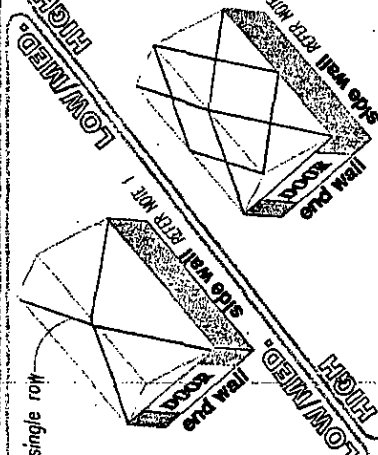
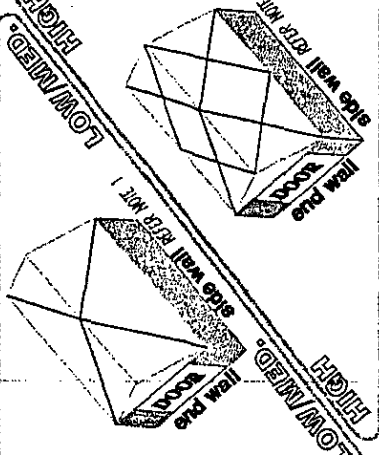


6. Indicates a single rafter of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3x 30x3.15w nails (typical)

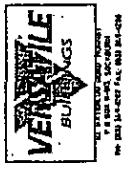
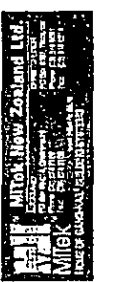
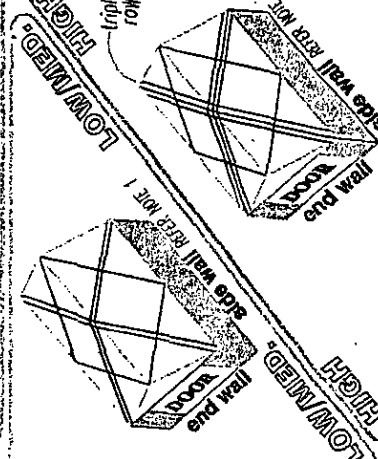
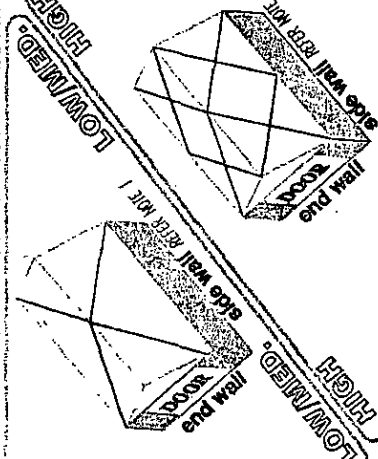
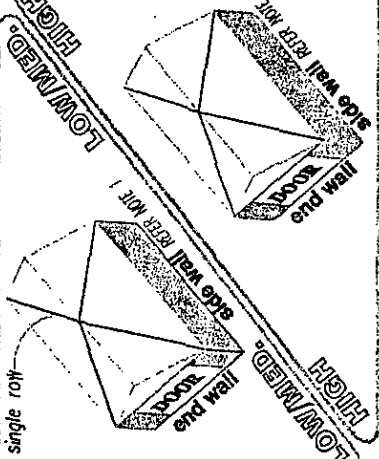
9.6m - 12.0m WIDTH



6.6m - 9.0m WIDTH



2.4m - 6.0m WIDTH



BUILDING LENGTH: **2.4m - 6.0m LENGTH** **6.6-9.0m LENGTH** **9.6-12.0m LENGTH**

PRODUCER STATEMENT - DESIGN

P.I.M. No.....

ISSUED BY: Helwin John Cooper
(Suitably qualified Design Professional)

TO: Versatile Buildings Ltd
(Owner)

IN RESPECT OF: Single Storey Versatile Buildings
(Description of Building Work)

AT: anywhere in New Zealand that is suitable for NZS 3604-1999 type buildings
(Address)

LOT..... DP..... SO.....

This firm has been engaged by Versatile Buildings
(Owner/Developer/Contactor)

to provide the design services listed in the attached Project Brief Statement which identifies the relevant clause(s) of the Building Regulations 1992 for

All or Part only, as specified in attached list and no other, 31

of the building work. The design has been prepared in accordance with the following standards
NZS 4203-1992 NZS 3604/3121 of the approved
(Verification method(s)/acceptable solution(s))

documents issued by the Building Industry Authority and the work is described on drawings prepared by
CLC Consulting Group Ltd
(Design Firm)

Titled. stamped and signed by CLC only and numbered 10067

and the specification and other documents according to which the building is proposed to be constructed.

As an independent professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS

that subject to:

(i) the verification of the following design assumptions Wind Zone and good ground conditions to NZS 3604-1999

and (ii) all proprietary products meeting the performance specification requirements, that the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

[Signature]
(Signature suitably qualified Design Professional)
BE Dip Bus MBA MIPENZ AFNZIM
(Professional Qualifications)

Date 15/05/2003
VALID UNTIL 15/08/2005
ERB Reg No 8277

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.

HEAD OFFICE:
79 Captain Selwyn Road
P.O. Box 13-093, Oshonga, Auckland.
Tel: 09 634 3366
Fax: 09 622 2060
Freephone: 0800 267 354

SOUTH ISLAND OFFICE:
42 Mandeville Street,
Riccarton,
Christchurch
Tel: 03 341 7371
Fax: 03 341 7372
Freephone: 0800 267 354

22nd October 2002

Versatile Buildings Limited
PO Box 11-013
Christchurch

Attention: Brendan Knott

Dear Brendan:

In response to your enquiry concerning the fixing of our Permaglas XL fibreglass roof sheeting.

Ampelite (NZ) Limited will warrantee the fixing of your 6 rib and 7 rib profiles with roofing nails as long as the following fixing instructions are observed:

1. Use an appropriate seal and washer assemble that meets the wind loading requirements for the area and at the same time ensures a firm, weather tight seal.
2. Per-drill oversize hole to allow for expansion and contraction of sheet. The recommend calculation to ensure the correct size hole is used shall be 0.75mm per lineal metre, plus the shank size of the fastener.
3. Installation should comply with the design loading requirements of NZ4203 - 1992 and NZ3604 - 1990

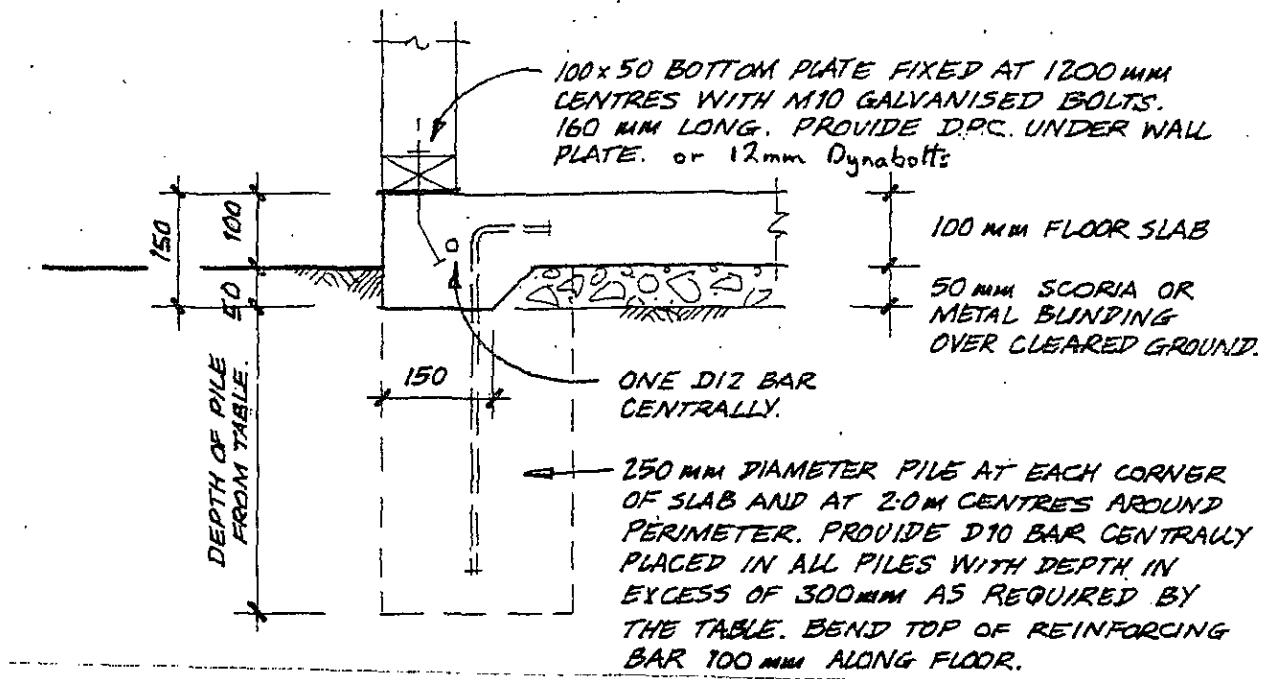
I trust this meets with your approval; if I can be of any more assistance, please do not hesitate to contact me direct.

Yours sincerely

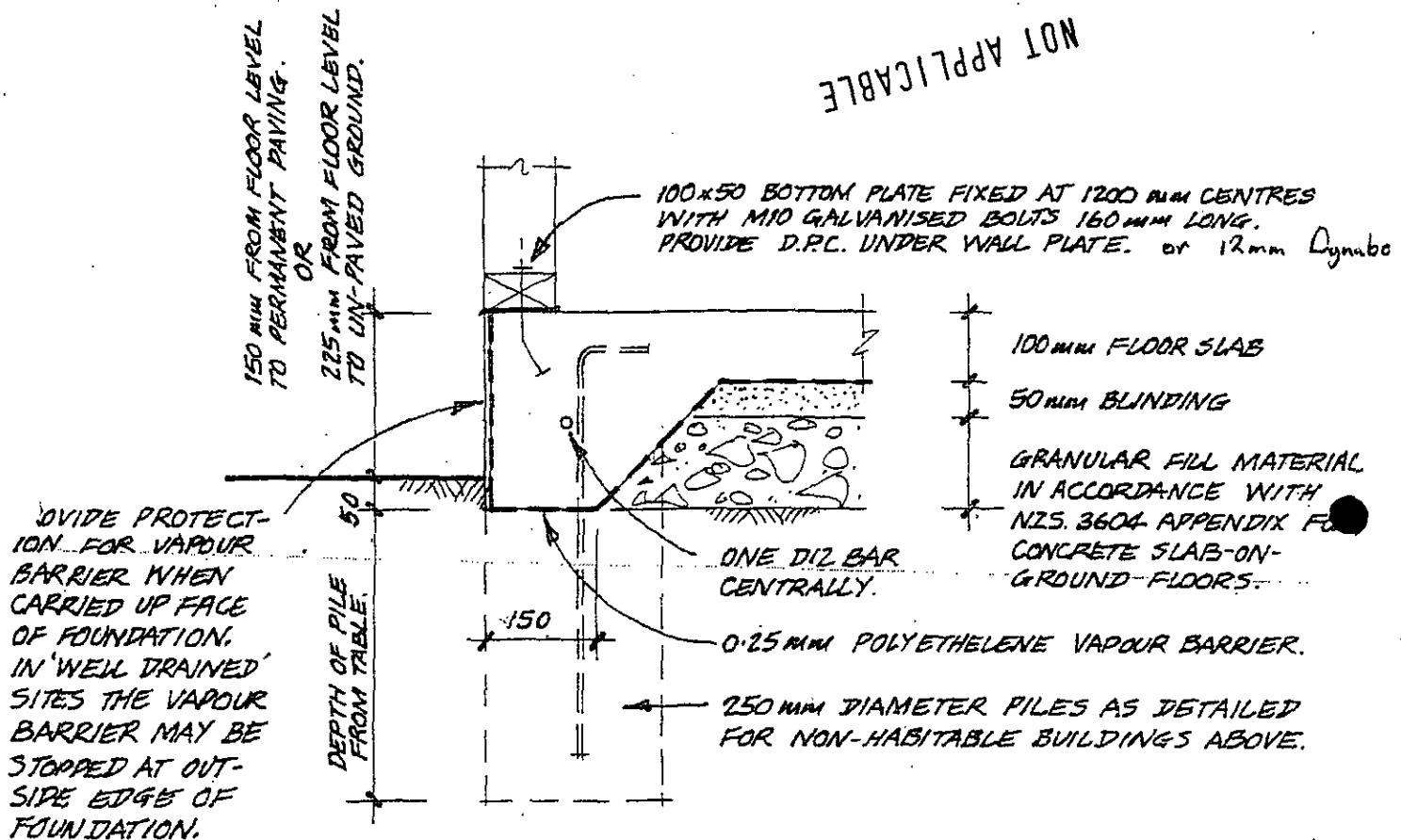


Kerry Andrew
General Manager
Ampelite (NZ) Limited





FOUNDATION DETAIL FOR NON-HABITABLE BUILDINGS



FOUNDATION DETAIL FOR HABITABLE BUILDINGS.

NOT APPLICABLE

PROJECT BRIEF STATEMENT

Client Information	Project Information
Date <u>15/08/2003</u>	Job No. <u>6764</u>
Client <u>Versatile Builders</u>	Project Name <u>Versatile</u>
Address <u>Box 21 783</u> <u>AUCKLAND</u>	Project Address <u>NZS 3604-1999</u> <u>sites</u>

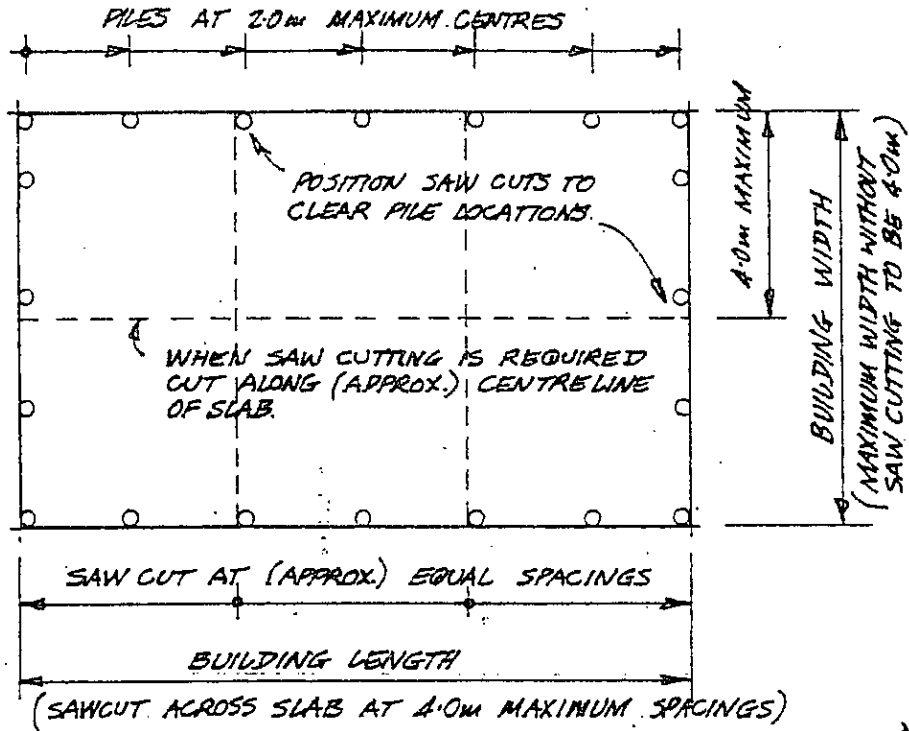
Thank you for your brief to undertake the proposed works described as

single storey buildings constructed by
Versatile

identified below and no other. The calculations and documentation which have been designed in accordance with the provisions of the New Zealand Building Code with respect of those areas indicated and subjected to the limitations stated. The precise limit of our site inspections as agreed with you for the purpose of us providing a Producer Statement to the Territorial Authority is as set out below.

Approved Document	CLC Responsibility		Within the Limitations Stated Below
	Design	Inspection	
B1 Structure	✓		<u>design of foundations as shown on c/c dwg 10067</u>

PILES AT 2.0m MAXIMUM CENTRES



NOTES:
 WHERE UN-REINFORCED CON-
 CRETE FLOOR SLABS EXCEED
 4.0m IN ANY DIRECTION
 PROVIDE SAW CUTS IN TOP OF
 CONCRETE SLAB TO INDUCE
 SHRINKAGE CRACKS TO FORM
 AT SAW CUTS.

THIS DESIGN REQUIRES PILES
 AND A CONCRETE FLOOR SLAB
 TO RESIST CODE LEVEL WIND
 UPLIFT FORCES. (THE PILES
 SPECIFIED IN THE TABLE
 ARE NOT ADEQUATE ON THEIR
 OWN TO RESIST THE WIND
 UPLIFT FORCES).

REFER TO TABLE BELOW FOR
 REQUIRED DEPTH OF PILE
 BELOW EDGE THICKENING.

ONLY PILES MORE THAN 300mm
 DEEP REQUIRE REINFORCING.

PILE AND SLAB LAYOUT.

NOT APPLICABLE

TABLE TO OBTAIN DEPTH OF PILE BELOW SLAB EDGE THICKENING (mm).

BUILDING LENGTH (MEASURED ALONG RIDGE)	WIND ZONE	BUILDING WIDTH (MEASURED ACROSS SPAN OF TRUSSES)									
		UP TO 3.0m		3.0m TO 4.2m		4.2m TO 4.8m		4.8m TO 6.0m		6.0m TO 7.2m	
		CLAY	SAND	CLAY	SAND	CLAY	SAND	CLAY	SAND	CLAY	SAND
UP TO 4.8m	L						300 mm		600	300	1000
	M		300 mm				300 mm		1200	500	1600
	H				1100	350	1300	600	1700	950	2150
	VH		900	450	1500	600	700	900	2100	1400	N/A
4.8m TO 6.6m	L						300 mm				
	M		300 mm				300 mm		600		1000
	H				600		900	350	1300	500	1600
	VH		400		1100	350	1300	600	1700	800	2000
6.6m TO 8.4m	L								300 mm		
	M		300 mm						300 mm		700
	H					600		1050	350	1300	
	VH		400		850		1000	450	1500	650	1700
8.4m TO 10.2m	L								300 mm		
	M		300 mm						300 mm		450
	H							850			1200
	VH		400		700		950	350	1300	550	1600
10.2m TO 12.0m	L								300 mm		
	M		300 mm				300 mm		300 mm		
	H							800			1100
	VH		400		650		850		1200	450	1500

NOT APPLICABLE

PLUMBING & DRAINAGE SPECIFICATIONS

DRAINAGE

General

Read with General Conditions of contract. The whole of the drainlaying work is to be carried out by a Registered Drainlayer and shall be in accordance with the NZ Building Code.

Extent of Work

Excavate for supply and lay all drains, fittings etc, necessary for the complete drainage of this building including both sanitary sewer and storm-water systems.

Materials

Shall be all good quality lines:

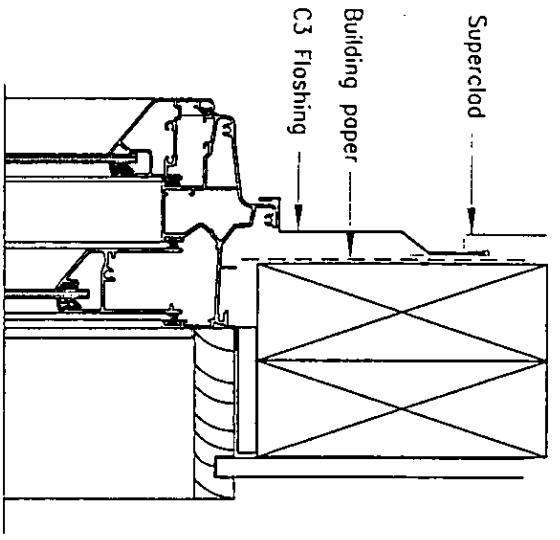
- (a) Pipes, first quality 100mm diameter PVC or approved title in accordance with NZS764:1981 and NZS4452:1986.
- (b) Fittings, gullies PVC NZS76604:1981
- (c) Install inspection fittings to sanitary sewer and stormwater drain as required in the NZ Building Code.

Laying

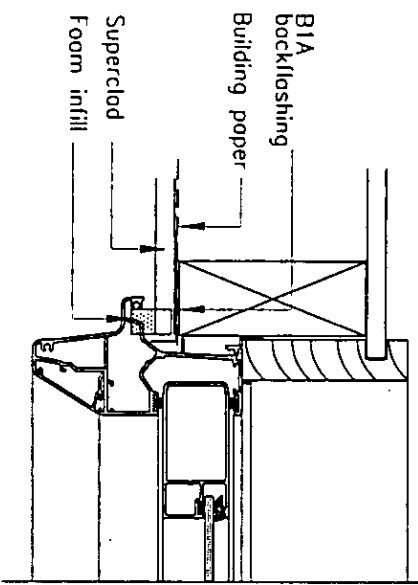
Excavate for and lay pipelines to even falls, complete with necessary bends, junctions, cleaning eyes and inspections. Fit rubber ring joins and clean out pipes as work proceeds. Connect up to appropriate outfall.

Completion

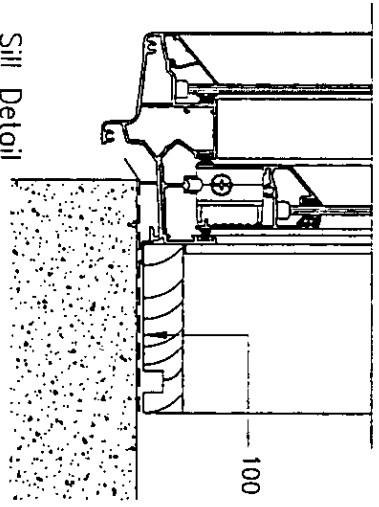
Sanitary sewer and stormwater drains must be tested to the Inspectors satisfaction and any defects made good before backfilling. Backfilling to be as original ground level.



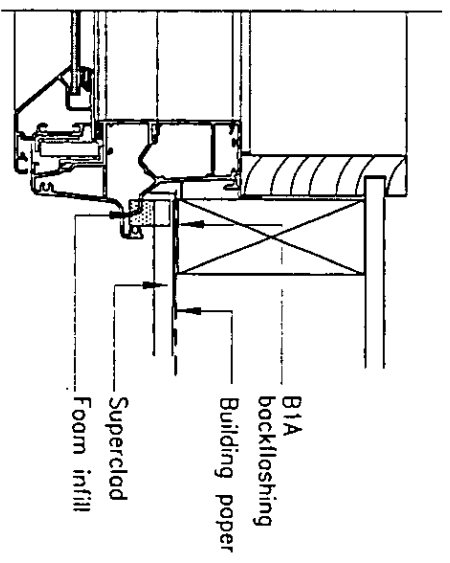
Aluminium Slider Section



Jomb Slider Detail
Aluminium Slider Section



Jomb Slider/Opening Sash Detail



HEAD DETAIL:
1/2" WATER PROOFING

PH: 031 348 8204
FAX: 031 348 8201

FOOT TITLE
Rylock Aluminium Slider Profile

COVER TITLE
Slider Flashing Details

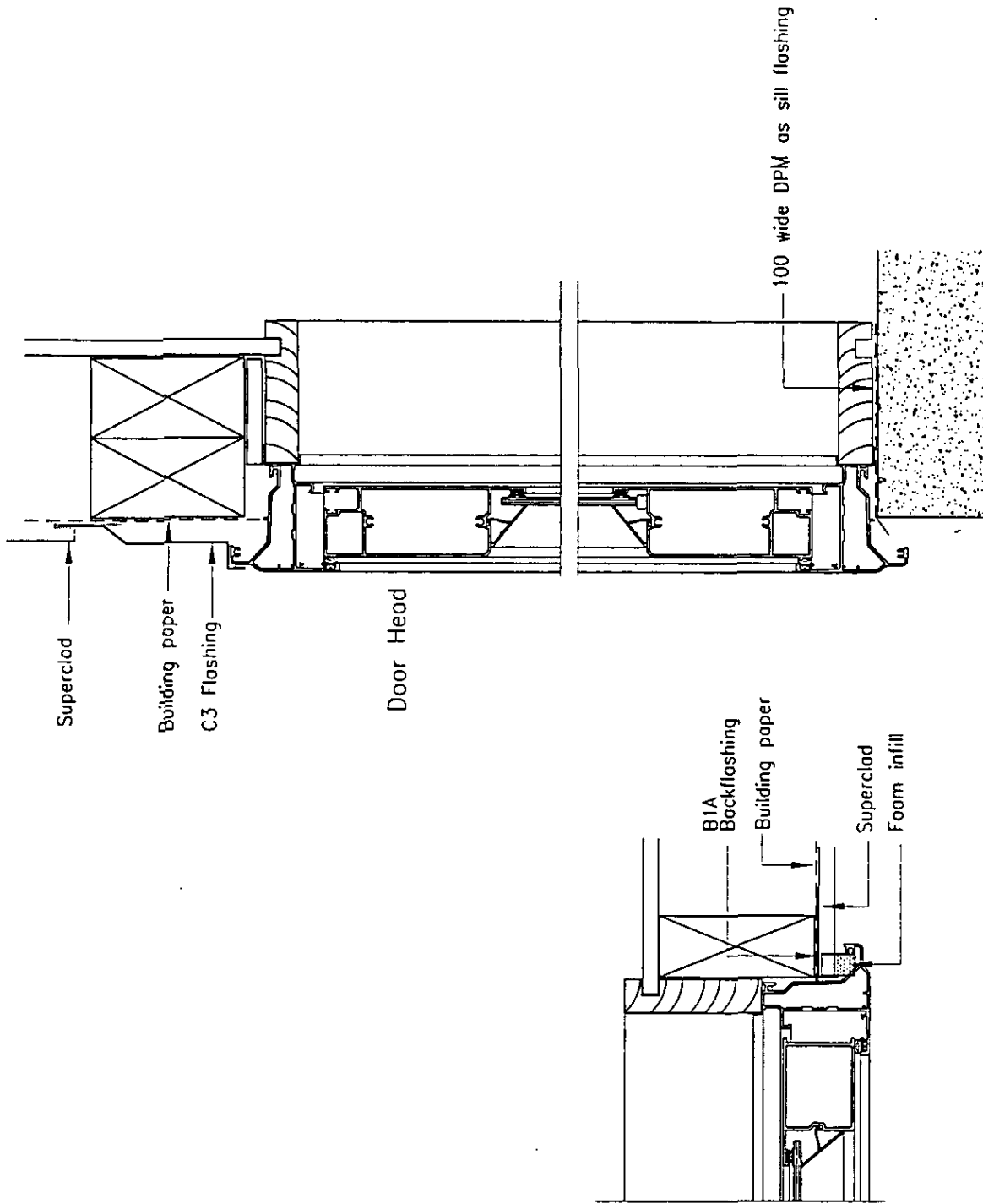
REVISIONS

NO.	DATE	DESCRIPTION
1	OCT '02	Flash-001

DATE: 01 OCT 02
BY: VB Ltd
Flash-001

1 1

CONTINUATION TO RYLCK-ALL DIMENSIONS FRONT TO STARTING * ALL DIMENSIONS IN MM UNLESS STATED



Door Head

Door Sill Detail

Door Jamb Detail

Project No.	1
Scale	1:1
Date	OCT 02
Drawn By	VB Ltd
Checked By	Flash-003

PROJECT TITLE

Door Flashing Details

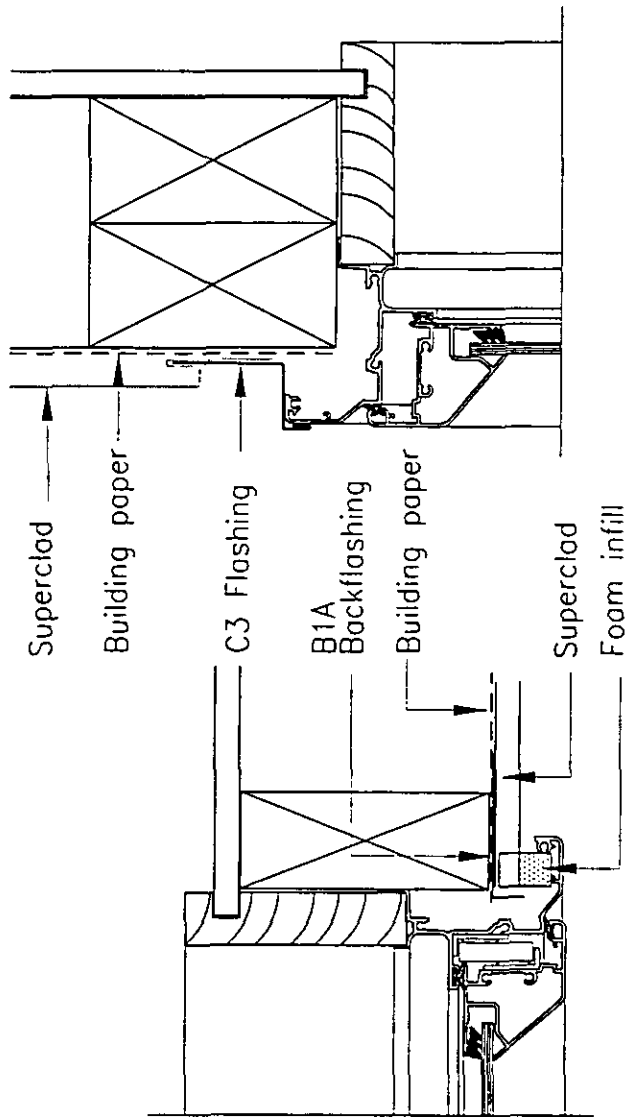
PROJECT NAME

Rylock Aluminium Door Profile

PH: (03) 344-8704
 FAX: (03) 344-8093

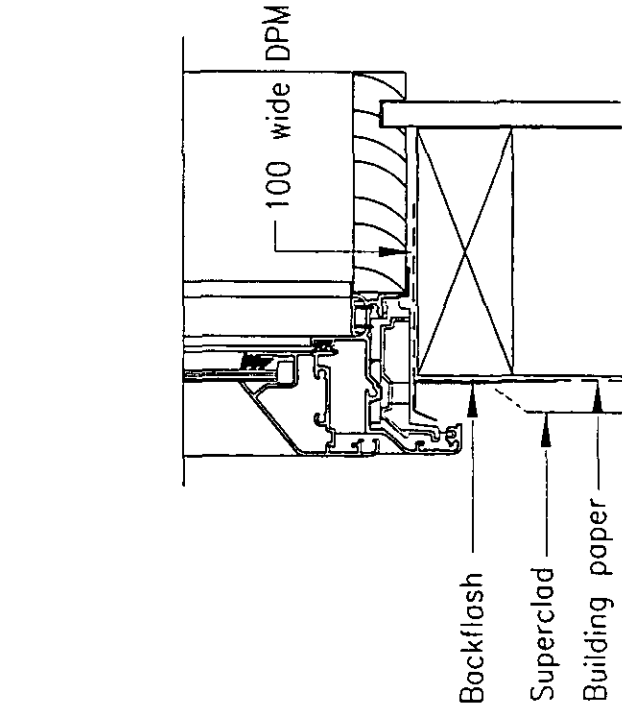
HEAD OFFICE:
 112 WATERLOO ROAD

CONTRACTOR TO VERIFY ALL DIMENSIONS FROM TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



Jamb Detail

Aluminium Window Section



Sill Detail

Head Detail

RYLOCK ALUMINIUM WINDOW PROFILE
1000 1000 1000

ATTN COLIN Y G THRS

Dainty Alderton & Associates

CONSULTING ENGINEERS

387 Great North Road, P.O. Box 21 424, Henderson, Auckland 1231

Telephone 09-835 1747 Fax 09-835 1847

Unit 1, 100 Bush Road, P.O. Box 300-191, Albany

Telephone 09-414 1650 Fax 09-414 1556

Proposed Sleepout

at

31 Victory Road,
Laingholm

for

Mr and Mrs Hitchens

CALCULATIONS

H418

SITE PLAN

Dainty Alderton

CONSULTING ENGINEERS

West Auckland: 387 Gt North Rd, P.O. Box 21-424, Henderson
Ph: 835-1747 Fax: 835-1847 Email: info@daintyalderton.co.nz

JOB TITLE: Hitchens

PAGE:

ADDRESS: 31 Victory Rd, Laingholm

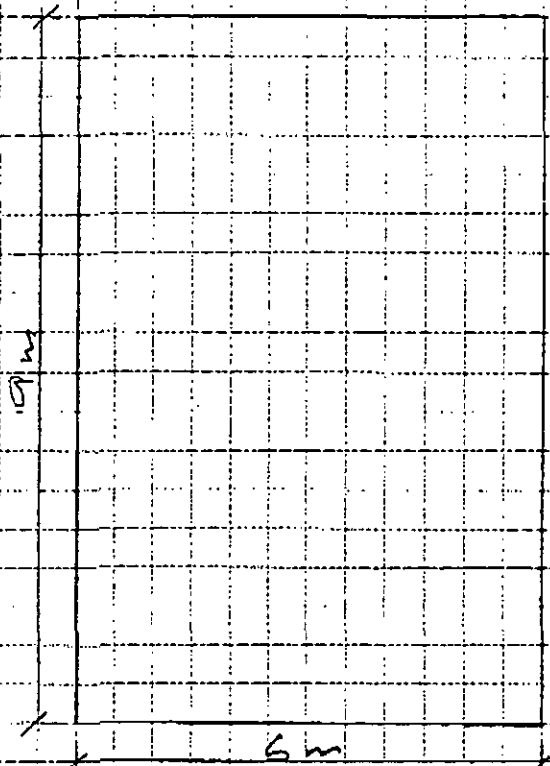
FOR:

JOB No: H418

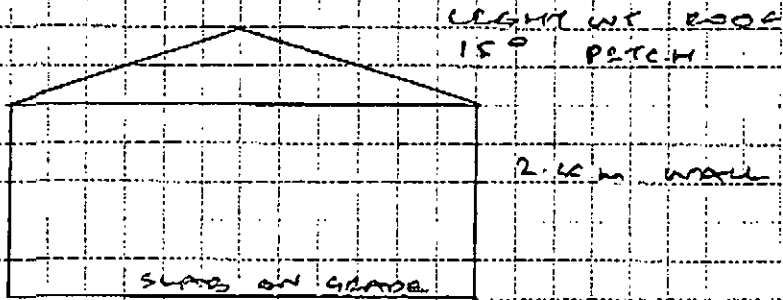
DATE: 28/1/04

BY: BK

PROPOSED SLAB/POUT



PLAN



ELEVATION

Dainty Alderton

CONSULTING ENGINEERS

West Auckland: 387 Gt North Rd, P.O. Box 21-424, Henderson
 Ph: 835-1747 Fax: 835-1847 Email: info@daintyalderon.co.nz

JOB TITLE: Hitchens

PAGE: 1

ADDRESS: 31 Victory Rd, Laingholm

FOR:

JOB NO: H418

DATE: 28/1/04

BY: BK

SLABS

$$\text{DEAD LOAD} = 1.2 \times 24 \times 0.1 = 2.9 \text{ kPa}$$

$$L = 1.6 \times 1.5 = 2.4 \text{ kPa}$$

USE 100 mm THICK SLAB
 605 MESH

FOOTINGS

COMPS

UPL

G

R

$$\text{ROOF} = 0.35 \times \left(\frac{6}{2} + 0.5\right) \times 1.1 = 1.4 \text{ kN/m} \quad 0.9 \text{ kN/m}$$

$$\text{WALL} = 0.5 \times 2.4 = 1.2 \text{ kN/m} \quad -$$

$$\text{FLOOR} = 2.4 \times 0.1 \times 1 = 2.4 \text{ kN/m} \quad 1.5 \text{ kN/m}$$

$$\text{BRICKWORK} = 20 \times 0.2 \times 0.6 = 2.4 \text{ kN/m} \quad -$$

$$\text{FOOTING} = 2.4 \times 0.3 \times 0.3 = 2.2 \text{ kN/m} \quad -$$

$$\underline{9.6 \text{ kN/m} \quad 2.4 \text{ kN/m}}$$

ULS MAPPED LOADS:

$$1.2 G + 1.5 R = 1.2 \times 9.6 + 1.5 \times 2.4 = 15.36 \text{ kN/m}$$

$$1.4 G = 1.4 \times 9.6 = 13.44 \text{ kN/m}$$

$$\therefore \text{LOAD ON FOOTINGS} = 15.36 \text{ kN/m}$$

Dainty Alderton

CONSULTING ENGINEERS

West Auckland: 387 Gl North Rd, P.O. Box 21-424, Henderson
Ph: 835-1747 Fax: 835-1847 Email: info@daintyalderon.co.nz

JOB TITLE: Hitchens

PAGE: 2

ADDRESS: 31 Victory Rd, Laingholm

FOR:

JOB No: H418

DATE: 28/1/04

BY: BK

FOOTING DESIGN

FROM SOIL REPORT 1:

BEARING CAPACITY = 90 kPa - DRIVING
ULTIMATE

FOOTING AREA:

STEEL FOOTING
LOAD = 15.36 kN/m

WIDTH REQD = $\frac{15.36}{90 \times 1} = 0.171 \text{ m}$

USE 300 WIDE STEEL
FOOTING,
R-DIE, RIG-150

FOUNDING DEPTH

MIN 450 BELOW FINAL GL
OR
MIN 300 INTO STIFF NATURAL
SOIL - BUT NOT MORE THAN
600 mm.

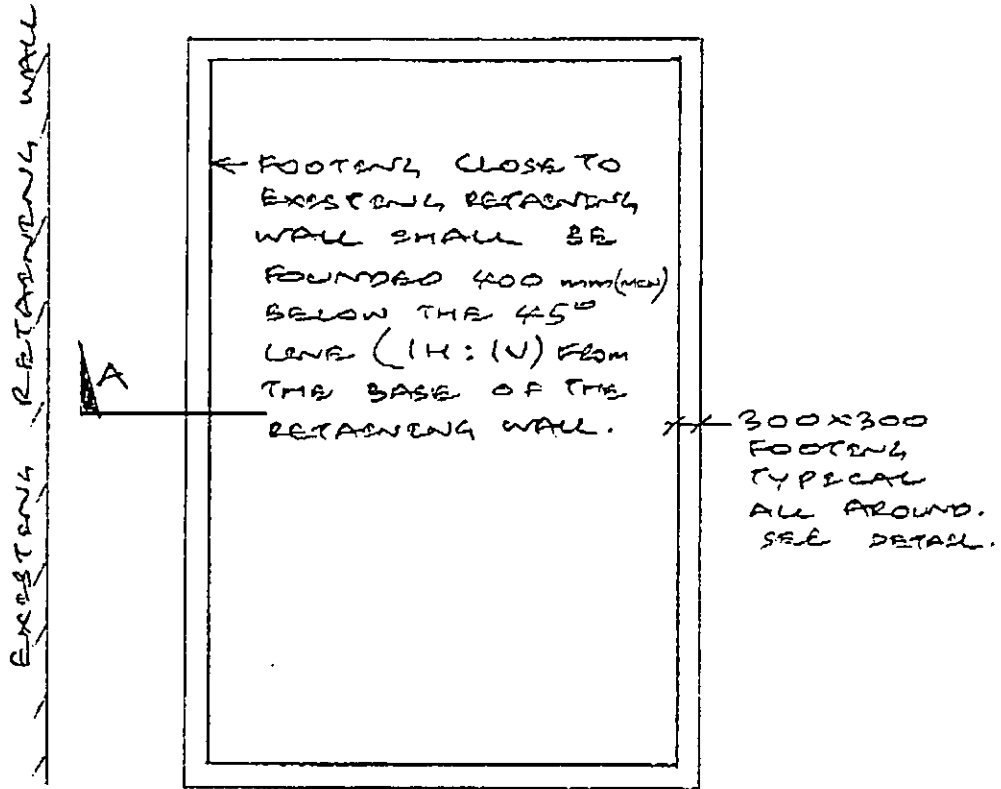
Dainty Alderton

CONSULTING ENGINEERS

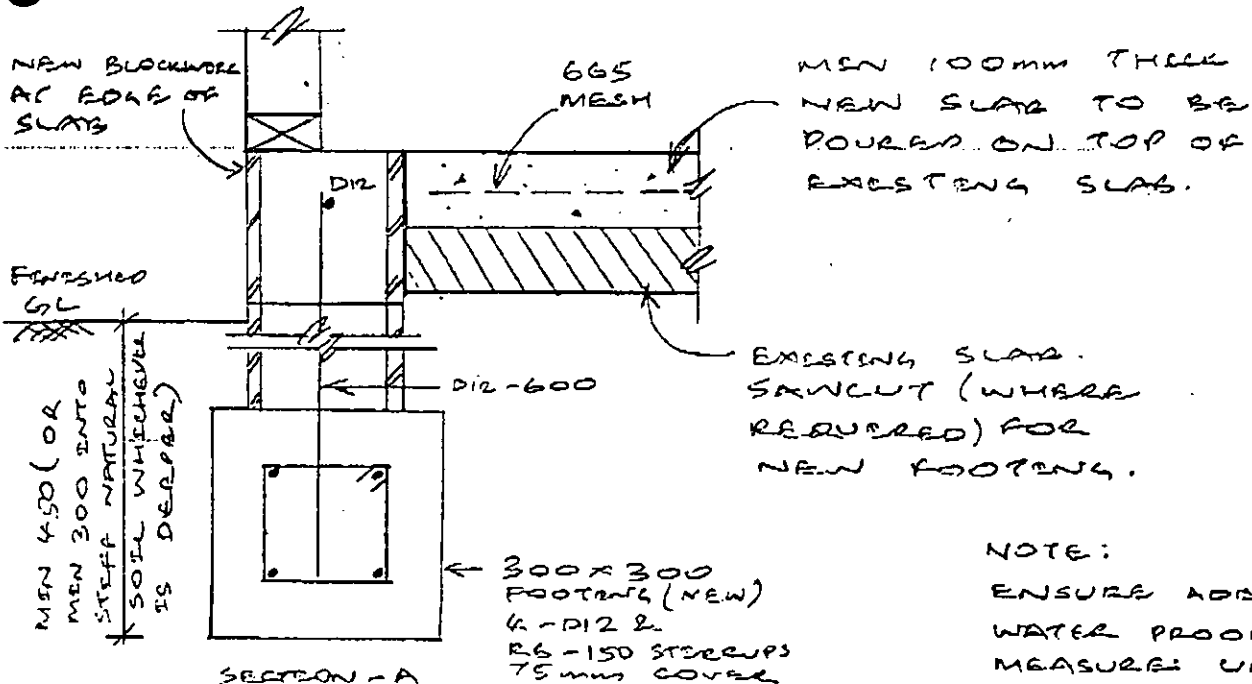
West Auckland, 367 Gt North Rd, P.O. Box 21-424, Henderson
 Ph: 835-1747 Fax: 835-1947 Email: info@daintyalderton.co.nz

JOB TITLE	Hitchens	PAGE	3
ADDRESS	31 Victory Rd, Laingholm		
FOR:			
JOB No:	H418	DATE:	28/1/04
BY:	BK		

NOTE:
 ADVISE SOIL ENGINEER
 TO INSPECT ALL FOUNDATION
 EXCAVATIONS.



PLAN



NOTE: FOOTINGS SHALL NOT BE FOUNDED DEEPER THAN 600mm IN NATURAL SOIL.

NOTE:
 ENSURE ADEQUATE
 WATER PROOFING
 MEASURED UNDER
 NEW SLAB.



**Dainty Alderton
Consulting Engineers**

387 Great North Road, P.O. Box 21-424, Henderson
Ph. 835-1747, Fax. 835-1847

Cnr Bush Rd & Rosedale Rd, P.O. Box 300-191, Albany
Ph. 414-1650, Fax. 414-1556

Hitchens

4

31 Victory Road, Laingholm

H418

28/01/04

BK

General Notes

1. All foundation and pads shall be min depth 450 and founded onto firm non-organic original ground.
2. When hardfill under slab is in excess of 600mm, it will be necessary for a geotechnical engineer to investigate the underlying soils and the compaction of hardfill.
3. Construction details have been provided as a guide but may need to be altered to suit site conditions. Advise engineer.



Waitakere City Council
Te Taiāo o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

26 October 2004

Karl Hitchens
C/- Versatile Building Limited
18 Henderson Valley Road
Henderson
WAITAKERE CITY

Dear Sir/Madam

Resource Consent Application Number RMA20041124
Location: 31 Victory Road, Laingholm, WAITAKERE CITY

I am pleased to advise that your Resource Consent (Planning) application has been considered and consent has been granted pursuant to sections 93, 94, 104, and 108 of the Resource Management Act 1991.

The full report considering your application and the decision which has been made is attached. The following contains the decision on your application and the conditions which must be met for your consent to be valid:

DECISION

Pursuant to Sections 104, 104B, 104D and 108 of the Resource Management Act 1991, being satisfied that no body or person is adversely affected, it is recommended that **consent is granted** to the application by Karl Hitchens to construct a 'cottage', resulting in building coverage, height in relation to boundary and yards infringements, requiring earthworks within 1m of a site boundary, and increasing impermeable surface cover beyond 15% of the site on a site known to be stability sensitive, (as more accurately defined in Sections 3 and 4 of this report) at 31 Victory Road, Laingholm being Lot 644, DP 32446 for the following reasons:

- (i) The proposed cottage will be replacement of the existing garaging, and will not diminish from the established neighbourhood character, privacy or sun and daylight access to any adjoining site;
- (ii) The proposed storm-water mitigation system will be an improvement over the existing uncontrolled discharge;
- (iii) Compliance with the recommendations of the geotechnical report will ensure that the new structure is stable;
- (iv) The proposal, for the reasons outlines above and in the body of this report is not contrary to the Objectives and Policies of the District Plan nor Part II of the Act.

Conditions imposed on the consent are as follows:

1. The development shall proceed in accordance with the plans titled 'K Hitchens, 31 Victory Road, Laingholm' prepared by Versatile Buildings and dated 18/03/04 and all referenced by Council as RMA 20041124 and the information, including further information, submitted with the application.
2. Pursuant to section 125 of the Resource Management Act 1991, this consent shall lapse after a period of 2 (two) years after the commencement of the consent.
3. A copy of this consent shall be kept onsite at all times. It is the applicants responsibility to ensure all persons on site are aware of, and comply with, the conditions of this consent. This is a Public Document and shall be produced on request.

Geotechnical Conditions:

4. Foundations for the structure shall be designed to the capacity limits set in the report of Soil and Rock Consultants, ref 03365, September 2003, and be founded 300 mm into natural soils or 450 mm below finished ground level whichever is the greater and outside the influence zone of the existing retaining wall.
5. The retaining wall shall be designed for not less than at-rest earth pressures and to stay within the bearing capacity limits set for footings.
6. Exposed subgrades beneath slabs shall be protected from wetting or drying during construction.
7. An experienced geotechnical engineer familiar with the report of Soil and Rock Consultants, ref 03365, September 2003 and with the design shall be engaged to inspect the foundations and wall and shall provide the Council with a Producer Statement – Construction Review for this part of the work.

EcoWater Conditions:

8. Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
9. Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleed-line staked above ground through the area zoned "protected natural", and draining to the creek. Install a flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.
10. Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with Council's Countryside and Foothills Stormwater Management Code of Practice and shown on the Versatile Buildings Site Plan dated 18/3/04. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
11. Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

Vegetation Protection/Earthworks Conditions.

12. Before commencement of any works, adequate sediment and erosion control measures shall be constructed and maintained in accordance with Appendix 3, Erosion and Sediment Control Measures Appendix to the Natural Area Rules of the Waitakere City Council Proposed District Plan, and/or in accordance with Auckland Regional Council Technical Publication # 58 (ARC:TP58), *Erosion and Sediment Control Guidelines for Land Disturbing Activities*.
13. All spoil excavated for the foundations and not suitable for back filling shall be removed from the site within one week of the completion of earthworks. No stockpiling may occur in the wetland/boggy area or in the dripline of protected vegetation. No filling may occur outside the building platform without further geotechnical advice, and resource consents.
14. Prior to the commencement of earthworks, a temporary protective fence shall be erected between the proposed new foundations/structure and the mature native vegetation (no closer than 1m to the vegetation) in order to delineate and protect vegetation from accidental damage. The protective fence shall be non-moveable and strong relative to the works proposed.
Note: Steel warratahs with orange safety mesh is an appropriate protective fence. Warratahs (or other suitable supports) should be located generally clear of the immediate root zone of vegetation to be protected.

15. The proposed storm-water mitigation tank shall be located clear of the dripline of the Kahikatea located to the west of the buildings (see Figure 4), the most suitable location being on the area vacated by the small shed to be removed immediately below the proposed cottage. All care shall be taken when working in the vicinity of protected native vegetation to ensure its long term survival. See also EcoWater Conditions above relating to the placement of lines overground, and connection as close as possible to the proposed dwelling.

Building Coverage Conditions

16. The existing garage and carport structure, and the small shed immediately to the rear of the carport shall be dismantled/demolished and removed from the site prior to the occupation of the proposed cottage.
17. The proposed cottage shall be clad in materials and colours that are similar and complementary to the existing dwelling, to the satisfaction of the Manager, Resource Consents.

Monitoring Conditions:

18. A consent compliance monitoring fee of \$178.00 (inclusive of G.S.T.) shall be paid to the Council. This fee is to recover the actual and reasonable costs incurred ensuring compliance with the conditions of this consent. If, on inspection all conditions have not been satisfactorily met, a reinspection shall be required at the relevant hourly rate applicable at the time the re-inspection is carried out.
The \$178.00 fee shall be paid as part of the resource consent and the resource consent holder shall be advised of any further monitoring fees if they are required.

Advice Notes:

1. Where indicated in the conditions it is the consent holders responsibility to inform the Environmental Monitoring Officer when inspection is required. Inspections can be requested through the Call Centre on 849 0400.
2. Take note that the conversion of the cottage to a self contained residential unit will require further resource and building consents. The payment of a Development Contribution would also be required. Failure to obtain the required permissions could invite prosecution under the Building Act 2004, Resource Management Act 1991, Local Government Act 2002, and/or any other relevant legislation.
3. Control of Wandering Jew (an Environmentally Damaging Plant) appears to be an issue on this site (as it is on any site once established). Ongoing physical control is almost the only way to minimise its spread. Place most of the mass of the plant into plastic bags at the growing location (to avoid spreading the plant which will grow from any small fragment) and dumping to land fill, followed by careful chemical herbicide application may be required (recommend Glyco-phosphate (e.g. Roundup) due to the sites proximity to water – take care to avoid native vegetation to be retained). Contact the ARC's Enviroline (ph 09-366-2000) for free advice.

End of Conditions

Compliance with the above conditions will be monitored by Councils Environmental Monitoring Officer in accordance with section 35(d) of the Resource Management Act. This will typically include site visits to verify compliance (or non compliance) and documentation (site notes and photographs) of the activity established under the Resource Consent. Only after all conditions of the Resource Consent have been met, will Council issue a letter of compliance on request of the applicant.

Please note also that you must complete the activity that is consented to within two (2) years including compliance with the conditions of consent. If that does not happen the consent lapses and you may need to apply for an extension or a new consent. **Note: Your consent lapses on 28/10/2006**

Please contact Kyle Balderston (extn 8125) of the Resource Consents Section if you have any general queries about the enclosed report or decision.

Yours faithfully



PP
Graeme McCarrison
MANAGER: RESOURCE CONSENTS



Waitakere City Council
Te Taiāo o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

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09 836 8000
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DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

11 October 2004

KARL GARRY HITCHENS
C/- VERSATILE BUILDINGS LTD
18 HENDERSON VALLEY RD
HENDERSON
WAITAKERE CITY 1008

Dear Sir/Madam

Re: Resource Consent Application: RMA20041124
Proposal: to build a cottage earthworks, H2B, 3m yard, bdg cvg & impermeable surface
Site Address: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007

The Council advises that it has extended the 20 working day statutory time period within which it makes a decision on a non-notified resource consent application. The time period has been extended until 10/11/2004, pursuant to Section 37 of the Resource Management Act 1991.

The processing of your application has been extended due to significant workloads. All effort is being made to process the application as soon as possible and hopefully before the amended completion date.

In extending the timeframe Council has considered the matters set out in Section 37. In particular, additional time will ensure that a comprehensive assessment of your application and its effects on the environment can be undertaken.

If you have any queries regarding the above, please contact the writer on 839 0400.

Yours faithfully,

PP
KYLE BALDERSTON
Resource Consents

Kyle

- 4 OCT 2004

30/09/2004

Waitakere City Council
Private Bag 93109
Henderson
Waitakere City

614792

Dear Kyle,

RE: Resource Consent Application: RMA20041124
Proposal: To construct cottage – multiple infringements
Site Address: 31 Victory Road, Laingholm

Further to your letter of 24/06/2004.

1. The small (4mx5m) shed near site of proposed cottage will be dismantled and relocated.
2. The location of the water tank has been relocated so not to effect any of the driplines of the trees, the lines for the water tank are to be laid overground so not to effect any tree roots. I have indicated on the plans the locations of all the native trees that are in close proximity of the site. They are marked on the plans with compass pencil marks and small circles.
3. The existing bank that will be effected by the concrete block base has been highlighted on the plans. At this location the block foundation will be to the maximum depth required and will act as part of the bank. We would be unable to retain this corner as the retaining wall would be in the swamp area.

I hope this is enough information to have the resource consent approved.

I look forward to hearing from you in the near future.

Regards


Karl Hitchens

Chief Executive	
Corporate Services	
City Services Mosello	
Consultancy Services	
ECO - WATER	
Strategic Group	
Consent Services	/
Field Services	



City of Waitakere District Plan

REPORT FOR NON-COMPLYING ACTIVITY APPLICATION SECTIONS 93, 94, 94A – 94D, 104, 104A – 104D ASSESSMENT AND DETERMINATION IN ACCORDANCE WITH THE RESOURCE MANAGEMENT ACT 1991

1.0 SUMMARY OF PROPOSAL

Construct a 'cottage', resulting in building coverage, height in relation to boundary and yards infringements, requiring earthworks within 1m of a site boundary, and increasing impermeable surface cover beyond 15% of the site on a site known to be stability sensitive.

2.0 APPLICATION DETAILS

Planner:	Kyle Balderston
Site Address:	31 Victory Road, Laingholm
Applicant:	Karl Hitchens
Date Received:	21/06/04
Resource Consent No:	RMA20041124
Building Consent No:	ABA20041782
Ward:	Waitakere
Legal Description:	Lot 644, DP 32446
Address for Service:	Karl Hitchens, c/- Versatile Buildings Ltd, 18 Henderson Valley Road, Henderson
Site Area:	994m ²
District Plan:	Human Environment: Bush Living
	Natural Area(s): General and Protected
	Landscape Elements: Protected Natural Area, Open Watercourse (not on Natural Areas Maps)
	Hazards: Stability Sensitive
	Roading Hierarchy: Collector
Further Information Required:	Yes
Date Requested:	24/06/04, 5/07/04
Date Received:	4/10/04
Site Visit:	24/06/04
Any Affected Persons:	Yes. HIRB and Yards
Approval Given:	Yes.

Locality Diagram:



Figure 1: Site as shown on Natural Environment Maps – Western portion of site is within Protected NA, with the eastern frontage within the influence of a Modified Sensitive Ridgeline (Moderate/65m).

2.1 Documents considered for this report include the application documentation and the site visit checklist completed on 24/06/04.

**3.0 REASON FOR APPLICATION- RELEVANT DISTRICT PLAN RULES
Extent Of Infringement And Type Of Activity Proposed**

3.1 District Plan

City Wide Rules: NATURAL HAZARDS

Rule 1: GENERAL

Limited Discretionary Activity for building on land known to the Council to be, or likely to be subject to erosion, slope instability, subsidence or inundation (other than inundation by the sea).

The site is located in a wider area known to be Stability Sensitive. The applicants have provided a Geotechnical Appraisal¹ in support of the application.

Bush Living Environment

Rule 5: HEIGHT IN RELATION TO BOUNDARIES.

Discretionary Activity for gable ends penetrating the recession plane by more than 1/3 of the gable height.

The gable end of the sleep-out penetrates the northern boundary recession plane by 1.11m. Gable height is 900mm.

¹ Soil and Rock Consultants, 25 Sept 2003, *Geotechnical Appraisal: Proposed new Sleep-out 31 Victory Road, Laingholm*, Ref: 03365.

Rule 6: YARDS

Discretionary Activity for building within the 3m yard.

Proposed sleep-out/cottage will be 800mm from the northern boundary at its closest point.

Rule 7: BUILDING COVERAGE

Non-Complying Activity where building coverage exceeds 15% of the net site area.

Building coverage will be 128m² (existing dwelling) with the addition of a 54m² cottage, and adding 20m² for a coverage car space where one is not otherwise provided, will total 202m², or 20.32% of the 994m² site.

The cottage will be in the location of, and replacing an existing 9m x 6m carport. No covered carparks are proposed, (requiring the addition of 20m² to the building coverage calculation) but sufficient area exists in front of the carport for two carparks, and onsite turning is also provided, but not required by the District Plan.

General Natural Area

Rule 3: EARTHWORKS

Limited Discretionary Activity for earthworks within 1m of a site boundary.

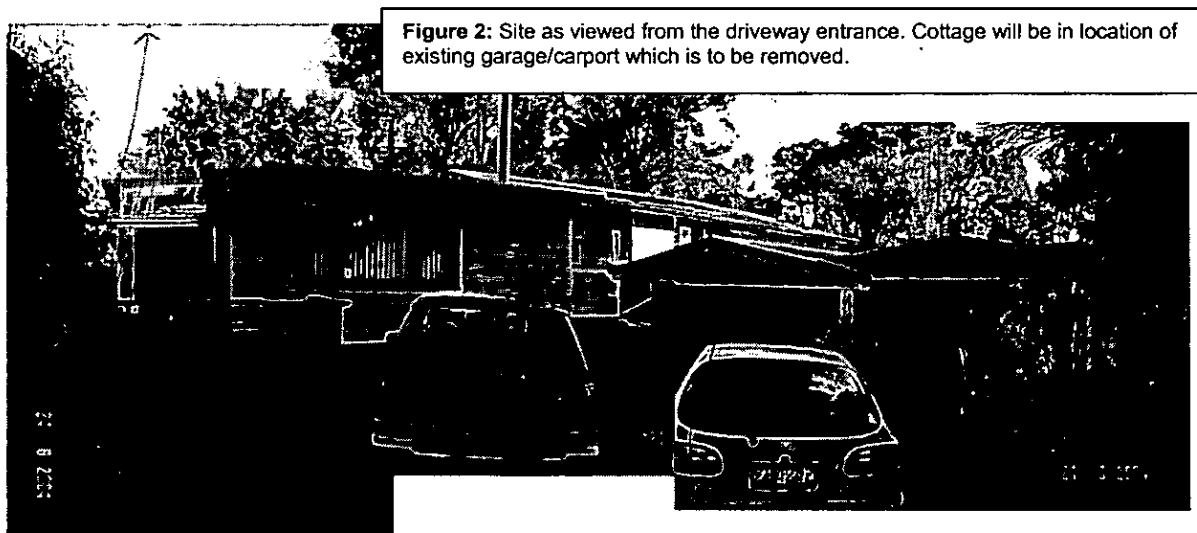
The foundation works for the cottage will require earthworks within 800mm of the boundary. Earthworks outside the eaves line is limited to 1m³ of excavation to provide for foundations construction.

Overall the application is considered to be a Non-Complying Activity. The proposal complies with all other development control rules under the District Plan

4.0 SITE AND PROPOSAL

4.1 Site Description

The site is a generally rectangular shaped site of some 994m², which contains an established single level dwelling.



The site is generally vegetated surrounding the dwelling and paved areas, and slopes from the high point near the road to the lowest point in the western corner. The northern boundary is defined by a swampy vegetated depression between the subject site and the site to the north, which leads to the lower level of the site to the west of the dwelling which appears to be almost constantly saturated. A poor condition

'boardwalk' in this lower area appears to be in the process of being removed, which surrounds the base of a large Kahikatea.

A sensitive ridgeline extends into the property from the east, but the area of influence is only 6-7m into the property, and no development is proposed within this area. The western portion of the site is designated as Protected Natural Area, but this area is also rather damp, as noted in the Geotechnical report. The large Kahikatea noted above is located in the approximate centre of this lower area, which is generally cleared of any other significant vegetation, but is well vegetated around the boundaries with a mixture of native and exotic trees and shrubs.

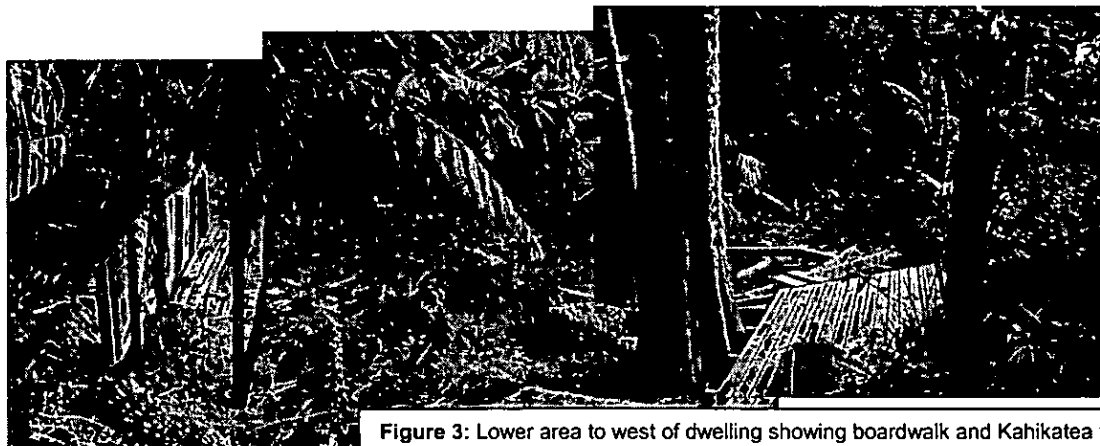


Figure 3: Lower area to west of dwelling showing boardwalk and Kahikatea trunk. The lower level of the retaining wall is visible to the left of frame.

Noted on site was a recently completed stepped retaining wall immediately to the west of the dwelling and a new deck. These works are not included in this consent, being subject to investigation by the Councils Field Services staff responsible for Structures and Vegetation (being built on a site with known stability issues and resulting in works within the dripline of a large Kauri to the south of the house).

4.2 Proposal

The applicants propose to construct a new detached cottage of 54m², in the location of an existing double carport/garage of the same dimensions. The cottage has been located 1m from the existing dwelling. The cottage is a three roomed structure, one of which contains an ensuite. It is assumed the other rooms will be a bedroom and a lounge/living area.

No kitchen facilities are proposed in the cottage. It is also noted that should a kitchen be proposed at some later stage, then further Building and Resource Consents would be required and a development contribution would be payable.

5.0 SECTIONS 93 and 94 ASSESSMENT

5.1 Statutory Context

As a non-complying activity, the application for resource consent should be publicly notified in accordance with section 93 of the Resource Management Act, unless it can be demonstrated that the requirements of sections 93, 94 and 94A – 94D of the Act can be satisfied. Applications must be notified (either publicly or in a limited manner) if the adverse effects of the activity on the environment are more than minor or all persons who may be adversely affected have not given their written approval.

Section 93 provides that applications for resource consent need not be notified where:

- “(a) The application is for a controlled activity ;or*
- (b) The consent authority is satisfied that the adverse effects of the activity on the environment will be minor.*

Section 94 provides for limited notification (unless all adversely affected persons have given their written approval,) whereby all affected persons will be notified (but not the public at large) and have the

opportunity to make a submission and be heard. Section 94(2) also provides for an application to proceed on a non-notified basis without notice being served, "if all persons who in the opinion of the consent authority, may be adversely affected by the activity have given their written approval to the activity."

Recent case law has indicated that consent authorities should give careful consideration to the question of notification, and should publicly notify applications for resource consent unless it can be clearly demonstrated that the criteria of sections 93 and 94(2) are met. A comprehensive assessment of any actual or potential adverse effects is required. This conservative approach is underscored by the relatively wide definitions of "environment" and "effects" that are set out respectively in sections 2 and 3 of the Act. In determining whether or not an adverse effect on the environment of any activity will be minor, Council may, in its discretion, disregard an adverse effect of the proposed activity on the environment or any person if the Operative Plan permits an activity with that effect. (sections 94A and 94B).

In relation to adversely affected persons, case law has established that the Council is only able to disregard adverse effects that would be 'de minimis' (Bayley CA 115/98). This concept can be taken to describe effects that are negligible. In the case of the current application, this threshold has been adopted as the correct basis for assessing whether any person may be adversely affected by the activity.

In terms of determining adverse effects on the environment and whether a person would be adversely affected by the proposed activity, Section 94A and 94B gives Council the discretion to make permitted baseline comparisons i.e. a comparison between the environment as it exists at the time the application is considered and (the effects) of activities that are permitted by the Operative Plan even if hypothetical, as compared with the effects of the proposed activity. Case law has established that any such hypothetical developments must be not be "fanciful" in terms of what could reasonably be expected to establish there.

When considering effects under Section 94A and 94B, regard may be had to any condition which, if imposed under any decision to grant consent would eliminate or reduce the adverse effect to one which would be minor for the purposes of section 94A or to a point where it would be de minimis for the purposes of section 94B.

5.2 ADVERSE EFFECTS ASSESSMENT

The following assessment of effects is undertaken on the basis that the level of effects arising is avoided, remedied or mitigated (as appropriate) by the proposed consent conditions contained in this report.

5.2.1 Water Quality and Quantity

There would be de minimis adverse effects in relation to water quality/ quantity arising from the proposed activity as it would be located within the peri-urban area of the City and would not be near a water body or stream.

The proposed works will require the installation of foundations adjacent to the vegetated depression located on the north of the site. This area is extremely boggy, with a mixture of mature Nikau, Coprosma and Kanuka. Current ground cover of Wandering Jew (*Tradescantia flumenensis*²), is very effectively preventing the emergence of juvenile natives. One short term benefit of the Wandering Jew, in relation to this proposal will be its control of sediment and erosion from the small area of earthworks proposed required for the foundations of the cottage.

The permeable surfaces on the site will be controlled by way of a new storm-water mitigation tank and discharge via flexi-flume to the creek/swamp area. Sewerage will be connected to the existing reticulated system.

Compliance with the conditions of this consent are considered to be sufficient to reduce any effect to a de minimis extent.

² Also listed in the District Plan as an Environmentally Damaging Plant.

5.2.2 Native Vegetation, Vegetation and Fauna Habitat

There would be de minimis adverse effects in relation to vegetation and fauna habitat as a result of the proposed activity as the site is within the peri-urban area, is already modified and it is not proposed to remove any vegetation.

Work within the dripline of vegetation will be required, being the removal of the existing carport and new foundations work for the cottage. Installation of the infrastructure lines will also be within the dripline of several trees, most notably the Kahikatea in the PNA. The storm-water dispersal line is to be laid over ground, and the sewerage line 'Wye' junction is to be as close to the new building as possible to prevent damage to vegetation.

The storm-water detention tank will also be relocated (from the original proposal) to be clear of the Kahikatea, preferably on the level area to be vacated by a small tool shed behind the existing carport.

No vegetation is proposed to be removed in relation to the proposal, and those works proposed within the dripline of vegetation to remain will be controlled by conditions of this consent.



Figure 4: Typical vegetation mix adjacent to proposed cottage location –

Larger natives with a mix of weedy ground covers including Wandering Jew and Woolly Nightshade.

Figure 5: As per figure 4, looking west from driveway entrance.

Existing carport structure indicates location of cottage.



5.2.3 Land / Soil

There would be de minimis adverse effects on soil/existing landform as a result of the proposed activity as the site is within the peri-urban area and is already modified.

The site is located within an area known to be Stability Sensitive, and the applicants have provided a geotechnical report in support of their application. This report notes that the soils onsite have extremely low strengths due to combinations of non-engineered fill, the high water table and saturated ground conditions, and the alluvial soils overlying volcanically derived sedimentary deposits.

Several methods of ensuring site and structure stability are proposed, and the proposal has been assessed by the Council's consultant Geotechnical Engineer, Mr Garry Law, whose comments are included here:

"Observations of the Geotechnical Reports submitted as part of the Application

The consultants drilled 1 auger hole in the site to a depth of 3.6 m with in-situ measurement of shear strength and observation of the ground water level.

A Scala penetrometer probe was advanced below the hole to 7.6 m depth to check for more competent material at depth.

The geology is recent alluvial deposits overlying Nihotupu Formation rocks. The latter do not seem to have been reached.

The hole was beyond the platform and had 0.5 m of fill which is believed to be non-engineered.

Soil strengths were relatively low.

The groundwater table depth was 1m.

The consultants do not consider the fill as competent and propose the foundations should be 300 mm into natural soils or 450 mm below finished ground level whichever is the greater. The influence zone of the present wall is to be avoided. A lower than standard allowable bearing capacity is proposed.

Recommendations are not made for the new retaining wall but are added here.

Observation of construction is proposed.

Conclusion and Recommendation:

The site is suitable for the development with appropriate conditions."

Subject to the conditions suggested by Mr Law, effects on stability are considered de minimis, and the earthworks are minimal in scale and nature with the resultant potential for adverse effects to be similarly small, and further minimised, subject to compliance with the conditions of this consent.

5.2.4 Air

As the site is within the peri-urban area and the proposed activity does not include air emissions of any kind, there would be no adverse effects on air quality.

5.2.5 Ecosystem Stability

As the site is within the peri-urban area and the existing environment is already modified there would be no adverse effects on the stability of ecosystems as a result of the proposal.

5.2.6 Outstanding Natural Features; Landforms, Geological Sites,

The subject site is not identified in the District Plan as being within an area identified as containing "outstanding natural features" within the City (refer Maps 3.5D & E). The proposed activity would not therefore adversely affect any identified outstanding natural features.

5.2.7 Natural Character of Coast and Margins of Lakes, Rivers and Wetlands

There would be no adverse effects in relation to the natural character of the coast and margins of lakes rivers and wetlands arising from the proposed activity as it would be located within the peri-urban area of the City and would not be near the coast, water body or wetland.

5.2.8 Outstanding Landscapes

The subject site is not identified in the District Plan as being within an area of "outstanding landscape" within the City (refer Map 3.6B). The site is within the peri-urban area of the city and the environment is already extensively modified. Therefore the proposed activity would not adversely affect any identified outstanding landscapes.

5.2.9 Amenity Values - Health and Safety, Landscapes, Local Areas and Neighbourhood Character

Height in Relation to Boundary:

As can be seen in Figure 5, the proposed infringement will not lead to any loss of privacy or dominance of the adjoining site. The boundary line is located at the base of the depression, with the adjoining dwelling located some 11m to the north (clear of the 'swamp' on the other side).

Sunlight and daylight access to the proposed building and the building on the adjoining site are not considered to be affected by the identified Height in Relation to Boundary, solar access being controlled by the intervening vegetation.

Yards:

The proposed Yard infringement is not considered to have any effect on the natural landscape, being a structure that is replacing an existing building. Existing vegetation provides an excellent visual screen ensuring privacy, and the location will negate the requirements to remove vegetation and maintain potential for replanting in the remainder of the site.

Vehicle parking areas are provided, sufficient for 2 vehicles, which also provides for onsite manoeuvring.

Building Coverage:

The proposed building coverage infringement, being 128m² dwelling, 54m² cottage and adding 20m² for a covered car space, total of 202m² of the 994m² site, or 20.4%.

This is not considered to detract from the neighbourhood character, or natural landscape, being a replacement of an existing vehicle garage with a similar sized residential 'extension'. While the cottage is not integral to the dwelling, it will have the general appearance of being associated with the dwelling. A condition is imposed requiring the cottage to be clad and painted in a fashion similar to the existing dwelling.

The surrounding natural environment is not considered to be adversely affected by the proposed cottage, as the site is reticulated to the sewerage system, and the storm-water detention/mitigation system will be an improvement on the existing situation, subject to compliance with the conditions of this consent.

5.2.10 Heritage

There would be no adverse effects in respect of heritage items as the proposed activity would not be located near, or impact on any identified heritage item.

5.2.11 Conclusion in relation to Sections 93(1)(b), 94 and 94A – 94D.

Overall the adverse effect on the environment of the activity for which consent is sought would be no more than minor for the reasons stated above.

5.3 Sections 94 and 94B - Adversely Affected Persons

The following persons are considered to be adversely affected by the activity for the following reasons:

PERSON (owner/occupier)	ADDRESS	REASONS	APPROVAL OBTAINED
Gladys Wither	29 Victory Road, Laingholm.	Yards infringement, HIRB.	Yes

(Table One)

Written approval has been obtained from every person whom Council is satisfied may be adversely affected by the activity.

No other persons were considered to be adversely affected by the activity because the proposed cottage will not be visible from any other site, is replacement of an existing structure (carport) with a residential structure of the same dimensions, and will not adversely affect the surrounding natural environment, subject to the conditions of this consent.

5.4 Special Circumstances

In accordance with section 94C(2) of the RMA it is considered that there are no special circumstances that warrant notification of the proposal.

6.0 SECTIONS 93, 94 AND 94A – 94D RECOMMENDATION

Pursuant to Sections 93, 94 and 94A – 94D of the Resource Management Act 1991, it is recommended that this application RMA20041124 be processed without being publicly notified for the following reasons:

- The adverse effect on the environment of the activity for which consent is sought will be de minimus because the proposed cottage will not be visible from any other site, is replacement of an existing structure (carport) with a residential structure of the same dimensions, and will not adversely affect the surrounding natural environment, subject to the conditions of this consent
- Written approval has been obtained from every person who may be adversely affected by the activity as outlined in Table One above.
- There are no special circumstances to warrant notification of this application.

Reporting Planner: 
Kyle Balderston

Date: 22/10/04

7.0 SECTIONS 93, 94 AND 94A – 94D DETERMINATION

Acting under delegated authority and for the reasons set out in the above assessment this application RMA20041124 for resource consent shall be non-notified as recommended in Section 6.0 above.


Team Leader Consents

Date: 26/10/2004

ASSESSMENT OF NON-NOTIFIED RESOURCE CONSENT APPLICATION UNDER SECTION 104 AND 104A – 104D OF THE RESOURCE MANAGEMENT ACT 1991

8.0 STATUTORY ASSESSMENT

8.1 As noted, the proposal requires consideration as a non-complying activity under the provisions of the Resource Management Act 1991. Section 104D of the Act sets a threshold test which all resource consent applications for non-complying activities must first pass before a consent authority has jurisdiction to grant consent, having regard to the matters specified in Section 104. In short, the proposal must be able to establish and operate without generating more than minor adverse effects on the environment, or must not be contrary to the relevant objectives and policies of the Operative District Plan. In terms of determining adverse effects, Council may disregard an adverse effect of an activity on the environment if the operative plan permits an activity with that effect.

The assessment contained previously in this report demonstrates that the proposal would generate no more than minor adverse effects on the environment. Jurisdiction to grant consent has therefore been established.

However, it is noted that for a consent authority to grant consent to a non-complying activity application, there should generally be some unusual element to the proposal. If such unusual circumstances do not exist, then the proposal would effectively compromise the integrity of the District Plan, and public confidence in the consistent administration of the Plan may be undermined. It is considered that the proposal would be unusual because of the size of the site, and the fact that the building would be replacing an existing building.

Council also has a discretion to consider any precedent issues that may arise from a non-complying activity. According to the Court of Appeal decision in *Dye v Rodney District Council*, an adverse precedent effect can arise where the grant of a non-complying consent would influence the approach taken by Council to similar consent applications. Such a precedent effect does not arise because the proposal is essentially a residential extension to a modest dwelling, that does not require any significant earthworks or vegetation clearance, and will be replacement of vehicle garaging with habitable rooms.

9.0 ENVIRONMENTAL ASSESSMENT

In order to make a decision in terms of Section 104B of the Act it is necessary to undertake an analysis and assessment to determine whether the purpose and principles of the Act are being met (Part II) having regard to the matters set out in Section 104 and sections 104A – 104D (as relevant), the Fourth Schedule and any other statutory considerations.

Section 104(1) of the Act requires that Council have regard to any actual or potential effects on the environment, any relevant objectives, policies, rules or other provisions of a plan or proposed plan and any relevant regional policy statement and regional plan or proposed plan, and any other matters the consent authority considers relevant and reasonably necessary to determine the application.

When considering an application Council must not have regard to any effect on a person who has given their written approval to the application (section 104 (3)(b)).

9.1 SECTION 104 ASSESSMENT

9.1.1 Actual and Potential Effects on the Environment

As a non-complying activity a variety of issues are relevant when determining the nature and scale of adverse effects on the environment including effects on visual amenity, infrastructural capacity, the existing vegetation and stability. These aspects have been discussed previously in Section 5.2 of the accompanying Sections 93, 94 and 94A – 94D Assessment and Determination Report. The assessment of effects concluded that the adverse effects, subject to compliance with conditions of this consent would be less than minor.

In addition the Plan has been prepared with a clear "effects-based" emphasis. Consideration of the proposed development in relation to each of the Plan's assessment criteria would ensure that all the

relevant matters contained in Section 104 of the Act have been addressed. The previous discussion under the s94 report, which concluded that the effects would be less than minor, has addressed the matters outlined in the relevant assessment criteria from the District Plan, which are outlined below:

Bush Living Environment

Rule 5: HEIGHT IN RELATION TO BOUNDARIES

5(a) The extent to which the height, location and design of buildings will allow for reasonable sunlight and daylight access to adjoining sites; 5(b) The extent to which the height, location and design of buildings will allow for reasonable sunlight and daylight access to the proposed building; 5(c) The extent to which each habitable room in a building is located to allow for reasonable daylight access.

Rule 6: YARDS

6(a) The extent to which buildings are located a sufficient distance back from the site boundary to avoid more than minor adverse effects on the natural landscape; 6(b) The extent to which buildings are located in a position which maintains opportunities to retain vegetation around the edges of the site; 6(c) The extent to which buildings are located in a position which allows for safe traffic movement on and off the road and carparking and manoeuvring off the road; 6(d) The extent to which buildings are located a sufficient distance back from site boundaries of adjoining sites to provide a degree of privacy.

Rule 7: BUILDING COVERAGE

7(a) The extent to which the scale of buildings detracts from the natural landscape and neighbourhood character; 7(b) The extent to which building coverage creates pressure on existing infrastructure or the receiving ability of the surrounding natural environment from the buildings or the activities to be conducted within them - in particular on water supply, wastewater and stormwater drainage, water tables, proximity to water courses, soils, and road access.

General Natural Area

Rule 3: EARTHWORKS

3(a) The extent to which the scale of earthworks is consistent with the scale of development being undertaken; 3(b) The extent to which earthworks adversely affect the potential for restoration or enhancement around the area of earthworks; 3(c) The extent to which earthworks reduce the amount, range and linkages between representative vegetation, fauna habitat and natural features; 3(d) The extent to which earthworks adversely affect the significance or landscape value or natural character of natural landscape elements or other natural features; 3(e) The extent to which earthworks exacerbate or contribute to flooding, erosion or instability of land or the potential for flooding, erosion or instability of land; 3(f) The extent to which earthworks adversely affect or contribute to degradation of natural watercourses in a way that destroys or reduces their ability to support in stream vegetation and fauna, their ability to be used as a healthy food source, their clarity, quality and flow and their suitability for swimmers; 3(g) The extent to which earthworks adversely affect the mauri (life force) of water; 3(h) The extent to which earthworks adversely affect the visual amenity of the site or adjoining sites; 3(i) The extent to which cut and fill activities involving earthworks are confined to the site rather than being transported off the site; 3(j) The extent to which earthworks may harm the health and safety of residents; 3(k) The extent to which heavy vehicle traffic generated to the site by earthworks activities creates: physical damage to a road - a situation hazardous or unsafe to road users; 3(l) The extent to which earthworks are necessary to accommodate development otherwise permitted by the Plan; 3(m) The extent to which more than minor adverse effects can be adequately avoided, remedied, mitigated or offset through the provision of works and services on or off the site and/or through payment or provision of a financial contribution; 3(n) The extent to which a driveway requiring earthworks is designed to minimise earthworks, particularly by limiting the distance of the driveway on the site; 3(o) The extent to which earthworks are avoided; 3(p) The extent to which unavoidable earthworks are minimised; 3(q) The extent to which the duration of earthworks is minimised.

There are no other matters relevant and reasonably necessary for this application.

10.0 POLICIES AND OBJECTIVES

It is considered that the proposed development would be consistent with the objectives and policies of the District Plan. The District Plan is "effects-based" in its approach to natural and physical resources and it has been demonstrated in the previous environmental assessment of effects that subject to conditions any adverse effects arising from the proposal would be de minimis.

The District Plan Assessment Criteria, developed to address the issues covered in the objectives and policies, have already been discussed in section 9.1.1.

The proposed development is considered to be consistent with these assessment criteria. For this reason the proposed development is also considered to be consistent with the relevant Objectives and Policies.

11.0 PART II OF THE ACT- PURPOSE AND PRINCIPLES

Section 5 in Part II of the Act identifies the purpose of the Act as being the sustainable management of natural and physical resources. This means managing the use of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being while sustaining those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding, remedying or mitigating adverse effects on the environment.

It is considered that the proposal is consistent with sustainable resource management. In particular this proposal is concerned with the sustainable management of the Bush Living Environment in such a way that the communities' social and cultural aspirations are realised whilst the quality of the environment and amenity values of the neighbourhood are maintained. The proposal would allow for the establishment of an ancillary building that would be appropriate within the environment and would be able to establish and operate in such a way that the amenities of the neighbourhood would not be adversely affected.

The proposal is not considered to adversely affect any matters of national importance. It is considered that the adverse effects arising from the proposal and the proposed mitigation are limited in significance to the surrounding urban neighbourhood.

Section 7 identifies a number of "other matters" to be given particular regard by Council in the consideration of any assessment for resource consent, and includes the efficient use of natural and physical resources, and the maintenance and enhancement of amenity values.

The potential effects of the proposal on the amenity and character of the area have been discussed in detail in the effects assessment contained in Section 8 of this report. Subject to conditions such as Sediment and Erosion control, vegetation protection, special foundations design and Storm-water mitigation, it is concluded that the proposed development would be compatible with the surrounding built and natural environment and the existing amenity of the area would not be reduced.

12.0 TIME PERIOD IN WHICH TO IMPLEMENT THE CONSENT

Under section 125 of the Resource Management Act 1991, unless it is given effect to, a consent lapses either on the date that is specified in the consent or if no date is specified, 5 years after the date of commencement of the consent.

A standard five year period in which to give effect to this consent is not considered appropriate because the works are minor in scale and nature, and the applicant has received a building consent for the project.

A two year lapse period is therefore recommended for this proposal.

13.0 MONITORING

The proposal will need to be monitored in accordance with the conditions specified in this report, and the requirements contained in the District Plan.

14.0 RECOMMENDED DECISION

Pursuant to Sections 104, 104B, 104D and 108 of the Resource Management Act 1991, being satisfied that no body or person is adversely affected, it is recommended that **consent is granted** to the application by Karl Hitchens to construct a 'cottage', resulting in building coverage, height in relation to boundary and yards infringements, requiring earthworks within 1m of a site boundary, and increasing impermeable surface cover beyond 15% of the site on a site known to be stability sensitive, (as more accurately defined in Sections 3 and 4 of this report) at 31 Victory Road, Laingholm being Lot 644, DP 32446 for the following reasons:

- (i) The proposed cottage will be replacement of the existing garaging, and will not diminish from the established neighbourhood character, privacy or sun and daylight access to any adjoining site;
- (ii) The proposed storm-water mitigation system will be an improvement over the existing uncontrolled discharge;
- (iii) Compliance with the recommendations of the geotechnical report will ensure that the new structure is stable;
- (iv) The proposal, for the reasons outlines above and in the body of this report is not contrary to the Objectives and Policies of the District Plan nor Part II of the Act.

Conditions imposed on the consent are as follows:

1. The development shall proceed in accordance with the plans titled 'K Hitchens, 31 Victory Road, Laingholm' prepared by Versatile Buildings and dated 18/03/04 and all referenced by Council as RMA 20041124 and the information, including further information, submitted with the application.
2. Pursuant to section 125 of the Resource Management Act 1991, this consent shall lapse after a period of 2 (two) years after the commencement of the consent.
3. A copy of this consent shall be kept onsite at all times. It is the applicants responsibility to ensure all persons on site are aware of, and comply with, the conditions of this consent. This is a Public Document and shall be produced on request.

Geotechnical Conditions:

4. Foundations for the structure shall be designed to the capacity limits set in the report of Soil and Rock Consultants, ref 03365, September 2003, and be founded 300 mm into natural soils or 450 mm below finished ground level which ever is the greater and outside the influence zone of the existing retaining wall.
5. The retaining wall shall be designed for not less than at-rest earth pressures and to stay within the bearing capacity limits set for footings.
6. Exposed subgrades beneath slabs shall be protected from wetting or drying during construction.
7. An experienced geotechnical engineer familiar with the report of Soil and Rock Consultants, ref 03365, September 2003 and with the design shall be engaged to inspect the foundations and wall and shall provide the Council with a Producer Statement – Construction Review for this part of the work.

EcoWater Conditions:

8. Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
9. Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleed-line staked above ground through the area zoned "protected natural", and draining to the creek. Install a

flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.

10. Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with Council's Countryside and Foothills Stormwater Management Code of Practice and shown on the Versatile Buildings Site Plan dated 18/3/04. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
11. Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

Vegetation Protection/Earthworks Conditions.

12. Before commencement of any works, adequate sediment and erosion control measures shall be constructed and maintained in accordance with Appendix 3, Erosion and Sediment Control Measures Appendix to the Natural Area Rules of the Waitakere City Council Proposed District Plan, **and/or** in accordance with Auckland Regional Council Technical Publication # 58 (ARC:TP58), *Erosion and Sediment Control Guidelines for Land Disturbing Activities*.
13. All spoil excavated for the foundations and not suitable for back filling shall be removed from the site within one week of the completion of earthworks. No stockpiling may occur in the wetland/boggy area or in the dripline of protected vegetation. No filling may occur outside the building platform without further geotechnical advice, and resource consents.
14. Prior to the commencement of earthworks, a temporary protective fence shall be erected between the proposed new foundations/structure and the mature native vegetation (no closer than 1m to the vegetation) in order to delineate and protect vegetation from accidental damage. The protective fence shall be non-moveable and strong relative to the works proposed.
Note: Steel warratahs with orange safety mesh is an appropriate protective fence. Warratahs (or other suitable supports) should be located generally clear of the immediate root zone of vegetation to be protected.
15. The proposed storm-water mitigation tank shall be located clear of the dripline of the Kahikatea located to the west of the buildings (see Figure 4), the most suitable location being on the area vacated by the small shed to be removed immediately below the proposed cottage. All care shall be taken when working in the vicinity of protected native vegetation to ensure its long term survival. See also EcoWater Conditions above relating to the placement of lines overground, and connection as close as possible to the proposed dwelling.

Building Coverage Conditions

16. The existing garage and carport structure, and the small shed immediately to the rear of the carport shall be dismantled/demolished and removed from the site prior to the occupation of the proposed cottage.
17. The proposed cottage shall be clad in materials and colours that are similar and complementary to the existing dwelling, to the satisfaction of the Manager, Resource Consents.

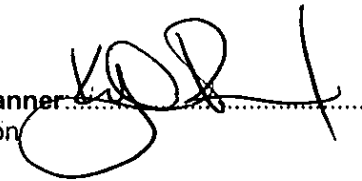
Monitoring Conditions:

18. A consent compliance monitoring fee of \$178.00 (inclusive of G.S.T.) shall be paid to the Council. This fee is to recover the actual and reasonable costs incurred ensuring compliance with the conditions of this consent. If, on inspection all conditions have not been satisfactorily met, a reinspection shall be required at the relevant hourly rate applicable at the time the re-inspection is carried out.
The \$178.00 fee shall be paid as part of the resource consent and the resource consent holder shall be advised of any further monitoring fees if they are required.

Advice Notes:

1. Where indicated in the conditions it is the consent holders responsibility to inform the Environmental Monitoring Officer when inspection is required. Inspections can be requested through the Call Centre on 849 0400.
2. Take note that the conversion of the cottage to a self contained residential unit will require further resource and building consents. The payment of a Development Contribution would also be required. Failure to obtain the required permissions could invite prosecution under the Building Act 2004, Resource Management Act 1991, Local Government Act 2002, and/or any other relevant legislation.
3. Control of Wandering Jew (an Environmentally Damaging Plant) appears to be an issue on this site (as it is on any site once established). Ongoing physical control is almost the only way to minimise its spread. Place most of the mass of the plant into plastic bags at the growing location (to avoid spreading the plant which will grow from any small fragment) and dumping to land fill, followed by careful chemical herbicide application may be required (recommend Glyco-phosphate (e.g. Roundup) due to the sites proximity to water – take care to avoid native vegetation to be retained). Contact the ARC's Enviroline (ph 09-366-2000) for free advice.

Reporting Planner
Kyle Balderston

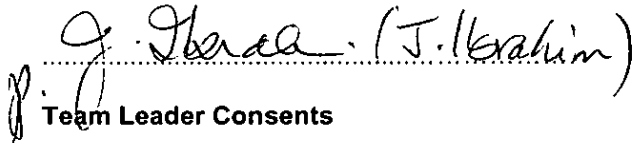


Date:

22/10/04

15.0 CONSENT GRANTED AS RECOMMENDED

Acting under delegated authority and for the reasons set out in the above recommendation this application RMA20041124 shall be granted subject to the conditions set out in Section 14.0 above.


Team Leader Consents

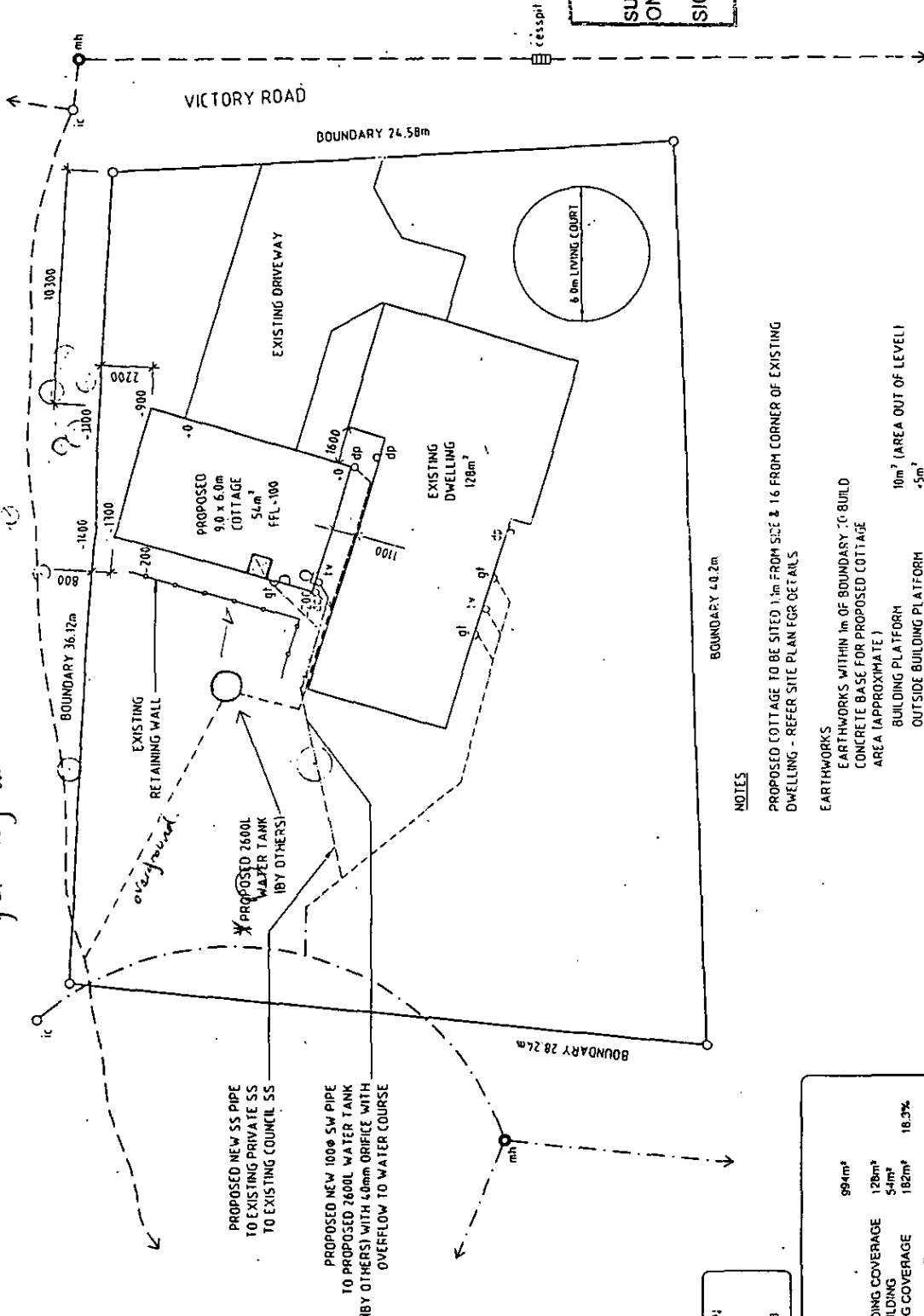
Date:

26/10/2004

Please contact Kyle Balderston (Ph 836 8000 ext. 8125) if you have any queries about this resource consent and associated report.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED

* Water tank to be located clear of kahikatea, preferably at base of existing retaining wall



17/4/04

PLANS AND SPECIFICATIONS
APPROVED
 SUBJECT TO CONDITIONS ENDORSED
 ON: RMA 2003/1124
 SIGNED: [Signature] DATE: 21/04/04
 AUTHORIZED OFFICER

LEGEND

---	EXISTING COUNCIL SW
---	EXISTING COUNCIL SS
---	EXISTING PRIVATE SW
---	EXISTING PRIVATE SS
○ mh	MANHOLE
○ dp	PUMP
○ gi	GULLY TRAP
○ v	TERMINAL VENT

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code (1992) WINDOW SIZES INDICATE ROUND OPENING

SCALE	DATE	SHEET
1:200	18/03/2004	1/7
PPHWAJ	FILE	
VERSATILE		

NOTES
 PROPOSED COTTAGE TO BE SITED 1m FROM SIDE & 16 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS
 EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE AREA (APPROXIMATE)
 BUILDING PLATFORM 10m² (AREA OUT OF LEVEL)
 OUTSIDE BUILDING PLATFORM 5m²
 VOLUME (APPROXIMATE - BASED ON LEVELS)
 BUILDING PLATFORM 6m³
 OUTSIDE BUILDING PLATFORM 1m³

BOUNDARY 4.0.2m

BOUNDARY 24.58m

BOUNDARY 28.24m

BOUNDARY 36.32m

BOUNDARY 10.300

BOUNDARY 2.200

BOUNDARY 1.100

BOUNDARY 1.700

BOUNDARY 1.100

BOUNDARY 1.100

BOUNDARY 1.100

PROPOSED COTTAGE

LOT C41	99m²
DP 32146	128m²
CT NA1C8048	54m²
	182m²
	18.3%
	28.4%
	71.6%

TOWN PLANNING

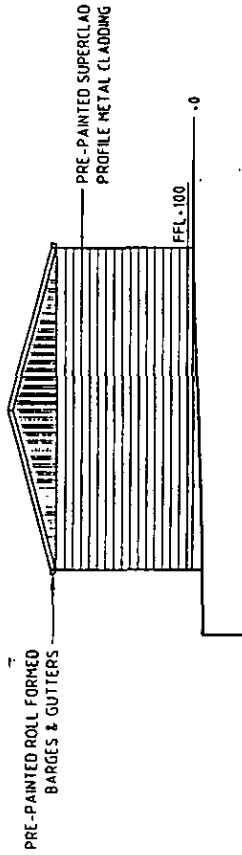
SITE AREA	99m²
EXISTING BUILDING COVERAGE	128m²
PROPOSED BUILDING	54m²
TOTAL BUILDING COVERAGE	182m²
IMPERMEABLE SURFACES (DRIVEWAY, BUILDINGS, DECKS)	282m²
PERMEABLE AREA	712m²
	71.6%

PROJECT TITLE
 K HITCHENS
 31 VICTORY ROAD, LAINGHOLM

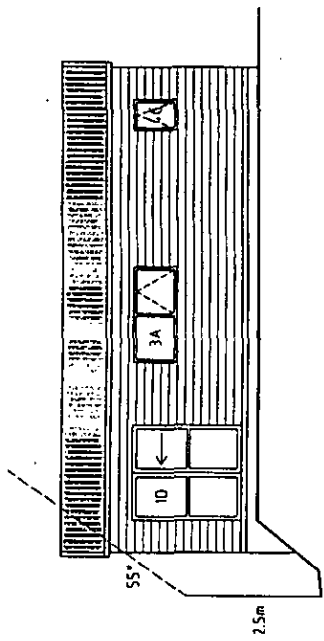
VERSATILE BUILDINGS
 HEAD OFFICE: 112 WATERLOO ROAD
 PH: (03) 348-6704
 FAX: (03) 348-9093

VERSATILE BUILDINGS

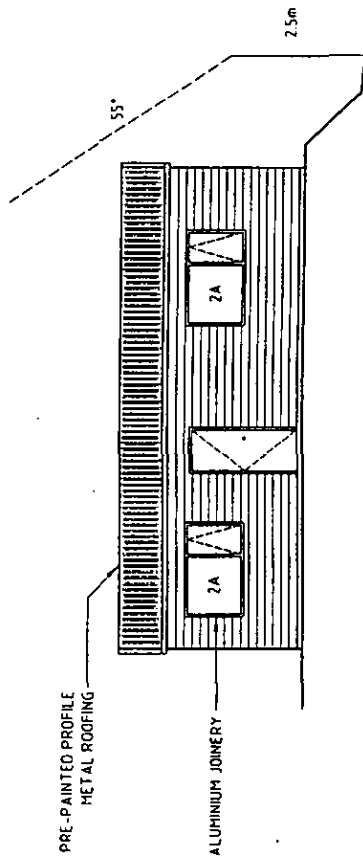
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED



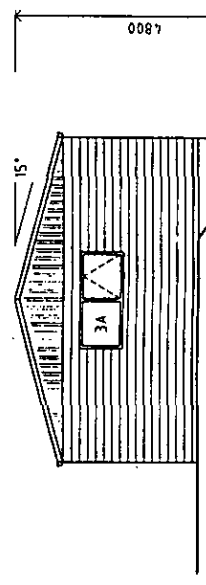
1 FRONT ELEVATION



2 SIDE ELEVATION



3 SIDE ELEVATION



4 REAR ELEVATION

PLANS AND SPECIFICATIONS
APPROVED
 SUBJECT TO CONDITIONS ENDORSED
 ON: RMA 20841124
 SIGNED: *[Signature]* DATE: 21/01/04
 AUTHORISED OFFICER

Note: Construction to comply with NZS 3603:1 (1999) and the New Zealand Building Code 1992 WINDOW SIZES INDICATE SOLO: OPENING

SCALE: 1:100
 DATE: 18/03/2004
 DRAWN: V/PSA/TJL
 FILE: 1902/14/04

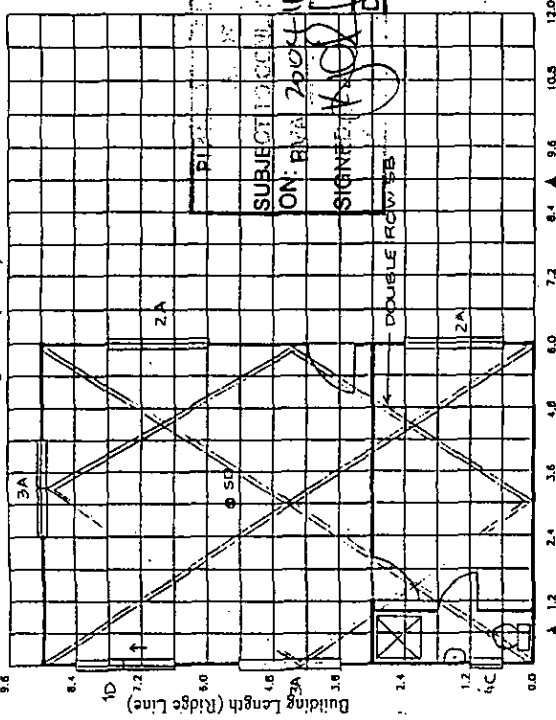
PROJECT FILE
 K HITCHENS
 31 VICTORY ROAD, LAINGHOLM

VERSATILE BUILDINGS
 PH: (001) 348 8704

HEAD OFFICE:
 VERSATILE BUILDINGS
 PH: (001) 348 8704

ELEVATIONS

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED
FLOOR PLAN
 Building Width (Gable)



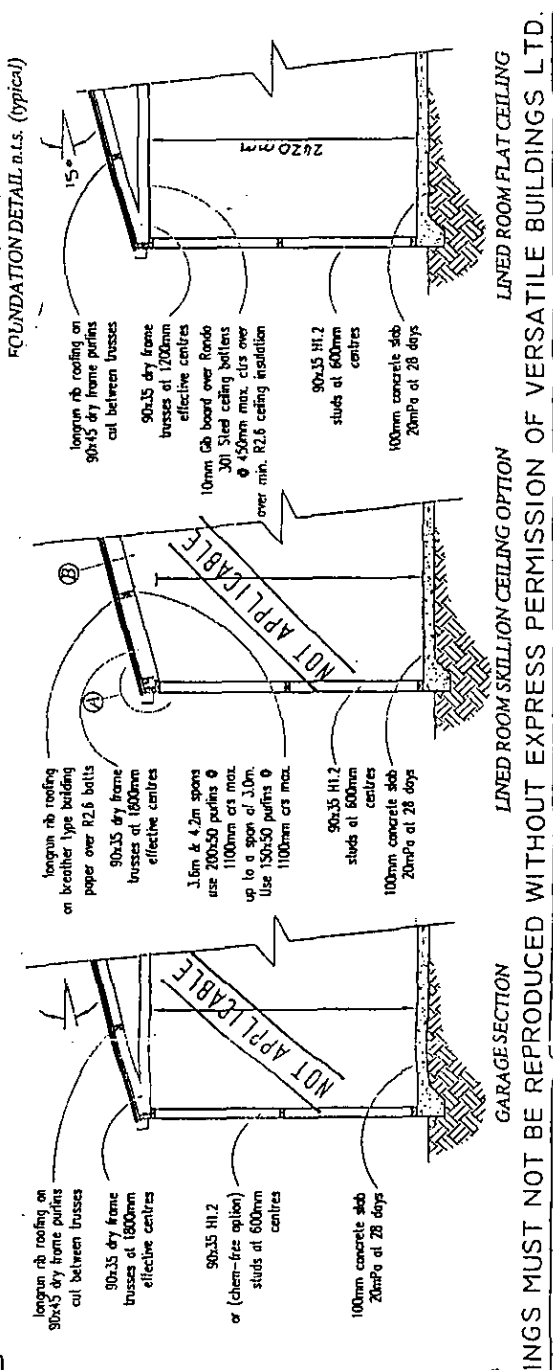
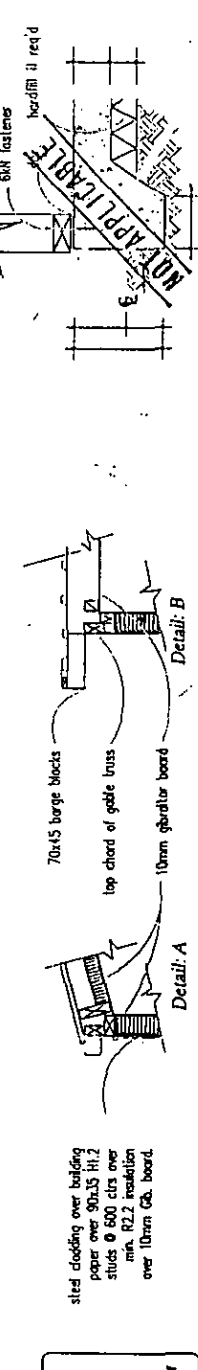
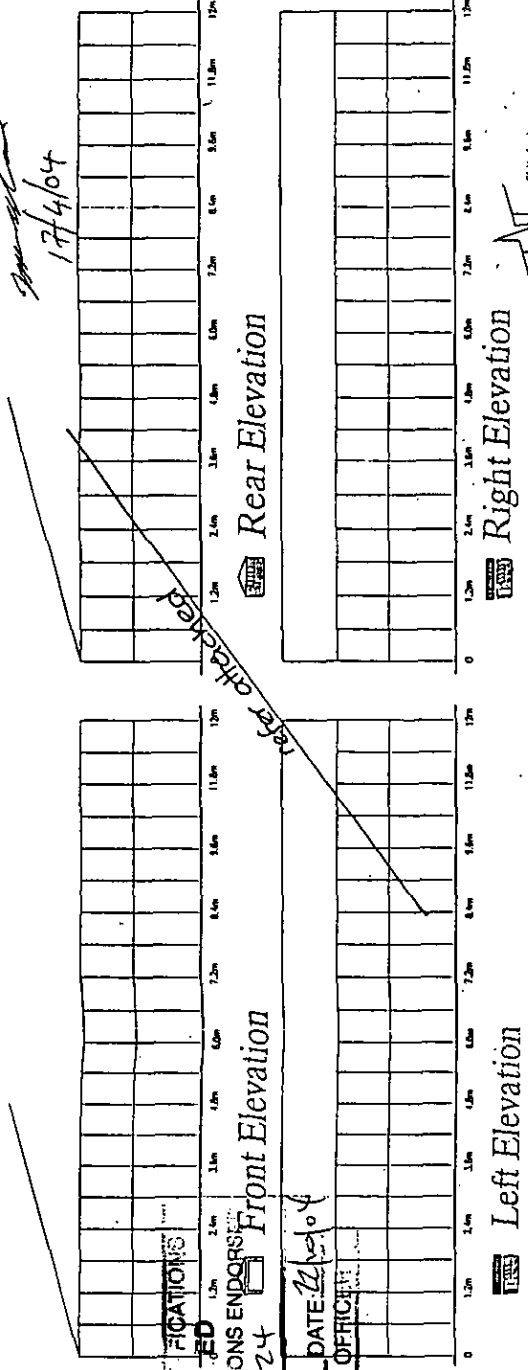
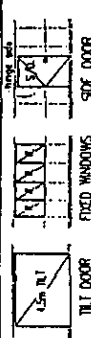
NOTES:
 Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000.
 Copyright: These drawings must not be reproduced without express permission of Versatile Buildings Ltd.

BUILDING DATA	
Length	9.0 m Width 6.0 m Area 54.0 m ²
STUD HEIGHT	2.1m 2.4m 2.7m 3.0m
CLADDING	Versatile <input type="checkbox"/> Superior <input type="checkbox"/> Other <input type="checkbox"/>
WIND ZONE	Low <input type="checkbox"/> Med <input type="checkbox"/> High <input type="checkbox"/> V.High <input type="checkbox"/>
FLOOR	Concrete <input checked="" type="checkbox"/> Timber <input type="checkbox"/>
ROOF PITCH	15° <input type="checkbox"/> 20° <input type="checkbox"/> 25° <input type="checkbox"/>

LEGEND Plan



LEGEND Elevation



GENERAL
 All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Limited Producer Statement for Design, dated July, 2002, VB2000 Series.

FOUNDATIONS
 Concrete floor shall be 200mpa, 100mm thick. Footing as detailed.

WALL FRAMING
 All timber shall be machine graded and treated to T.P.A. specification H1.2 or C.F. MGP 10 framing. Studs shall be 90x35 frames at 600 c/s and housed into plates. Lay 'Supercourse' D.P.C. under all plates. Refer to Producer Statement VB2000 Sheet 4 for timber grade options and specification. Fix hardware in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING
 Purlins shall be 90mm x 15mm on edge at 1500 max c/s fixed to G-irons at 15 degree trusses. For purlins, trusses and ridge braces as detailed in Producer Statement VB2000, Sheets 14 & 15. For rafter galling (gillion/roof) refer VB2000 page 13.

SIDE ENTRY OPENING LINTELS
 LVL beams shall span as per Producer Statement VB2000 Sheet 4. Fixing details VB2000 Sheet 9.

ROOFING
 Shall be steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING
 Fix in accordance with NZ 3604 & as wall bracing fixing specification.

ROOF BRACING
 For all buildings fix Lumberlok roof plane steel bracing in accordance with VB2000 Producer Statement, Sheet 17. For 2.7 & 3.0m stud, refer VB2000 Sheet 8.

WALL BRACING
 Fix bracing per VB2000 Sheet 7. Bracing Panel locations and fixing refer: Wall Bracing, 600 Series, Feb 04, Ver 1.4.

Time

2/6/04

1.30 - 3.00 Checklisting consent
S94 Report.

3.30 -

- S92 letter required.

- File note

Aviating further info as per 2x S92 letters.

- Elworks - probably pretty small but not shown on
Plans

- Veg - can be avoided by relocation of tank/pipes

- Buildings - existing shed to be removed

- Retaining - talking with versatile - see new plans
when it comes in.

- Flowater - conditions only

WE TUESDAY 12/6/04

SCALE AMENDMENTS


NOTES

SECTION	1:50	B
SECTION	1:50	B
SECTION	1:100	-
SECTION	1:50	B
SECTION	1:50	C
SECTION	1:50	C
SECTION	1:10	C
SECTION	1:10	B
SECTION	1:20	-
SECTION	1:200	B
SECTION	1:200	B
SECTION	1:100	A
SECTION	1:100	A
SECTION	1:200	B
SECTION	1:200	B
SECTION	1:100	A
SECTION	1:100	A
SECTION	1:100	B
SECTION	1:100	B
SECTION	1:200	B
SECTION	1:200	B
SECTION	1:200	B
SECTION	1:100	B
SECTION	1:100	-
SECTION	1:200	B
SECTION	1:200	B
SECTION	1:200	C
SECTION	1:200	B
SECTION	1:50	B
SECTION	1:50	B
SECTION	1:50	-
SECTION	1:20	A

FDN/SLAB PLAN	1:50	A	101
ROOF FRAMING PLAN	1:50	-	102
FRAME ELEVATION	1:50	-	103
DETAILS	-	-	104
DETAILS	-	-	105

TENANCY 6

Dainty Alderton
CONSULTING ENGINEERS
A division of P. Raza Consultants Ltd



PROPOSED RETAIL DEVELOPMENT
2-10 TRIANGLE RD MASSY

DRAWING SCHEDULE

NO	DESCRIPTION	DATE

(Note: The drawing schedule table is mostly empty or contains illegible text.)

18 MAR 2004

Karl Hitchens
C/- Versatile Buildings Ltd
18 Henderson Valley Road
Henderson
WAITAKERE CITY

05/07/2004

Dear Karl,

Re: Resource Consent Application: RMA20041124
Proposal: To construct cottage - multiple infringements.
Site Address: 31 Victory Road, Laingholm

Further to my previous letter dated 24/06/04, I have received EcoWater's Conditions for the application, and I enclose them for your information and action. Note that the requirements for a 100mm bleedline laid over ground, and location of new connections close to the dwelling will alleviate many of the concerns raised in paragraph 3 of this previous letter. However, an updated plan showing vegetation is still required. I also enclose a site plan showing the natural area zonings as they relate to this site.

ECOWATER CONDITIONS (PUBLIC DRAINAGE)

- (EW 1) Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
- (EW 2) Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleedline staked above ground through the area zoned "protected natural", and draining to the creek. Install a flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.
- (EW 3) Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with Council's Countryside and Foothills Stormwater Management Code of Practice and shown on the Versatile Buildings Site Plan dated 18/3/04. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
- (EW 4) Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

For enquires regarding the above conditions, please contact Helen Chin, Water and Drainage Engineer at Ecowater, on 8368000, x8241.

Regards,

Kyle Balderston
Resource Planner.



To Kyle Balderston
Consents Services
Civic Offices

From Helen Chin
Water & Drainage Engineer
EcoWater Solutions

Date 2 July 2004

Subject **ECO-WATER CONDITIONS**

RMA No. 20041124
SPW No.
Address: 31 Victory Rd, Laingholm
Applicant: Karl Hitchens

ECOWATER CONDITIONS (PUBLIC DRAINAGE)

- (EW 1) Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
- (EW 2) Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleed-line staked above ground through the area zoned "protected natural", and draining to the creek. Install a flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.
- (EW 3) Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with Council's Countryside and Foothills Stormwater Management Code of Practice and shown on the Versatile Buildings Site Plan dated 18/3/04. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
- (EW 4) Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

Private Bag 93109
Henderson
Waitakere City

24/06/2004

Karl Hitchens
C/- Versatile Buildings Ltd
18 Henderson Valley Road
Henderson
WAITAKERE CITY

Called Sish 8/7/04

Dear Karl,

**REQUEST FOR FURTHER INFORMATION IN ACCORDANCE WITH
SECTION 92 OF THE RESOURCE MANAGEMENT ACT 1991**

Re: Resource Consent Application: RMA20041124
Proposal: To construct cottage - multiple infringements.
Site Address: 31 Victory Road, Laingholm

I acknowledge receipt of your resource consent application dated 2/06/04, and made a site visit on 24-06-04.

The information you have provided with the application is not sufficient to enable an adequate analysis of your proposal, its effect on the environment and the way in which any adverse effects on the environment may be mitigated. Therefore, the following further information is required:

1. There is a small (~4mx5m) shed to the rear of the existing garage. This is not on the plans supplied. What is happening to this shed? *removed from site*
2. Following on from the above, as the covered parking area for the dwelling is being replaced by a residential structure, 20m² should be added to the building coverage calculation 'where a covered car space is not otherwise provided'. This, along with the shed mentioned above, would take the building coverage on the site from 182m² to 222m² or 22.3% of the 994m² site. Building coverage of more than 15% is a non-complying activity. ** not a requirement*
3. The location of the water tank appears to be within the dripline of a three stemmed Kahikatea, which would require consent, or preferably shifting to a more suitable location. Trenching works for the installation of the infrastructure lines would also be required within the dripline of this tree, and several others in the vicinity. This is a Discretionary Activity in the Protected Natural Area, Limited Discretionary in the General Natural Area, infringements which have not been applied for. Please supply a site plan showing the location of vegetation affected by the proposal. This could include trees adjacent to the new cottage, as the earthworks required for its construction are not shown on the plans. I would suggest that if the water tank is in the proximity of the Kahikatea, that the lines are laid overground. *water tank to be in location of shed*
4. The earthworks applied for (5m²/1m²) are not shown on the site plan, and the 'concrete block base' appears to extend beyond the current building footprint, and therefore through the existing bank slope which is currently retained by corrugated iron. How is this bank to be retained? *will put in a retaining wall*

In accordance with the Resource Management Act, processing of your application will be suspended until this information is received.

If you have any queries regarding the above, please contact Kyle Balderston of Consent Services (phone 836 8000 Ext 8125).

Other Matters:

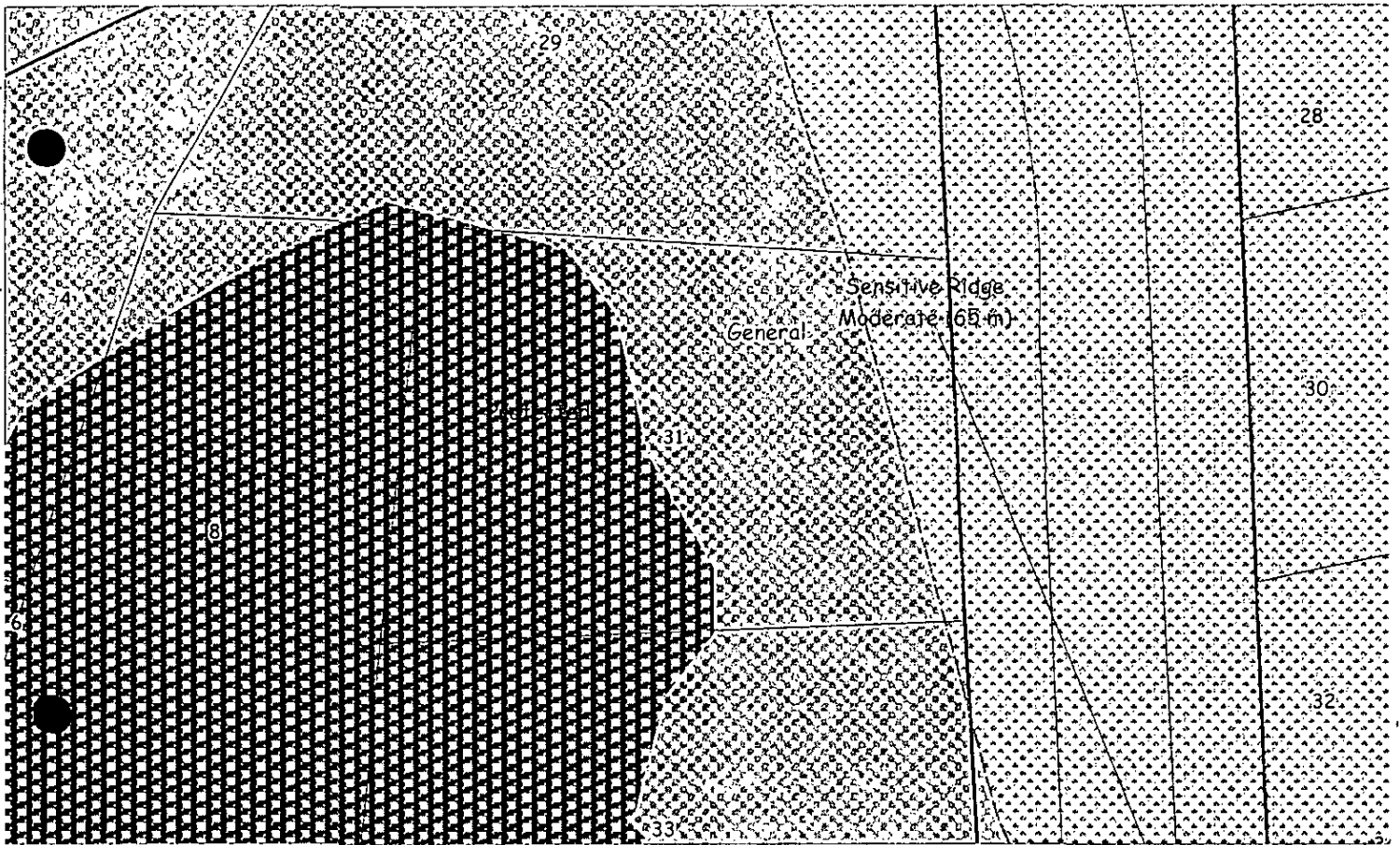
1. During the site visit, retaining walls to the west of the dwelling were noted. These are mentioned in the geotechnical report (dated 25 Sept 2003) as being 'under construction', and at the time of visit appear to have been completed.

There are a number of issues that are related to this wall that are of concern, namely:-

- The site is in a wider area known to be Stability Sensitive, and a site specific geotechnical report supplied in support of the cottage application notes that soils on the site are highly saturated due to a high water table, and notes the presence of non-engineered fill of low shear strength, which is 'considered unsuitable for use as a founding stratum for a permanent structure'. These walls are in close proximity to the dwelling, and are possibly loaded by the dwelling and the Kauri tree on the second terrace. It also appears that this wall is bowing, indicating that the wall is not able to support its current load.
 - The base of the Kauri tree is very close to the end of the retaining wall, which appears to have a return built right around it. Kauris are very sensitive to even subtle changes in the water and gas environment in their root zone and in this case it appears that the installation of these retaining walls would have required removal of several roots, and cut and filling activities over much of the root zone. If sub soil drainage was installed behind the retaining walls (as per best practice) then this would have also altered the water regime for this tree. Decline, however, may not be apparent for a number of years.
 - The rear portion of your site is within the Protected Natural Area, meaning that the retaining walls and the associated earthworks would be a non-complying activity (ie earthworks outside the building platform not for the purposes of driveway or infrastructure installation). Works within the dripline of protected vegetation (the Kauri) would also be a Discretionary Activity.
 - This wall therefore would be an unauthorised structure, and will require resource consent. I have referred the matter to our Field Services team for follow up.
2. The site is less than 1500m², and the cottage does not share a common wall of 3m or more with the main dwelling. Consequently no cooking facilities will be able to be provided within the cottage, as conversion to a Minor Household Unit would require further consent as a Non-Complying Activity.

Yours faithfully,

Kyle Balderston
Resource Planner



25/05/2004

*** 31 Victory Rd ***

Karl Hitchens
C/- Versatile Buildings Ltd
18 Henderson Valley Road
Henderson
WAITAKERE CITY

Dear Sir/Madam

**DETERMINATION OF INCOMPLETE APPLICATION IN ACCORDANCE WITH
SECTION 88(3) OF THE RESOURCE MANAGEMENT ACT 1991**

Re: Resource Consent Application: RMA 20041124
Proposal: To build a cottage
Site Address: 31 Victory Road, Henderson

I acknowledge lodgement of your resource consent application dated 24/05/04.

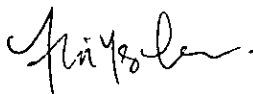
The information you have provided with the application is not sufficient to enable an adequate assessment of your proposal, its effect(s) on the environment and the way in which any adverse effects on the environment may be avoided and/or mitigated. Therefore, in accordance with Section 88(3) of the Resource Management Act 1991 your application has been rejected for the following reasons:

1. This site is on Stability Sensitive (refer to attached information), therefore please provide geotechnical assessment reports from appropriately qualified engineers (four copies) when re-submitting your application.
2. Please note that the Council has also attached to this letter all papers associated with your application and the cheque of \$1463. The Council has retained no copies of your application.

In accordance with the Resource Management Act 1991, the processing of your application cannot proceed until this information is received.

If you have any queries regarding the above, please contact Helen Wan of Counter Services.

Yours faithfully



Helen Wan
Planner, Counter Services
Phone 836 8000 ext 8163

25/05/2004

Karl Hitchens
C/- Versatile Buildings Ltd
18 Henderson Valley Road
Henderson
WAITAKERE CITY

Dear Sir/Madam

**DETERMINATION OF INCOMPLETE APPLICATION IN ACCORDANCE WITH
SECTION 88(3) OF THE RESOURCE MANAGEMENT ACT 1991**

Re: Resource Consent Application: RMA 20041124
Proposal: To build a cottage
Site Address: 31 Victory Road, Henderson

I acknowledge lodgement of your resource consent application dated 24/05/04.

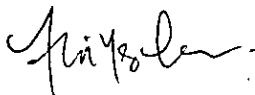
The information you have provided with the application is not sufficient to enable an adequate assessment of your proposal, its effect(s) on the environment and the way in which any adverse effects on the environment may be avoided and/or mitigated. Therefore, in accordance with Section 88(3) of the Resource Management Act 1991 your application has been rejected for the following reasons:

1. This site is on Stability Sensitive (refer to attached information), therefore please provide geotechnical assessment reports from appropriately qualified engineers (four copies) when re-submitting your application.
2. Please note that the Council has also attached to this letter all papers associated with your application and the cheque of \$1463. The Council has retained no copies of your application.

In accordance with the Resource Management Act 1991, the processing of your application cannot proceed until this information is received.

If you have any queries regarding the above, please contact Helen Wan of Counter Services.

Yours faithfully



Helen Wan
Planner, Counter Services
Phone 836 8000 ext 8163

**APPLICATION FOR RESOURCE CONSENT FOR A
LAND USE CONSENT FOR KARL HITCHENS AT
31 VICTORY ROAD, LAINGHOLM, WAITAKERE CITY.**

LEGAL DESCRIPTION

LOT: 644
DP: 32446
CT: NA1069/48

ZONED

HUMAN ENVIRONMENT: Bush Living
NATURAL ENVIRONMENT: General Natural

LOCALITY AND DESCRIPTION OF ENVIRONMENT

The property lies on the western side of Victory Road, situated within the bush living environment of the Waitakere Ranges.

The site has a rectangular shape with the existing house almost centralized on the site. The existing concrete driveway is perpendicular to Victory Road with a large turning bay to the north. No further extensions will be necessary to the driveway. There are the usual gardens, lawn and vegetation surrounding the existing house which compliments the scrub bush on the northern boundary to where the proposed cottage will be sited. The left and rear of the section is fenced with partial fencing on the right.

PROPOSED DEVELOPMENT

Versatile Buildings Ltd, on behalf of our client propose to build a 9.0 x 6.0m cottage at 31 Victory Road, Lanigholm, Waitakere. The proposed cottage will be sited 0.8m from the northern boundary, next closest boundary being the eastern at 10.3m.

The cottage will comprise of the following details:

- 9.0 x 6.0m
- 54m² floor area
- 2.4 stud height
- 4.8m approximate overall height to apex.

SERVICES

SANITARY SEWER

The council Sanitary Sewer connection for the existing house is at the eastern side of the property. The same connection will be utilized for the proposed cottage

STORM-WATER

As the site is not connected to a council Storm-water system, a minimum sized water tank of 2600L will be installed to limit the amount of run off from the cottage.

EARTHWORKS

~~There will be approximately <1m³ of earthworks outside the building platform to be removed from the site to level the area for the proposed cottage.~~

WATER/POWER/TELEPHONE

These services are provided at the road frontage.

LAND USE APPLICATION

The application is for a non complying use to construct a 54m² cottage on a 944m² site.

This Land Use application fails to comply with 'The Waitakere District plan as follows

- **Proposed cottage will exceed the height in relation to boundary control.**
- **Earthworks outside of the building platform and within 1m of the boundary**
- **Proposed garage will be sited 0.8m from the boundary. Planning rules require building to be setback 3m from the boundary**
- **Building coverage of 18.3% (Exceeds control of 10%)**
- **Impermeable surfaces (buildings, driveways etc) of 28.4% exceed maximum of 15% for sites not connected to council storm water system.**

OVERALL ASSESSMENT

Versatile Building Ltd believe that the overall effects of the proposed cottage will have minimal effects on the surrounding environment as a result of the new proposal. In effect the new 9.0 x 6.0m cottage will replace a 9.0 x 6.0m carport of its current position.

The disposal of storm water will be in a safe manner and will not have a negative impact on the surrounding area. The vegetation and tress will remain and visual impact will be minor. There may be additional traffic created as a result of the cottage, but Victory Road is an adequate road of sufficient width and construction to cope with any minor influx.

Given the existing fenced and developed nature of the property, the environment will essentially be unchanged by the proposed cottage and accordingly, physical domination of adjoining sites will be avoided.

The effects of the proposed land use will be minimal and the proposal provides a suitable site in accordance with the Policies and Objectives of the Plan.

In terms of the criteria it is considered that the proposal be able to satisfy the desired outcomes for development within the environment.

Resource Consent Application Form



Waitakere City Council
Te Tatao o Waitakere

(Under Section 88 of the Resource Management Act 1991)

Send to: The Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

Office use only:

Receipt Date: _____
Initials: fl.w
GEMs Number: 2004/1124
Date By: _____
Deposit Paid: _____

1. Applicant Details

1.1 Applicant: Karl Hitchens

Note: Agents acting on behalf of the applicant please do not put your name here.

1.2 Please tick the appropriate box

I am: The Owner Occupier
 Lessee Prospective Purchaser of the property

*24/5/04
Counters*

1.3 The type of Resource Consent sought is: (box)

Land Use Consent Subdivision Consent Certificate of Compliance

1.4 Description of proposed activity and reasons for the application. List rules infringed:
(Please note that this is not your assessment of effect as required in Section 4.)

Build a 9.0 x 6.0m cottage. Proposed cottage will infringe the following
planning rules:

- Earthworks outside of building platform and within 1m of boundary
(to build concrete block base for proposed cottage)
- Proposed cottage will exceed Height in relation to boundary
control - north boundary
- Proposed cottage will be sited within 3m yard control (0.8m from
side/north boundary)
- Building coverage exceeds 10% control (coverage = 18.3%)
- Impermeable surface of 28.4% exceeds 15% control

(Please provide a full description of your proposal. Please describe and quantify each infringement of the District Plan rules, e.g. build a new dwelling on a site less than 450 m², infringe the HIRB control from the western boundary.)

If necessary provide further details on an attached sheet or describe fully on the assessment of effects report.

1.5 Names and addresses of owners and occupiers of the property (if other than the applicant):

Owner(s): _____

Occupier(s): _____

2.0 Location Details

2.1 Address of property: 31 Victory Road, Laingholm

2.2 Legal description: Lot: 644 DP: 32446 CT: NA1069/48

2.3 Type of Human Environment: Bush Living

2.4 Type of Natural Environment: General Natural / Protected

2.5 Building Consent Application number (if applicable): _____

3.0 Additional Consents

3.1 The following additional Resource Consents are / are not (delete one) required and have / have not (delete one) been applied for: (✓ box)

- Water Permit
- Land Use Consent (e.g. earthworks)
- Building Consent
- Discharge Permit
- Coastal Permit
- ARC Consent
- Subdivision Consent

_____ WCC-SPW number and RMA number

ABA: _____

Date of application: _____ Council: Waitakere City Council

4.0 Assessment of Effects

Provide an assessment of effects in accordance with the Fourth Schedule of the Act. (Describe the effect of the proposal on the environment (including neighbouring properties) and measures incorporated into the proposed activity to reduce effects to an acceptable level). For guidance on possible effects that may apply to your proposal, see the relevant District Plan Assessment Criteria for Resource Consents. Examples of adverse effects may include location, and design of buildings, visual impacts, shading, flooding, erosion, instability, changes to contours, removal or alteration of landform and vegetation, traffic generation and parking impacts, noise, odour and contamination, hazardous facilities. You may need to get specialist consultant advice, e.g. geotechnical, flooding engineer, traffic consultant.

Note that for complex applications, specialist reports will be required.

5.0 Attachments

Attach all the additional information required to be included with this application. (Refer to the Resource Consent Application Check Sheet - Land Use and Subdivision, for a guide to the information to be submitted with your application.) List attachments:

- 6 x Plans (producer statement)
- 6 x CT's
- 6 x Environmental Assessments
- 6 x Engineer's Reports
- 6 x Neighbour Written consent

6.0 Subdivision Application


* As this is an application for subdivision consent, attach information that is sufficient to adequately define:

- (a) the position of all new boundaries; and
- (b) † the areas of all new allotments; and
- (c) the locations and areas of new reserves to be created, including any esplanade reserves and esplanade strips; and
- (d) the locations and areas of any existing esplanade reserves, esplanade strips and access strips; and
- (e) the locations and areas of land below mean high water springs of the sea, or of any part of the bed of a river or lake, to be vested in the Crown or local authority under Section 237A of the Resource Management Act 1991; and
- (f) the locations and areas of land to be set aside as new roads.
- (g) Show existing and new easements.
- (h) If the subdivision is to be staged, define the stages.

* Delete if this is not an application for a subdivision consent.

† Delete if the subdivision involves a cross-lease, company lease or unit plan.

7.0 Authorisation

Signature of Applicant/Authorised Agent: 

Print name of Applicant/Authorised Agent: KARL HITCHERS

If the named applicant is a company/trust please state your position/title and contact details: _____

I have authority to bind the company/trust: (Signature) _____

(Please attach a copy of the Authorising Documents for company/trusts)

Agent's (authorised to sign on behalf of Applicant) name and address: _____

Phone Number: Business: _____ Home: _____

Mobile: _____ Fax: _____

Email: _____

Address for service/correspondence (if different from above):

Versatile Buildings Ltd

18 Henderson Valley Road, Henderson

Phone Number: Business: 836 6200 Home: _____


Mobile: _____ Fax: 836 6220

Email: _____

8.0 Additional Application Requirements (please ✓ box)

- 8.1 Is the site contaminated or have there been chemical sprays stored or used on the site? (If yes, a contamination assessment may be required.) Yes No
- 8.2 Is there hazardous substances on the site? (If yes, provide a Hazard Facilities Screening Procedure.) Yes No
- 8.3 Has there been hazardous substances previously on the site? (If yes, provide a contamination assessment.) Yes No
- 8.4 Is there a locked gate or security system restricting access by Council staff? Yes No
- 8.5 Do you have a dog on the property that might worry the inspecting Council staff? Yes No
- 8.6 The processing of your Resource Consent will require a visit to the subject site by our planning staff. Please indicate (✓ box) whether you agree to our staff visiting the property or not.

As land owner and with the consent of any occupiers, I agree to Council staff visiting the site(s) which is the subject of this application, for the purpose of assessing this application.

Land owner/s signature/s : 

Note: If our planning staff are unable to carry out a site visit then they will not be able to process your application.

9.0 Payment Details

- A minimum base and monitoring fee payment is required on lodgement of all applications.
- 9.2 Processing fees additional to the minimum base fee may be incurred if an application requires a hearing and/or any specialist inputs such as those related to drainage, infrastructure, landscape and visual amenity, traffic and parking matters and geotechnical issues. If the application is publicly notified and required a hearing the minimum hearing fee is to be paid before the hearing.
- 9.3 Such additional fees may be invoiced during or at the end of the application process, in accordance with Section 36 of the Resource Management Act 1991.
- 9.4 All fees (other than the minimum fee) shall be paid in full without set-off or deduction of any kind within 14 days of the date of the invoice or prior to the issue of the Resource Consent, whichever is the sooner.
- 9.5 The applicant shall further pay to the Waitakere City Council all costs and expenses (including costs on a solicitor/client basis and debt collector's cost) incurred in the enforcing or attempting to enforce these terms and conditions or in seeking payment of all fees.
- 9.6 Where you fail to make payment of any amount on the due date, Waitakere City Council may in addition require you to compensate it by making payment of interest as liquidated damages on the amount due from the due date for payment until the date of actual payment at a rate equal to the current overdraft interest rate Waitakere City Council has with its principal registered bank.

9.7 Name and address for accounts: Mr Karl Hitchens C/- Versatile Buildings Ltd
18 Henderson Valley Road, Henderson

Phone Number: Business: 836 6200 Home: _____
 Mobile: _____ Fax: 836 6220
 Email: _____
 GST number: _____

9.8 Minimum fee \$ 920-00 and monitoring fee \$ 178-00

This application **will not** be accepted by Council unless all the above required and appropriate information is provided (including the completed check sheet).

Please contact the Call Centre 839-0400 with any queries regarding this form.

- please allow adequate time for an initial review and site inspection (approx. 2 weeks) before you make enquiries concerning the progress of the processing of this application.
- please note your application may be rejected by council (within 5 working days) under section 88 of the resource management act if the information provided is inadequate.

Resource Management Fees (*does not include all fees)

Appendix A

All fees below unless otherwise specified are minimum fees only. Where the actual cost exceeds the minimum fee, the applicant will be charged the additional cost at the hourly rates indicated in the attached schedule.

Non-Notified Applications

Complex applications (e.g., Medium Density, significant discretionary and non complying activities) - as determined by the Manager: Resource Consents	\$4000
Normal - multi infringements and discretionary (noncomplex)	\$ 920
Single infringement (controlled activity / limited discretionary)	\$ 600
Minor applications (minor earthworks less than 300m ² and 2 nd driveway)	\$ 295
Applications solely relating to heritage protection proposals, and trees (all areas)	No Charge
Combined landuse and subdivision	\$ 600 plus subdivision deposit

Note: In addition to the above, other technical disciplines will also be charged out at their hourly rates.

Notified Land Use Consents

Only one potentially affected part (does not include hearing costs)	\$ 4000
Landuse/Subdivision (does not include hearing cost)	\$ 7000
Complex (as determined by the Manager: Resource Cosent e.g. Density) Housing, Larger subdivision (does not include hearing)	\$10000
Applications solely relating to tree proposals deposit	\$ 1500
Hearings for staff, elected members, commissioner or consultant costs deposit	\$ 1500
S94 determination hearing costs deposit	\$ 1500

Note: In addition to the above, other technical disciplines will also be charged out at their hourly rates.

Certificates of Compliance

Land use COC - simple	\$ 385
- complex*	\$ 850
Sale of Liquor COC	\$ 178
Sale of liquor COC (existing use complex*)	\$ 850
Sale of liquor COC (existing use simple)	\$ 356

***Note:** As determined by the Manager: Resource Consents

Note: In addition to the above, other technical disciplines will also be charged out at their hourly rates.

Monitoring

All Land Use Consents will incur a base charge for monitoring:

Additions, Alterations, Accessory buildings, Signs, Earthworks < 300m ³ , Outline plans (schools)	\$ 178
Dwellings, Minor units, Earthworks > 300m ³ , Outline plans (other)	\$ 246
Involving Earthworks >300m ³ pre construction inspection	\$ 134
Multi-unit developments	\$ 246 per 3 units
Non-residential activities	\$ 410

Pre Lodgement

Pre-lodgement site visit	\$ 141
Pre-lodgement meeting and associated work (In addition, other disciplines may have involvement in these site visits/meetings and shall be charged out at their current hourly rate as available in this schedule).	\$ 94 hr (Planner)

Miscellaneous

Cancellation or review of conditions	\$625
Extension of Land Use Consent (s125 and s126)	\$625
Determination of existing use rights (complex*)	\$850
Determination of existing use rights (simple)	\$356
Site visit	Actual hourly rate
Request for consent check LIM's/CCC	\$134
Planning Cert under Land Settlement Promotion Act	
Per Certificate of Title	\$134
Planning Certificate for a Vehicle Sale Licence	\$134

***Note:** As determined by the Manager: Resource Consents

Note: In addition to the above, other technical disciplines will also be charged out at their hourly rates.

Hard Copy Information

Actual Hours - charged at \$ 68 /hr
 Plus any copying cost

Subdivision Fees

Type of Application	Minimum Processing Fees
Minor Boundary Adjustments / Amended Cross Leases	\$ 450
2 Lot Freehold, Major Boundary Adjustment; 1st Stage Cross Lease and 2 Unit Titles	\$ 920
3-10 Lot Subdivisions - freehold / unit titles	\$1000
11-20 Lot Subdivisions - freehold / unit titles	\$1600
21 or more Lot Subdivisions - freehold / unit titles	\$2750
2nd Stage Cross-Lease, Unit Title Certificates, Converting crosslease to freehold	\$ 450
Rights-of-Way	\$ 365
Variation of Conditions (s.122)	\$ 625
Reapprovals / Plan Amendments	\$ 350
Survey Plan Processing	\$ 223
Sec 224 Processing	\$ 267
Engineering Plan Approvals	\$ 141
Amalgamation of CT's	\$ 280
Other, including miscellaneous certificates, easement surrender	\$ 223

- Note:**
- (1) Other disciplines external to Consent Services have involvement in subdivision consents and will be charged out at their current hourly rate over and above the fees listed above.
 - (2) Any engineering plan approvals and works supervision required in respect of the above will be charged out at their current hourly rate.

Extra Fees

Where Council costs exceed specified minimum fee, the applicant will be charged additional costs calculated at the scheduled rate for that role. Other disciplines have involvement in these consents and will be separately charged out at their current hourly rate.



DISTRIBUTION LIST

DATE RECEIVED: 2/6/2004

ALLOCATED TO: Kyle on 2/16/2004

REJECT BY: / /2004

ALLOCATED BY:

REPORT BY: / /2004

ADDRESS: 31 Victory Rd, Lairingholm

RMA / SPW: 20041124

SUMMARY OF INFRINGEMENTS:

To build a cottage - earthworks, H2B

T/L COMMENTS:
 Stability sensitive
 Check OHRB + neighbors consub.
 Site < 1500? ∴ MATU not permitted.
 Vehicle parking? Turning?
 3m yard, bog coverage & imp. surface

Department	Tick If Taken by Consultant	Comments.
Ecowater 3/6/04 SK	✓	
Transport Assets		
Parks		
Consultancy Services (Geo tech / Major Earthworks)	✓	Sent to Guy Law 8/6. received
Service Management		
Urban Design \ Landscape		
Strategic Projects		
Protected Vegetation		
Ecology (Vegetation / Earthworks)		
Field (Noise, Env. Health)		
Field Inspector/Resource Planner		
Plumbing & Drainage		
Shared Driveways		
Building Control (Fire)		
Contamination Expert		
QV Valuations		
DLR/Transit NZ		
Other (Property, Built Heritage...)		

FEES \$ 1098

CHQ ATTACHED/CHQ TO CASHIERS

HUMAN ENVIRONMENT Bush living


NATURAL AREA General Natural/Protected

Site Visit Checklist of Potential Effects

RMA No. 20041124 Date _____ Planner Kyle

Site Address 31 Victory Road, Lamington

Proposed Activity and Infringements Yards, HRTB, Building (garage), E/works
Impasim.

Effect	de minimis /minor/ more than minor/	Comments// Affected Parties/ Extent of Effect
EFFECTS ON WATER QUALITY AND QUANTITY		
Clarity, quantity, flow, natural character, flooding potential, contaminant runoff, soil/sediment runoff/damage to riparian margins, erosion, aquatic ecosystems and habitats, alteration of natural water levels, health and any other relevant matters.		adjacent to open watercourse / swamp area wandering / woody right bank runoff to tank then to watercourse - over ground / flow dispersal
EFFECTS ON NATIVE VEGETATION AND FAUNA HABITAT		
Root coverage and disturbance, stock damage, undergrowth regeneration, edge effect- exposure to wind, light, weeds, pests, bush and habitat fragmentation, loss of extent and range of linkages between fauna habitats, loss of bio diversity, quality and resilience and healthiness of the ecosystem, variety and range of species, Green Network- resilience, bio diversity and integrity, cumulative effects of additional clearance, significant/ outstanding vegetation /specimen and any other relevant matters.		* check veg affected by trenching for S/S + slw. systems. Current location of shed etc surrounded by veg - potential for accidental damage Replanting / weed control filter of installed
EFFECTS ON SOIL AND LANDFORM		
<ul style="list-style-type: none"> • Special soils, soil loss, reduction in life supporting capacity, degradation of soil structure • Leachates, contamination by sprays/fertilisers/, health of soil • compaction, erosion, slippage, natural hazards, subsidence stability -on site and adjoining sites, flooding, landform and any other relevant matters • soil and sediment runoff 	<div style="text-align: center;">  </div>	* check boundary slope / water course geotech report supplied conditioning required minor E/works
EFFECTS ON AIR		

Effect	de minimis / minor / more than minor	Comments / Affected Parties / Extent of Effect
Ambient quality- local and global, spray drift and any other relevant matters, dust		
EFFECTS ON ECOSYSTEM STABILITY		
Variety and Extent of Species, quality of air, soils and water, isolation/ecological linkages, edge effect, cumulative effects and any other relevant matters.	den	weed removal program required
EFFECTS ON NATURAL CHARACTER OF COAST AND MARGINS OF LAKES, RIVERS AND WETLANDS		
Form, structural integrity, quality and quantity - water and vegetative cover, degradation of natural character, natural actions, natural processes altered, modification/ alteration of interfaces between land and water and any other relevant matters.	den	* adjacent to swamp. already modified replanting should be undertaken
EFFECTS ON AMENITY VALUES, HEALTH AND SAFETY- LANDSCAPES, LOCAL AREAS AND NEIGHBOURHOOD CHARACTER		
<ul style="list-style-type: none"> overshadowing, loss of daylight and sunlight, scale, form, height, bulk, physical dominance, privacy visual amenity, streetscape, sense of place, neighbourhood character, amenity values, views, on site amenity, adequate open space landscape modification, encroachment above ridgelines, landscape values, views connectivity, accessibility, surveillance, safety, public access Noise, odour, dust, vibration, radio frequency, electromagnetic radiation, lighting, glare-cumulative lighting effects, hazardous materials, natural hazards, air base operations Infrastructure capacity & availability Traffic generation, on-street parking, driver safety, pedestrian safety, roading capacity and roading network, traffic noise, vehicle movements, access and driveway manoeuvring, driveway width & gradient Any other relevant matters. 	<ul style="list-style-type: none"> den nil. nil OK 	<ul style="list-style-type: none"> * check screening no effect on neighboring property - separated + overlooking swampy area - check location of tanks 3 carparks? easily always reverse to victory road

Resource Consent Application Checklist

General Natural Area

RMA No:
 Planner
 Street Address:
 Site Area:
 Human Environment:
 Landscape Elements:
 Other Natural Areas:
 Hazardous Facility / Contaminated Site:
 Heritage Item:
 Natural Hazards:
 Road Hierarchy:
 General Noise Rule: - Major Road:
 Map Reference:

Designations/Scheduled Site
 Site File checked Yes/No

Rule No.	Provision	OK/Permitted	Not OK	Comments/Activity	N/A
1	Located within other Natural Areas	✓		PNA not allocated water tank only	
2	Vegetation Clearance	?		frenching & check onsite drip lines	
3	Earthworks Check area, volume, cut, fill and slope of earthworks in context with site and Natural Area:		X	within 1m boundary	

Check retaining structure (height/ surcharge loading etc):					
Check erosion and sediment control measures:					
Do you need to refer the application to an earthworks engineer?					
4 Impervious Surfaces		X		discharge to open watercourse 20-4% (mostly existing)	
5 Establishment of Vegetation					X

Resource Consent Application Check Sheet

Land Use & Subdivision Consent



This form is intended as a guide to help you to ensure that all the required information is submitted with your application. Please complete this checklist and submit it with your application. Provide the level of information appropriate to the scale of the proposal.

Address: 31 Victory Rd.
 Applicant: Carl Hitchens
 Application number RMA: 2004/1124 SPW: _____

1.0 Application form, plans and documentation

The information in this stage 1.1 to 1.8 is mandatory - failure to provide could mean your application is rejected. Other information should be provided relevant to this application.

Tick (Place a tick ✓ in the box if the item applies and has been addressed in the application)	Reject tick
<input checked="" type="checkbox"/> 1.1 Completed Application form, signed, name for Accounts supplied and, in the case of a trust or company, documentation to prove authority to sign provided.	<input type="checkbox"/>
<input checked="" type="checkbox"/> 1.2 6 copies* (unbound) of application form, supporting information, assessment of effects, neighbours consents, certificates of title, supplementary reports and plans (refer 1.8 below) provided. <small>* (8 unbound copies required for a subdivision/LUC combo, 4 unbound copies for a Certificate of Compliance application, and only 4 copies of experts reports (eg, Geotech Traffic))</small>	<input type="checkbox"/>
<input checked="" type="checkbox"/> 1.3 1 set of plans reduced to A3 or A4.	<input type="checkbox"/>
<input checked="" type="checkbox"/> 1.4 Current copy of Certificate of Title (not more than 6 months old).	<input type="checkbox"/>
<input checked="" type="checkbox"/> 1.5 Full description of proposed activity.	<input type="checkbox"/>
<input checked="" type="checkbox"/> 1.6 Full list of District Plan rules infringed and detail of infringement(s) quantified.	<input type="checkbox"/>
<input checked="" type="checkbox"/> 1.7 A further assessment of any effects (AEE) that the proposed activity may have on the environment in accordance with the Fourth Schedule of the Resource Management Act (available from Council on request). (Note: For a Controlled Activity an assessment is not necessary unless specifically required in the District Plan.)	<input type="checkbox"/>
<input type="checkbox"/> 1.8 Accurate plans A2 (A2 preferred size A3 are ok) sized to a recognised metric scale of 1:100 or 1:200. All plans should clearly show the name of the person and company that prepared the plans; address of property; the date that the plans were drawn and a unique plan reference or identification number and/or variation number where relevant. In addition the plans must provide (as appropriate) the following detail:	<input type="checkbox"/>
<input checked="" type="checkbox"/> (a) north point (please orientate your plans so that north is at the top of the page)	<input type="checkbox"/>
<input checked="" type="checkbox"/> (b) boundary dimensions and bearings, adjoining legal descriptions and street numbers, metric scale bar	<input type="checkbox"/>
<input checked="" type="checkbox"/> (c) road boundary and name or names if it is a corner site	<input type="checkbox"/>
<input checked="" type="checkbox"/> (d) location of vehicle crossing and any other street features such as footpaths, bus stops, on-street parking bays, median islands, street trees, street lights, power poles, traffic signals, signs, cesspits, underground services, public drains, edge of road carriageway and any designated road widening, fire hydrants, power and telephone plinths	<input type="checkbox"/>
<input checked="" type="checkbox"/> (e) position and dimensions of existing buildings (including existing floor levels), eaves, height above driveways	<input type="checkbox"/>
<input checked="" type="checkbox"/> (f) position and dimensions of proposed buildings, decks, etc., with dimensions to boundaries	<input type="checkbox"/>
<input checked="" type="checkbox"/> (g) floor plans	<input type="checkbox"/>
<input checked="" type="checkbox"/> (h) full elevations of all building faces (Note: These should show proposed building materials and finished floor roof levels.)	<input type="checkbox"/>
<input checked="" type="checkbox"/> (i) position of existing and proposed drainage (public and private wastewater and stormwater) and water meters	<input type="checkbox"/>

- Tick** (Place a tick ✓ in the box if the item applies and has been addressed in the application) **Reject tick**
- (j) position of existing and/or proposed vehicle access drive(s), clearance to the eaves of a building, passing bays, including details of drive construction, gradients, driveway inside turning radius, complying vehicle turning curves and (if the gradient is greater than 20%) also provide long and cross sections of the drive, define the width available between the building and boundary.
 - (k) position of existing and/or proposed car parks, including details of car park construction, gradients, dimensions, complying vehicle turning curves.
 - (l) any required outdoor space (provide dimensions and area in square metres)
 - (m) datum point for contours and/or spot heights (to LINZ Datum where practical)
 - (n) datum point, contours and spot heights
 - (o) show height in relation to boundary planes on each building elevation and if necessary provide calculations (a brochure is available to assist with interpreting the height/boundary rules)
 - N/A* (p) show any flood plain and/or overland flowpaths, stormwater outlets to kerb
 - L1* (q) total site area and/or net unit areas (in square metres)
 - (r) total building coverage (in square metres)
 - 14* (s) amount and location of impermeable (paved) surfaces
 - (t) amount and location of earthworks (show areas of cut and fill plus provide long and cross sections, including for the building platform). Show where the earth is going.
 - N/A* (u) retaining walls details and finished ground and top of wall levels, slope of battering
 - N/A* (v) location and species of existing trees plus the extent of their driplines and height. Define the boundary/ies of natural areas/trees.
 - N/A* (w) location of any proposed tree or vegetation clearance, including area of clearance in square metres
 - N/A* (x) location and type of proposed landscape planting including a planting plan and maintenance schedule
 - N/A* (y) location and type of existing and proposed fences
 - N/A* (z) if the site adjoins a water course or body of tidal water, please identify Mean High Water Springs mark and/or the width of the bed of the water course and the extent of any Riparian Margin or Local Purpose (Esplanade) Reserve
 - N/A* (z a) table of JOAL shares (subdivision only)
 - N/A* (z b) show existing and proposed easements
 - 1.9 For any tree/vegetation clearance or works which would affect any protected vegetation, please provide a report from an appropriately qualified and recognised Arborist or tree specialist.
 - N/A* 1.10 For any residential development within a Community or Working Environment please provide a report from a suitably qualified acoustic engineer to show that the part of the building to be used for the residential activity would be constructed to achieve a noise level inside any habitable room not exceeding 35 dBA L10 between the hours of 10 pm - 7 am.
 - 1.11 Optional photographs supporting the application, e.g. of the site, dwellings and buildings.
 - 1.12 Colour photographs and second-hand building inspection report for relocated building application.
 - 1.13 Written consent of affected parties (e.g. neighbours), this includes both owners and occupiers of properties and buildings where this is required. (Note: Where a property is in joint ownership, such as husband and wife, all landowners must sign. A copy of the plans shall also be signed by the owners and occupiers.)
 - N/A* 1.14 Copy of Transit NZ approval when site has access from a State Highway or Limited Access Road (eg SH16 or Hobsonville Road)
 - 1.15 Base application processing fee and monitoring fees.

2.0 City Wide Rules *Stability Sensitive*

In addition to the above please check whether any of the following City Wide Rules also apply to the application and if they do apply ensure that they are addressed in the application and appropriate detail is provided.

- 2.1 Natural Hazards - does the site contain unconsolidated fill or is it subject to inundation or in a stability sensitive area? If yes please provide stormwater catchment analysis reports, flood report and/or geotechnical assessment reports from appropriately qualified engineers. Provide proposed mitigation.
- N/A* 2.2 Hazardous facilities screening - does the proposal involve a process, use, transportation or storage of chemicals or other hazardous materials? If the answer is yes then please complete the Hazardous Facilities checklists and screening procedure.

Tick (Place a tick ✓ in the box if the item applies and has been addressed in the application)

Reject
tick

- 2.3 Contaminated sites - is the site contaminated or have chemicals and sprays been used or stored on the site? E.g. has the site been used for an orchard, market garden, vineyard, glasshouse, service station or industrial site? If so please provide a report from an appropriately qualified consultant. This report should provide an assessment of the levels of contamination plus recommendations about remediation.
- 2.4 General noise - is the site on a high noise route or within the Airbase noise control area? If yes, provide an acoustic report.
- 2.5 Heritage - does the proposal involve alterations, additions, relocation or the destruction of a heritage item?

3.0 Natural Area Rules

In addition to the above please check whether any of the following Natural Area Rules also apply to the application and if they do apply ensure that they are addressed in the application and appropriate detail is provided.

- 3.1 Any tree clearance/alteration/works within the dripline of protected vegetation.
- 3.2 Any earthworks (provide details as specified in 1.8(r) above).
- 3.3 Impermeable surfaces – reticulated site.
- 3.4 Impermeable surfaces – non-reticulated site – provide a stormwater report from a suitably experienced engineer.
- 3.5 Development/Building within a riparian margin – may require an ecologist report and landscape mitigation report/plan.

4.0 Human Environment Rules

In addition to the above please check whether any of the following Human Environment Rules also apply to the application and if they do apply ensure that they are addressed in the application and appropriate detail is provided.

- 4.1 Sensitive ridge – visual assessment.
- 4.2 Density – visual assessment, infrastructure, traffic.
- 4.3 Maximum height – provide visual assessment and shading diagram.
- 4.4 Height/boundary – shading diagrams showing impact on adjoining properties.
- 4.5 Yards.
- 4.6 Building Coverage.
- 4.7 Privacy/outlook – show position of adjoining houses.
- 4.8 Outdoor space.
- 4.9 Parking and access – potential traffic, show vehicle tracking curves.
- 4.10 Shared drive – driveway details.
- 4.11 New vehicle crossing in Waitakere Ranges, Bush Living or Coastal Villages.
- 4.12 Second vehicle crossing.
- 4.13 Non-residential activity.
- 4.14 Traffic generation – traffic consultant report.
- 4.15 Noise – acoustic report.
- 4.16 Air discharge.
- 4.17 Odour/glare – lighting expert's assessment.
- 4.18 Signs – visual assessment.
- 4.19 Relocated building – second-hand building report.
- 4.20 Infrastructure – engineering report.
- 4.21 Community Environment Building design rules.
- 4.22 Landscaping – land plan.
- 4.23 Residential Activities in Working or Community Environments.
- 4.24 Medium Density Housing – traffic, visual, planners reports, landscaping, etc.

5.0 Parks/Reserves Management Plans

If the proposal is for building or works on land identified as Open Space Environment, is there an approved Parks Management Plan and does the proposal comply with that Plan or otherwise does the applicant have Community Board approval?

Tick (Place a tick ✓ in the box if the item applies and has been addressed in the application)

Reject tick

- 5.1 Activity/development is provided for in an approved Management Plan.
- 5.2 Community Board approval.

6.0 Road Reserves

Does the proposal involve earthworks, retaining, building or other work on the legal road? If yes, has approval been obtained from Transport Assets and is that approval attached?

- 6.1 Transport Assets approval.

7.0 Other Public Asset

Where a public infrastructure is either under or over the site, show the details on the plans. Provide asset owner/s approval where necessary.

Office Use Only – Customer Services Advisor

(a) Plans and information received:

Signature: _____ GEMs Code: _____ Date: _____

(b) Pursuant to Section 88 of the Resource Management Act 1991, the following additional information is required before the application number RMA 2004/1124 can be accepted for processing:

Item(s) #: 2.1 - please provide Geo-tech report x4 copies

Thanks!

Signature: [Signature] GEMs Code: TCL Date: 25/5/04

Checking Time: _____

(c) Application, along with the additional information as required by (b) above, accepted:

Signature: [Signature] GEMs Code: TCL Date: 2/6/04

Checking Time: _____

Give One Copy To The Applicant And Place One On The Application File

Resource Consent Application Check Sheet

Land Use & Subdivision Consent



This form is intended as a guide to help you to ensure that all the required information is submitted with your application. Please complete this checklist and submit it with your application. Provide the level of information appropriate to the scale of the proposal.

Address: 31 Victory Rd.

Applicant: Carl Hitchens

Application number RMA: 2004/1124 SPW: _____

1.0 Application form, plans and documentation

The information in this stage 1.1 to 1.8 is mandatory - failure to provide could mean your application is rejected. Other information should be provided relevant to this application.

Tick (Place a tick ✓ in the box if the item applies and has been addressed in the application)

Reject tick

- | | | | |
|-------------------------------------|-----|--|--------------------------|
| <input checked="" type="checkbox"/> | 1.1 | Completed Application form, signed, name for Accounts supplied and, in the case of a trust or company, documentation to prove authority to sign provided. | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | 1.2 | 6 copies* (unbound) of application form, supporting information, assessment of effects, neighbours consents, certificates of title, supplementary reports and plans (refer 1.8 below) provided.
* (8 unbound copies required for a subdivision/LUC combo, 4 unbound copies for a Certificate of Compliance application, and only 4 copies of experts reports (eg, Geotech Traffic)) | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | 1.3 | 1 set of plans reduced to A3 or A4. | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | 1.4 | Current copy of Certificate of Title (not more than 6 months old). | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | 1.5 | Full description of proposed activity. | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | 1.6 | Full list of District Plan rules infringed and detail of infringement(s) quantified. | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | 1.7 | A further assessment of any effects (AEE) that the proposed activity may have on the environment in accordance with the Fourth Schedule of the Resource Management Act (available from Council on request). (Note: For a Controlled Activity an assessment is not necessary unless specifically required in the District Plan.) | <input type="checkbox"/> |
| <input type="checkbox"/> | 1.8 | Accurate plans A2 (A2 preferred size A3 are ok) sized to a recognised metric scale of 1:100 or 1:200. All plans should clearly show the name of the person and company that prepared the plans; address of property; the date that the plans were drawn and a unique plan reference or identification number and/or variation number where relevant. In addition the plans must provide (as appropriate) the following detail: | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (a) | north point (please orientate your plans so that north is at the top of the page) | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (b) | boundary dimensions and bearings, adjoining legal descriptions and street numbers, metric scale bar | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (c) | road boundary and name or names if it is a corner site | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (d) | location of vehicle crossing and any other street features such as footpaths, bus stops, on-street parking bays, median islands, street trees, street lights, power poles, traffic signals, signs, cesspits, underground services, public drains, edge of road carriageway and any designated road widening, fire hydrants, power and telephone plinths | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (e) | position and dimensions of existing buildings (including existing floor levels), eaves, height above driveways | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (f) | position and dimensions of proposed buildings, decks, etc., with dimensions to boundaries | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (g) | floor plans | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (h) | full elevations of all building faces (Note: These should show proposed building materials and finished floor roof levels.) | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | (i) | position of existing and proposed drainage (public and private wastewater and stormwater) and water meters | <input type="checkbox"/> |

- Tick** (Place a tick ✓ in the box if the item applies and has been addressed in the application) **Reject tick**
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 - (z b) show existing and proposed easements
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 - N/A* 1.14 Copy of Transit NZ approval when site has access from a State Highway or Limited Access Road (eg SH16 or Hobsonville Road)
 - 1.15 Base application processing fee and monitoring fees.

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Tick (Place a tick ✓ in the box if the item applies and has been addressed in the application)

Reject tick

- 2.3 Contaminated sites - is the site contaminated or have chemicals and sprays been used or stored on the site? E.g. has the site been used for an orchard, market garden, vineyard, glasshouse, service station or industrial site? If so please provide a report from an appropriately qualified consultant. This report should provide an assessment of the levels of contamination plus recommendations about remediation.
- 2.4 General noise - is the site on a high noise route or within the Airbase noise control area? If yes, provide an acoustic report.
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- 3.3 Impermeable surfaces – reticulated site.
- 3.4 Impermeable surfaces – non-reticulated site – provide a stormwater report from a suitably experienced engineer.
- 3.5 Development/Building within a riparian margin – may require an ecologist report and landscape mitigation report/plan.

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In addition to the above please check whether any of the following Human Environment Rules also apply to the application and if they do apply ensure that they are addressed in the application and appropriate detail is provided.

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- 4.2 Density – visual assessment, infrastructure, traffic.
- 4.3 Maximum height – provide visual assessment and shading diagram.
- 4.4 Height/boundary – shading diagrams showing impact on adjoining properties.
- 4.5 Yards.
- 4.6 Building Coverage.
- 4.7 Privacy/outlook – show position of adjoining houses.
- 4.8 Outdoor space.
- 4.9 Parking and access – potential traffic, show vehicle tracking curves.
- 4.10 Shared drive – driveway details.
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- 4.20 Infrastructure – engineering report.
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- 4.22 Landscaping – land plan.
- 4.23 Residential Activities in Working or Community Environments.
- 4.24 Medium Density Housing – traffic, visual, planners reports, landscaping, etc.

5.0 Parks/Reserves Management Plans

If the proposal is for building or works on land identified as Open Space Environment, is there an approved Parks Management Plan and does the proposal comply with that Plan or otherwise does the applicant have Community Board approval?

Tick (Place a tick ✓ in the box if the item applies and has been addressed in the application)

Reject tick

- 5.1 Activity/development is provided for in an approved Management Plan.
- 5.2 Community Board approval.

6.0 Road Reserves

Does the proposal involve earthworks, retaining, building or other work on the legal road? If yes, has approval been obtained from Transport Assets and is that approval attached?

- 6.1 Transport Assets approval.

7.0 Other Public Asset

Where a public infrastructure is either under or over the site, show the details on the plans. Provide asset owner/s approval where necessary.

Office Use Only – Customer Services Advisor

- (a) Plans and information received:

Signature: _____ GEMs Code: _____ Date: _____

- (b) Pursuant to Section 88 of the Resource Management Act 1991, the following additional information is required before the application number RMA 2004/124 can be accepted for processing:

Item(s) #: 2.1 - please provide Geo-tech report x 4 copies

Thanks!

Signature: [Signature] GEMs Code: TCL Date: 25/5/04

Checking Time: _____

- (c) Application, along with the additional information as required by (b) above, accepted:

Signature: _____ GEMs Code: _____ Date: _____

Checking Time: _____

Give One Copy To The Applicant And Place One On The Application File

Affected Persons Approval Form



Send to: The Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

RMA number: _____

I/we the undersigned as owner/s and/or occupier/s (delete as appropriate) hereby certify that I/we have seen the resource consent application for the property at:

31 Victory Road, Titirangi

To undertake the following proposal: build a 9.0 x 6.0m cottage

Plan(s) and Report(s) (Title, Dates and Numbers): Site Plan and Elevations
dated 18/3/2004

Rules not complied with or nature of infringement: (applicant to list these) _____

I/we have read and understood the notes printed on the back of this form (Please tick)

And give our written approval to the above proposal.

1. Signature of affected person: G. Wither

Please print name: GLADYS WITHER

Address: 29 VICTORY RD, LAINGHOLM

Phone number: 817 5431 Date: 17/4/04

2. Signature of affected person: _____

Please print name: _____

Address: _____

Phone number: _____ Date: _____

Notes to the Applicant

- (1) The written approval must be obtained from all registered owners, and occupiers of a property if the registered owners do not live at the property.
- (2) A copy of the development plans which clearly show the extent of the infringement(s) / non-compliance must also be signed, dated and attached to this approval form. Where possible, please obtain the affected persons approvals on one set of plans.
- (3) You may wish to assist your neighbours to understand the effects of the proposed activity by providing scale models or marking out the size and height of the development on the property.
- (4) The Council may impose conditions on any approved resource consent to avoid, remedy or mitigate any adverse effects generated by the proposed activity.
- (5) The Council will not accept approval forms with conditions. Any Affected Person Approval form that has been submitted to the Council with conditions will be returned to the applicant for resolution.
- (6) Please ensure that the name and address of each affected person is clearly printed in the appropriate space on this form.

Notes to the Affected Person

- (1) Under Section 104(3)(b) of the Resource Management Act 1991 when you give your approval to an application, the Council cannot then take into consideration any actual or potential effects of the proposed activity on you.
- (2) Please ensure you sign a copy of the development plans, as well as this form. The plan(s) should clearly identify the extent of any infringements(s) / non-compliance. You should also clearly state your name, date and address on the plan(s).
- (3) You are under no obligation to sign this approval form or any development plans for the proposed activity. You do not have to provide a reason for not giving your approval.
- (4) If you do not give your approval to an application, the Council may publicly notify the application, which will provide you with an opportunity to make a submission to the Council on the application and attend a Council hearing to speak in support of your submission.
- (5) It is acceptable for you to request that you be given some time to consider the application before you decide whether or not to give your approval to the proposed activity as there is no timeframe in which you must decide whether to give your approval or not.
- (6) You may withdraw your written approval at any time, and you do not have to provide a reason for doing so, however you need to withdraw your approval prior to the Council making a decision on the application.
- (7) If you are signing on behalf of a trust or company, please provide additional written evidence that you have signing authority on behalf of the trust or company.
- (8) If you have any concerns about giving your approval, or need help understanding the proposed activity, please feel free to contact the Planning Helpdesk at the number below.
- (9) You may also obtain your own professional advice on the application before deciding whether or not to give your approval to the proposed activity.

If you have any further queries please contact the Planning Helpdesk at Waitakere City Council phone 839 0400.



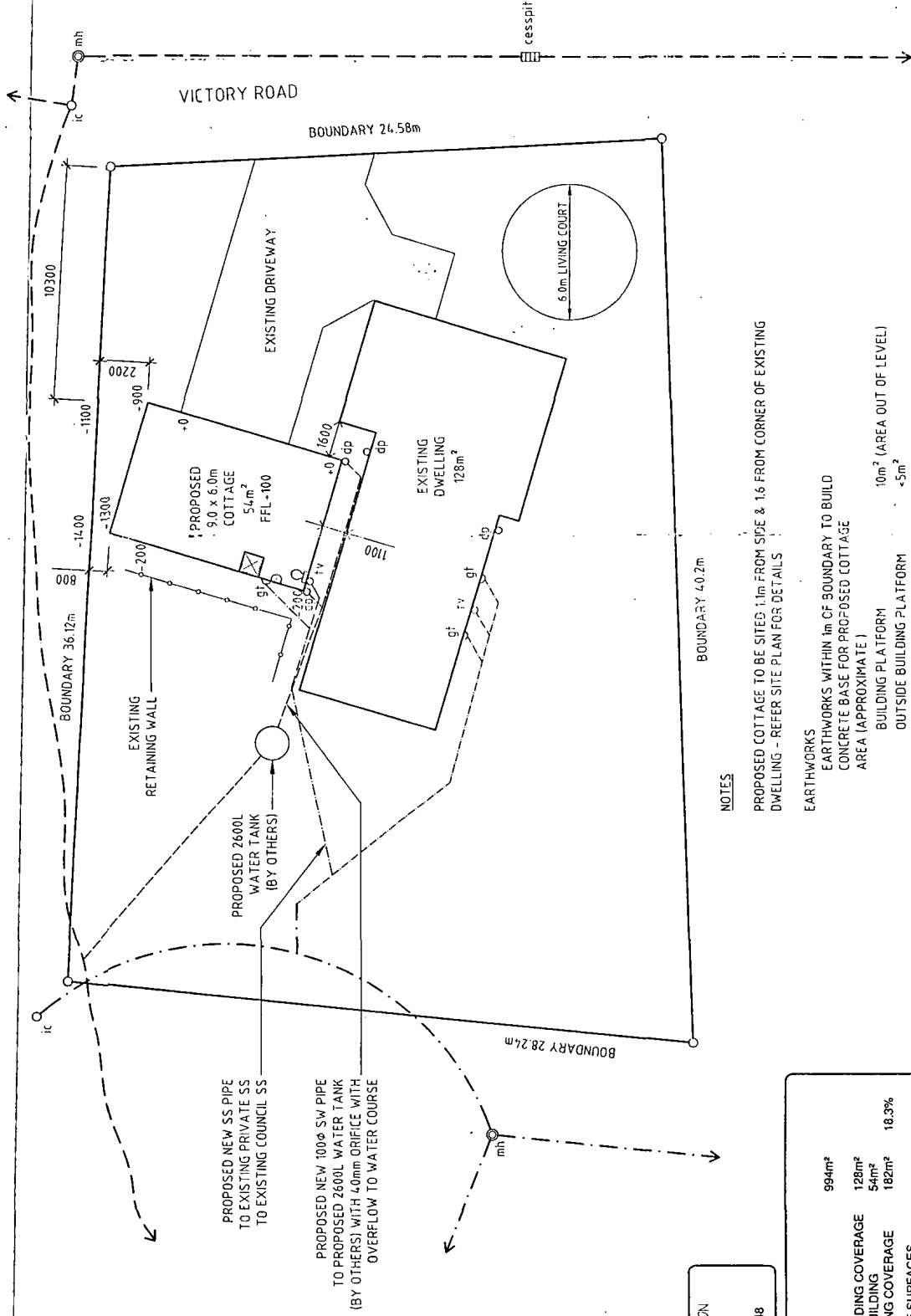
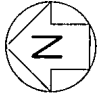
Waitakere City Council
Te Taiāo o Waitakere

Attachment - Affected Persons Approval Form

List of planning rule infringements

- Earthworks outside of building platform and within 1m of boundary
- Proposed cottage will exceed height in relation to boundary rule (north boundary)
- Proposed cottage will be sited within 3m yard control
- Building coverage of 18.3% exceeds control of 10%
- Impermeable surfaces of 28.4% exceeds control of 15%

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED



LEGEND

---	EXISTING COUNCIL SW
---	EXISTING COUNCIL SS
---	EXISTING PRIVATE SW
---	EXISTING PRIVATE SS
○	MANHOLE
○	DP
D	DOWNPIPE
g	GULLY TRAP
○	TERMINAL VENT

Note: Construction to comply with NZS 2604 (1999) and the New Zealand Building Code 1992. WINDOW SIZES INDICATE ROUGH OPENING.

SCALE: 1:200
 DATE: 18/03/2004
 DRAWN: [blank]
 VERSATILE
 SHEET: [blank]
 OF: [blank]

NOTES
 PROPOSED COTTAGE TO BE SITES 1.1m FROM SIDE & 1.6 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS

EARTHWORKS
 EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE AREA (APPROXIMATE)
 BUILDING PLATFORM
 OUTSIDE BUILDING PLATFORM 10m² (AREA OUT OF LEVEL)
 VOLUME (APPROXIMATE - BASED ON LEVELS) 45m³
 BUILDING PLATFORM 6m³
 OUTSIDE BUILDING PLATFORM 41m³

LEGAL DESCRIPTION

LOT	644
DP	3246
CT	NA1069/48

TOWN PLANNING

SITE AREA	994m²
EXISTING BUILDING COVERAGE	128m²
PROPOSED BUILDING COVERAGE	54m²
TOTAL BUILDING COVERAGE	182m²
IMPERMEABLE SURFACES (DRIVEWAY, BUILDINGS, DECKS)	282m²
PERMEABLE AREA	712m²
	71.6%

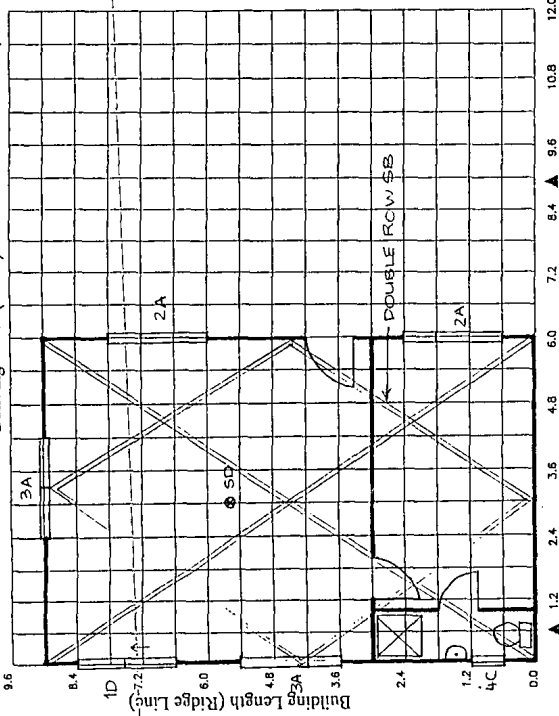
PROJECT TITLE
 K HITCHENS
 31 VICTORY ROAD, LAINGHOLM
 DRAWING TITLE
 SITE PLAN

VERSATILE BUILDINGS
 HEAD OFFICE:
 112 WATERLOO ROAD
 PH: (03) 348-8704
 FAX: (03) 348-9093

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

FLOOR PLAN

Building Width (Gable)



BUILDING DATA

Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000.

Copyright: These drawings must not be reproduced without express permission of Versatile Buildings Ltd.

Length	9.0m	Width	6.0m	Area	54.0m ²
STUD HEIGHT	2.1m	2.4m	2.7m	3.0m	
CLADDING	Versatiled	Superclad	<input checked="" type="checkbox"/>	Other	
WIND ZONE	Low	Med	High	V-High	<input checked="" type="checkbox"/>
FLOOR	Concrete	<input checked="" type="checkbox"/>	Timber	<input type="checkbox"/>	
ROOF PITCH	15°	20°	25°	other	

NOTES:
Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000.

SPECIFICATIONS

GENERAL
All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Ltd/Mitek Producer Statement for Design, dated July, 2002. VB2000 Series

FOUNDATIONS
Concrete floor shall be 20mPa, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine cauged and treated to T.P.A. specification H1.2 or C.F. MGP 10 framing. Studs shall be 90x35 frames at 300 c/s and housed into plates. Lay 'Supercourse' D.P.C. under all plates.
Refer nail Producer Statement VB2000 Sheet 4 for timber grade options and specification.
Fix hardware in accordance with Producer Statement VB2000 Sheets 4 & 5.

ROOF FRAMING
Purins shall be 50mm x 45mm on edge at 1500 max c/s fixed to Gange nail 15 degree trusses
Fix purins, trusses and ridge braces as detailed in Producer Statement VB2000, Sheets 14 & 15
For racking ceiling (gibion roof) refer VB2000 page 13.

SIDE ENTRY OPENING LINTELS
LVL Beams size/span as per Producer statement VB2000 Sheet 4. Fixing details VB2000 Sheet 9

ROOFING
Shall be steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING
Fix in accordance with NZ 3604 & as wall bracing fixing specification

ROOF BRACING
For all buildings fix Lumberlok roof plane strap bracing in accordance VB2000 Producer Statement, Sheet 17
For 2.7 & 3.0m stud, refer VB2000 Sheet 8

WALL BRACING
Fix bracing per VB2000 Sheet 7, Bracing Panel locations and fixing refer: Wall Bracing; 600 Series, Feb '04 Ver 1.4

VERSATILE BUILDINGS
HEAD OFFICE:
112 WATERLOO ROAD
PH: (03) 348-8704
FAX: (03) 348-8933

PROPOSED GARAGE FOR:
K HITCHENS
31 Victory Road, Laingholm

COPYRIGHT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF VERSATILE BUILDINGS LTD.

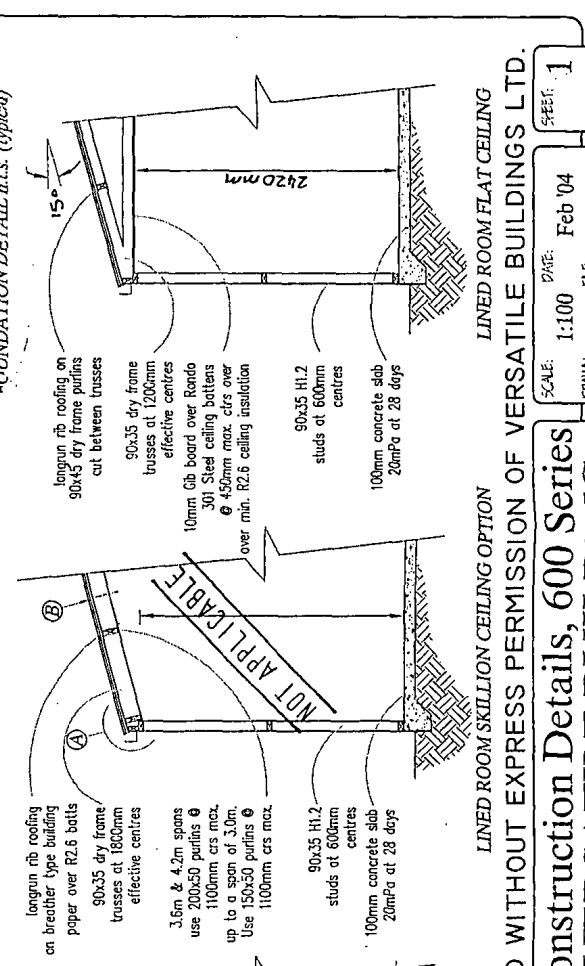
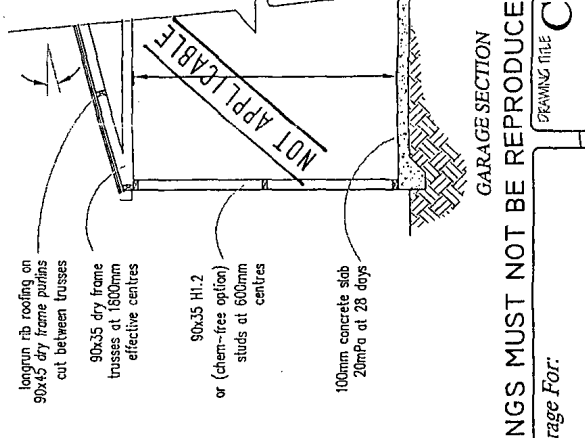
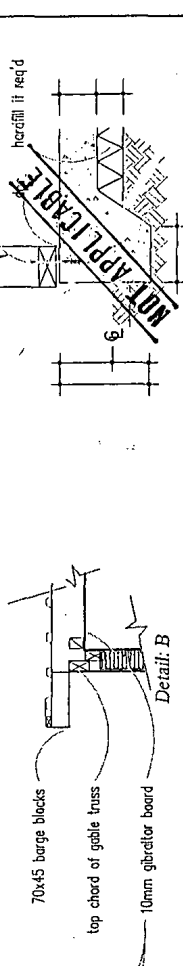
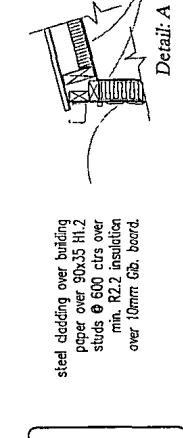
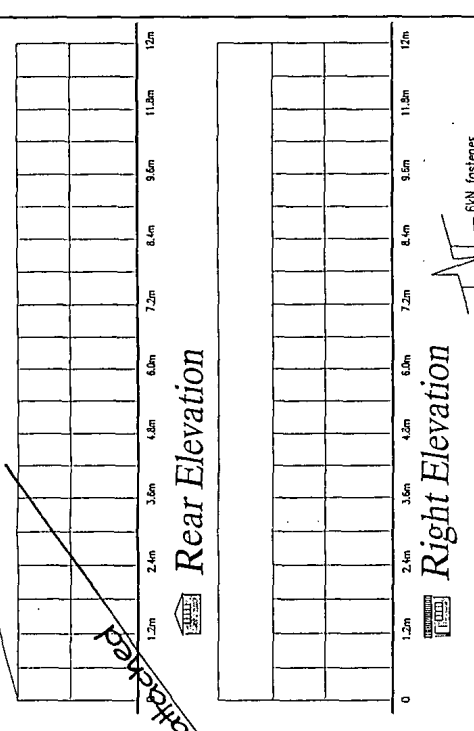
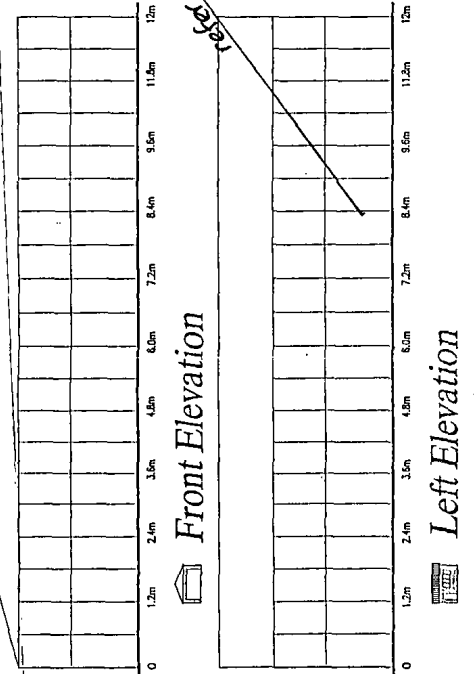
PROJECT FILE
K HITCHENS
31 Victory Road, Laingholm

LEGEND Plan

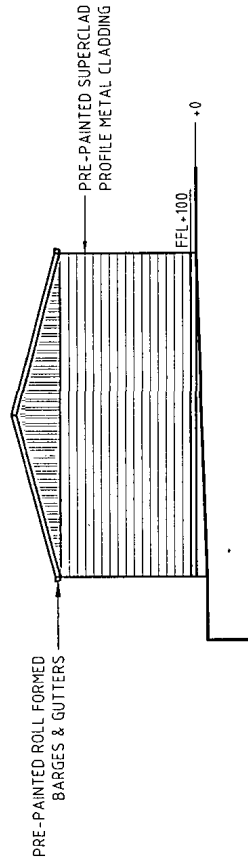
- S.D. SMOKE DETECTOR
- TILT DOOR
- FIXED WINDOWS
- SIDE DOOR
- ROOF BRACING
- SB=strip braces MB=multi brace

LEGEND Elevation

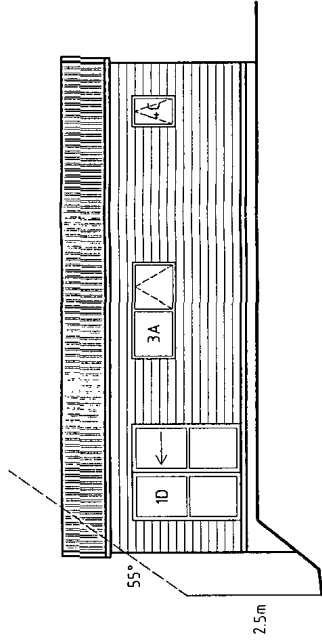
- TILT DOOR
- FIXED WINDOWS
- SIDE DOOR
- ROOF BRACING



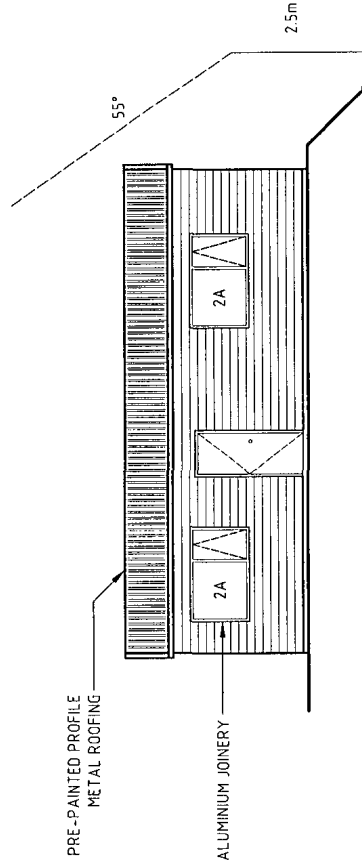
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED



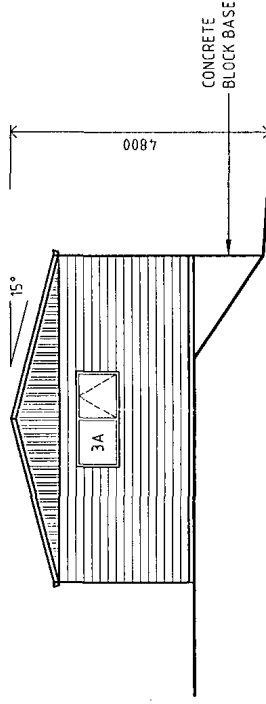
① FRONT ELEVATION



② SIDE ELEVATION



③ SIDE ELEVATION



④ REAR ELEVATION

Sign *g.w. lither*
Date 17/4/04

Notes: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 1992. WINDOW SIZES INDICATE SOLIKL OPENING.		SHEET:
SCALE: 1:100	DATE: 18/03/2004	OF:
DRAWN: [blank]	FILE: VERSATILE	

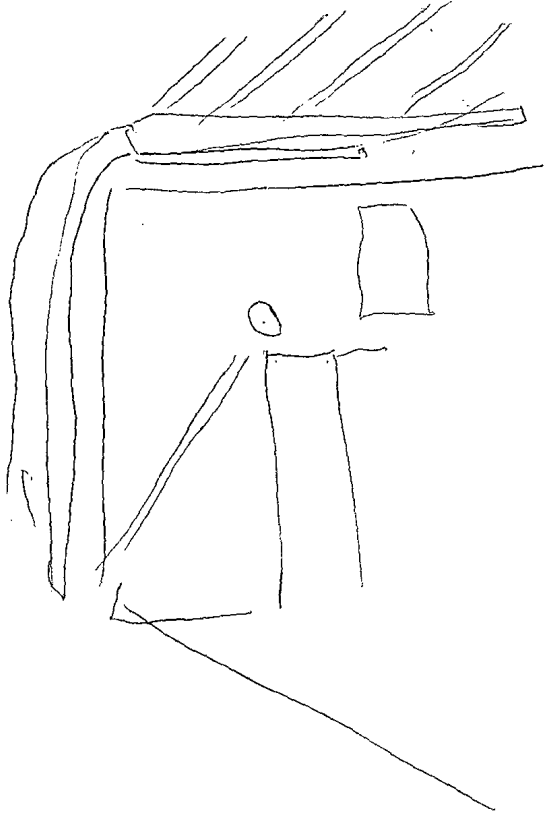
DRAWING TITLE

ELEVATIONS

PROJECT TITLE
K HITCHENS
31 VICTORY ROAD, LAINGHOLM

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD
PH: (03) 348-8704
FAX: (03) 348-9033



29/10/2004

KARL GARRY HITCHENS
31 VICTORY RD
LAINGHOLM
WAITAKERE CITY

Dear Sir/Madam

RE : RESOURCE CONSENT - RMA 20041124
ADDRESS : 31 VICTORY RD LAINGHOLM

Thank you for your Resource consent application lodged with Council on the 25/05/2004. This consent is now ready to be issued.

Payment of the additional fees and invoice(s) listed below and the collection of your Resource consent application consent are required within 14 days of this letter. If payment is made by cheque(s) to a value of more than \$3,000.00, there will be a five working day clearance period before the consent is issued.

The following invoice(s) for processing the application is/are outstanding (GST invoice(s) enclosed):

Invoice Number	Outstanding Amount
953783	\$326.50

Total Outstanding Amount (Application processing plus Fees):

\$326.50

Please note also that you must establish the activity within two years. If that does not happen the consent lapses and you may need to apply for an extension or a new consent.

Note that until payment is made and the consent picked up, no work is allowed to commence.

Yours faithfully



Marie Litchfield
PROCESS SUPPORT ASSISTANT

(Copy for your interest - Original sent to authorised representative)



Waitakere City Council
Te Taiao o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

29/10/2004

Private Bag 93109
Henderson
Waitakere City

KARL GARRY HITCHENS
C/- VERSATILE BUILDINGS LTD
18 HENDERSON VALLEY RD
HENDERSON
WAITAKERE CITY

Dear Sir/Madam

RE : RESOURCE CONSENT - RMA 20041124
ADDRESS : 31 VICTORY RD LAINGHOLM

Thank you for your Resource consent application lodged with Council on the 25/05/2004. This consent is now ready to be issued.

Payment of the additional fees and invoice(s) listed below and the collection of your Resource consent application consent are required within 14 days of this letter. If payment is made by cheque(s) to a value of more than \$3,000.00, there will be a five working day clearance period before the consent is issued.

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Note that until payment is made and the consent picked up, no work is allowed to commence.

Yours faithfully

Marie Litchfield

PROCESS SUPPORT ASSISTANT
(Copy sent to owner)

TAX INVOICE

Resource Consent Fees

GST Registration No
52-211-247



Civic Centre
6 Waipareira Ave
Waitakere City

Private Bag 93109
Henderson
Waitakere City

Telephone
09 839 0400

HITCHENS, KARL GARRY
C/- VERSATILE BUILDINGS LTD
18 HENDERSON VALLEY RD
HENDERSON
WAITAKERE CITY 1008

Date: 29/10/2004

Customer No: 736960

Invoice No: 953783

Application No: RMA 20041124

Owners Name: HITCHENS, KARL GARRY
Project Address: 31 VICTORY RD LAINGHOLM

Invoiced to Date: 1098.00

Fee Code	Description	Amount
TEC	Ecowater Processing Fees	227.50
TGO	Geotech processing	99.00

This account includes a total GST content of 36.27

Total To Pay \$ 326.50
Please Pay By 12/11/2004
or prior to uplift of consent whichever is the sooner.



Civic Centre
6 Waipareira Ave
Waitakere City

Private Bag 93109
Henderson
Waitakere City

Telephone
09 839 0400

Remittance Advice:

Please detach and return with payment.

Invoice Date : 29/10/2004

Customer No : 736960

Name : HITCHENS, KARL GARRY

Application : RMA 20041124

Allocation Type : C

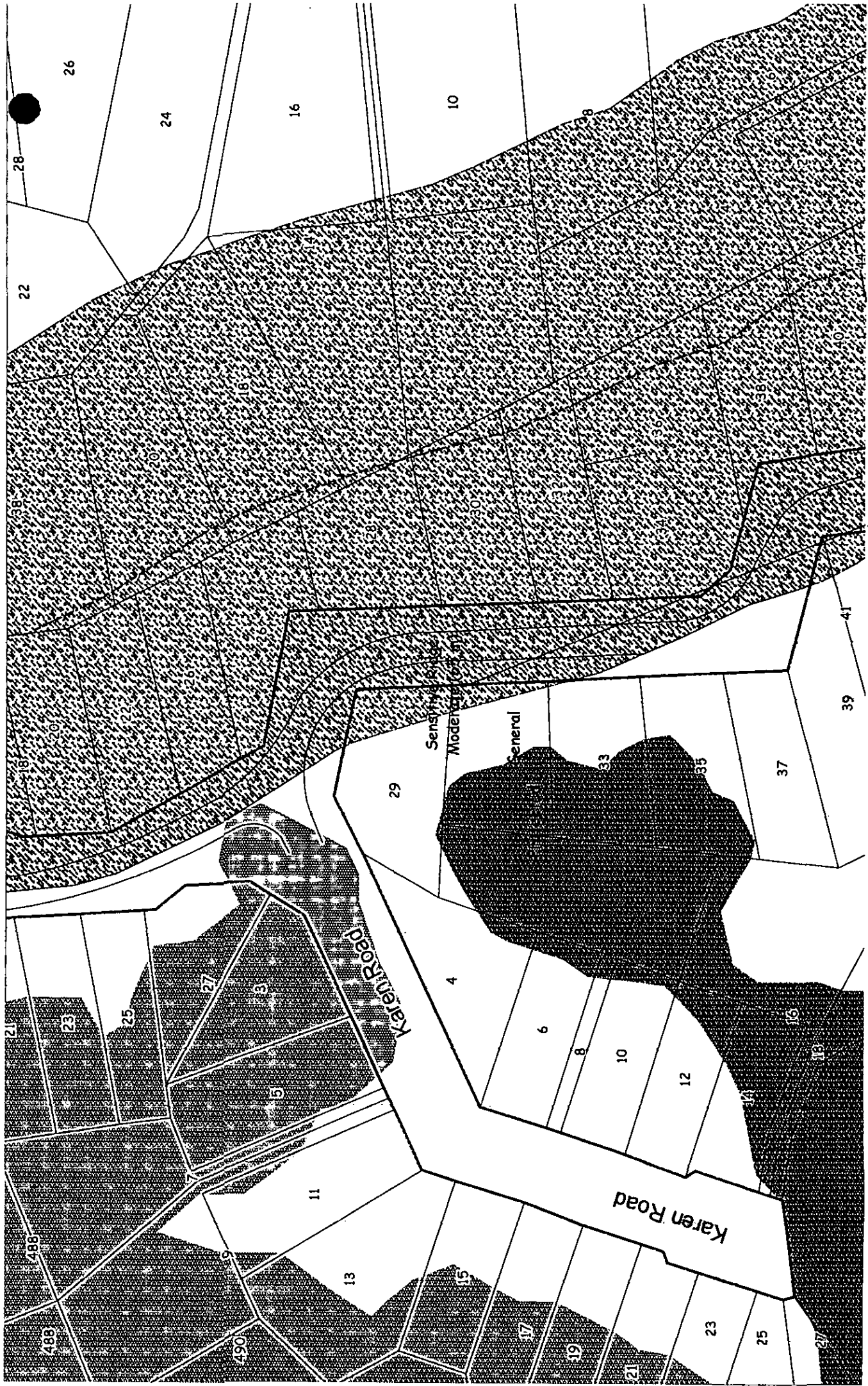
Customer Type : D

Ledger : RCON

Document Number : 953783

Total to Pay : \$ 326.50

Please Pay By : 12/11/2004



↑ NW



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Karen Road

Karen Road

Specialist Report - Geotechnical Review

Specialist: *Garry Law – Principal Law Associates Ltd.*

RMA No: 2004 1124

SPW No: -

Address: 31 Victory Rd

Applicant: *K Hitchens*

Request:

The request was not detailed but was taken as for:

- Details of further information needed from the applicant
- Comments
- Conditions and reasons for conditions

Proposal and Site Description:

The proposal is for a light frame sleepout to be built adjacent to an existing house.

The site is currently a carport and has been filled behind an existing retaining wall.

A block base is proposed to the northern side to extend the site in that direction. It will have a retaining function.

A geotechnical report has been received prepared by Soil and Rock Consultants, ref 03365, September 2003.

The writer has not visited the site.

Observations of the Geotechnical Reports submitted as part of the Application

The consultants drilled 1 auger hole in the site to a depth of 3.6 m with in-situ measurement of shear strength and observation of the ground water level.

A Scala penetrometer probe was advanced below the hole to 7.6 m depth to check for more competent material at depth.

- (a) The geology is recent alluvial deposits overlying Nihotupu Formation rocks. The latter do not seem to have been reached.
- (b) The hole was beyond the platform and had 0.5 m of fill which is believed to be non-engineered.
- (c) Soil strengths were relatively low.
- (d) The groundwater table depth was 1m.
- (e) The consultants do not consider the fill as competent and propose the foundations should be 300 mm into natural soils or 450 mm below finished ground level which ever is the greater. The influence zone of the present wall is to be avoided. A lower than standard allowable bearing capacity is proposed.
- (f) Recommendations are not made for the new retaining wall but are added here.
- (g) Observation of construction is proposed.

Conclusion and Recommendation

- The site is suitable for the development with appropriate conditions.

Conditions of Consent:

1. Foundations for the structure shall be designed to the capacity limits set in the report of Soil and Rock Consultants, ref 03365, September 2003, and be founded 300 mm into natural soils or 450 mm below finished ground level which ever is the greater and outside the influence zone of the existing retaining wall.
2. The retaining wall shall be designed for not less than at-rest earth pressures and to stay within the bearing capacity limits set for footings.
3. Exposed subgrades beneath slabs shall be protected from wetting or drying during construction.
4. An experienced geotechnical engineer familiar with the report of Soil and Rock Consultants, ref 03365, September 2003 and with the design shall be engaged to inspect the foundations and wall and shall provide the Council with a Producer Statement – Construction Review for this part of the work.

Signed *G Law*

Date 17 June 2004

Rochelle Killey

From: Garry Law [glaw@lawas.co.nz]
Sent: Thursday, 17 June 2004 3:35 p.m.
To: rochelle.killey@waitakere.govt.nz
Subject: 31 Victory Rd

report and invoice.

Law Associates Ltd

Engineering, Management and Cultural Resource Consultants

Garry Law
Principal

glaw@lawas.co.nz
www.lawas.co.nz

Law Associates Ltd
PO Box 87 311 Meadowbank
Auckland New Zealand
tel: 64 (0)9 520 2152
fax: 64 (0)9 520 2152
mobile: 64 (0)21 665 764

Signature powered by Plaxo

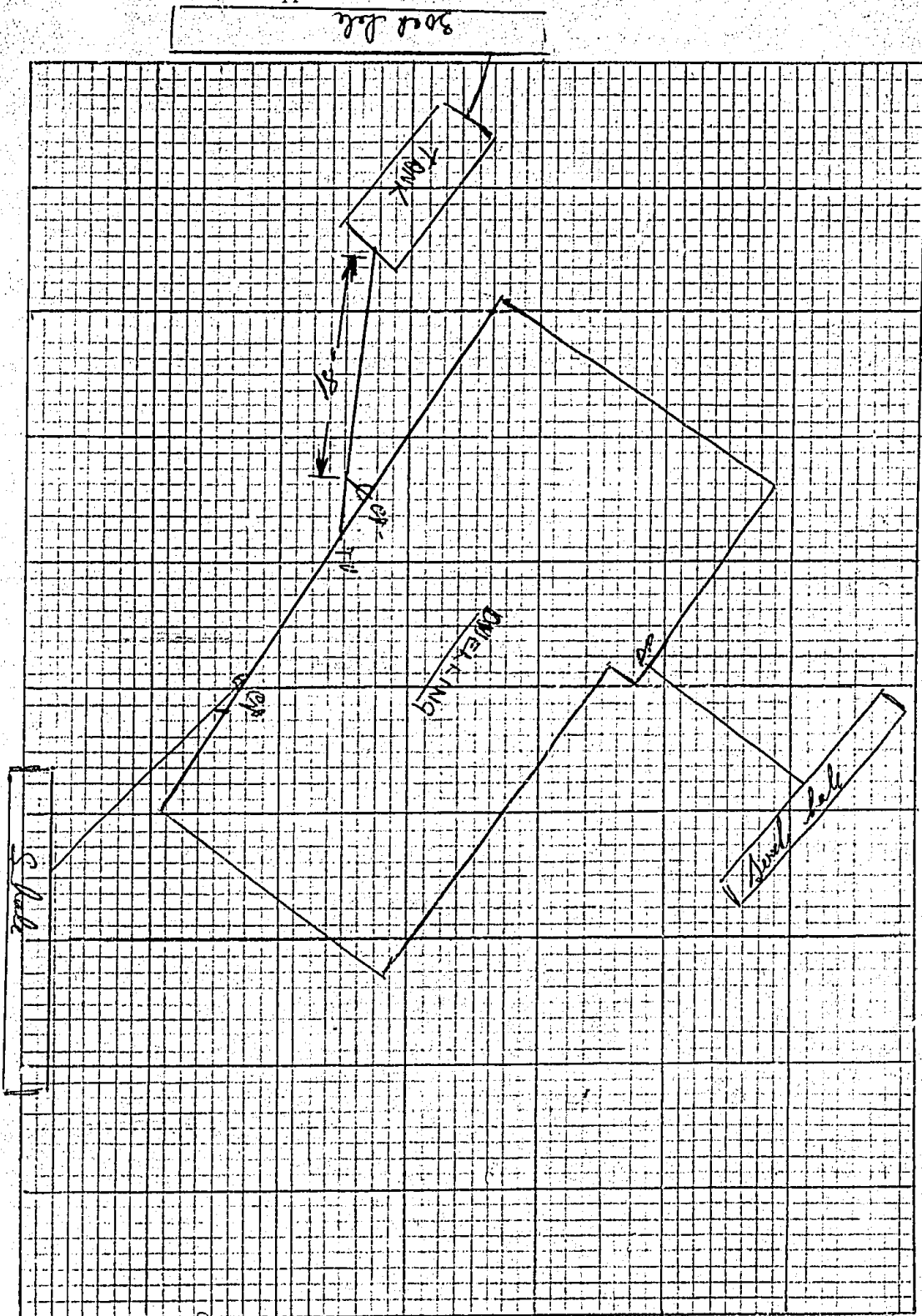
Add me to your address book

Want a signature like this?

31 Victory Rd

Lot 644
DP 32446

NOTE: For drainage work a scale plan in ink, showing street line, section boundaries, buildings in outline, lines of drains, inspection pipes, etc. MUST be supplied.



27/8/75 - Drainage permit No 1423
1506
SCALE 1/8th inch = 1 FOOT
2 FEET
1437

Lot 644, Victory Rd
Langholm
Mr & Mrs Grappin

12-Jan-2007

K G Hitchens and E J Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Dear Mr Mrs Hitchens

REQUISITION APPLYING TO GARDEN SHED AT THE REAR OF PROPERTY AT 31 VICTORY RD, LAINGHOLM.

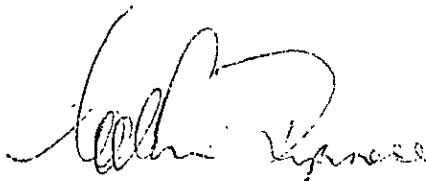
I refer to the visit of myself and my colleague, Rob McCrone, to your property yesterday afternoon, and to our subsequent phone conversation concerning the garden shed that you have repositioned in the rear corner of your property, at 31 Victory Rd.

As advised over the phone, we were unable to ascertain the exact location of the rear boundary of your property, given that there were no survey pegs in place/obvious. However, on the basis of where we think the boundary might be, the repositioned building breaches both the minimum 3 metre (rear) yard and the height in relation to boundary rules of the Bush Living Environment, being the classification applying to your land under the provisions of the City's District Plan. Our guess is that the building is only about a metre off the rear boundary, and exceeds the height in relation to boundary requirement for a western or easton boundary, by considerable amount.

Attached is a copy of a letter that I sent you on 31 August 2005 advising that a Requisition had been placed on your property. The purpose of this letter is to advise that even though you have repositioned the shed, Council is not satisfied that it is yet moved far enough off the rear boundary to comply with Rules 5 (Height in Relation to Boundary) and 6 (Yards) of the Bush Living Environment. For this reason, the Requisition will remain in place until such time as the survey pegs of your rear boundary have been identified or repegged by a registered surveyor, a follow up inspection made, and if necessary, appropriate action taken on your part to legalise/correct any non compliance.

Please do not hesitate to contact me on Extension 8618 if you have any queries.

Yours faithfully



Colin Diprose
Field Services (Resource Management)

Karl Hitchen left a message on my answer phone asking me to ring him - on 6221300.

Colin Dipse 30/11/06

hang to spk to Karl Hitchen at 8.50 a.m. No answer & no answer phone.

Colin Dipse 1.12.06

hang Karl Hitchen again at 9.25 a.m. Spoke to him this time. He said he accepts he's been slow at doing anything & will work to the 8 January date. What he'd like to do is once the new footings are in place, is slide the bracing across - if this isn't possible he'll have to dis-assemble it. Said I'll be back in contact in week commencing 8 January.

Colin Dipse 1.12.06

hang to speak to Kathryn Hamilton at 9.30 a.m. No answer & no answer phone.

Colin Dipse 1.12.06

Rec'd a phone call from Carl Hitchen - ph 6221300 to say he moved the shed last Sunday (7th). He said it's up quite high & would appreciate it if we could check this out before he concretes the posts in place. Said I'll try & do this in the next week.

Colin Dipse 8.1.07

Revisited with Rob McCrone. Noted that while the shed is new at least 3 metres off the common body with 33 Victory Rd (it's also complies with the height to body), it is very clearly, even though the rear body is not clearly defined, within the 3m rear yard (we estimated it's about 1.2m off rear yard) & fails to meet the height to body rule by some considerable margin. Came back to office - rang Carl. Suggested I leave the 'requisition' on our property file & leave as is unless we get a complaint. He accepted this. Said I'll confirm it in writing (P.S. Will need to alter wording of requisition to reflect changed locatⁿ. Colin Dipse 11.1.07)

28 November 2006

Colin Diprose, Field Services
Extension: 8618
Waitakere Central, 6 Henderson
Valley Road

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

GARDEN SHED IN REAR AND SIDE BOUNDARY OF PROPERTY LOCATED AT 31 VICTORY ROAD, LAINGHOLM

I refer to our telephone conversation of 16 April 2005, my letter of 18 April 2005, out telephone conversation of 22 April 2005, my letter of 17 May 2005, your telephone call of 19 May 2005, my letter of 31 August 2005, our telephone conversation of 16 January 2006, and our telephone conversation of 10 April 2006, all concerning the above matter.

The reason for this letter is to inform you that Council received another phone call last week from a resident in the area advising that the shed has still not been moved, notwithstanding your verbal (via the phone) undertakings on 19 May 2005 and 16 March 2006 that it will be moved. My notes from our 16 March conversation record the fact that you undertook to do this by the end of March, this year.

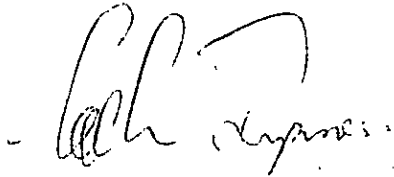
It is now some 20 months since this matter was first brought to your attention, and notwithstanding the consideration that Council has given to your personal circumstances at the time, you do not appear to have made any effort to comply with Rule 6 Yards of the Bush Living Environment which states that building must be set back a minimum of 3.0 metres from all site boundaries. For this reason, I must advise you that if the garden shed has not been relocated by Monday 8th January 2007, you will be served an Abatement Notice under Section 322 of the Resource Management Act 1991. If in turn you do not comply with this, you will face legal action/instant fine.

I would urge you to get the shed relocated by this date, as I am sure you do not want to spend money on legal costs/fine when it can so easily be avoided. Council certainly does not want to, but after 20 months, it feels that it has given you more than enough time in which to relocate the shed.

A follow up inspection will be carried out in the week commencing 15 January 2007.

Please do not hesitate to contact me if you have any queries in the meantime.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Colin Diprose'. The signature is written in a cursive style with a large initial 'C' and a long horizontal stroke extending to the right.

Colin Diprose
Field Services (Resource Management).

Rec'd a phone call from Kathryn Hamilton - ph 817 7005
querying if there's any progress re the neighbours (Karl
Mitchell) garden shed which is within the minimum 3
metre side of rear yards. I referred her to the last
conversations which I'd had with Karl Mitchell, where
he undertook to talk with his neighbours. Obviously he
hasn't. I said it's not a big issue, & was something which
I thought they could work out together, but I'll follow it
up with Karl. She said she'll also try to speak with him.

Colin Drose 15/11/06.

Rang & spoke to Karl Hitchen re the garden shed. He said he's aware it needs to be removed, or moved to a complying situation. He intends to do the latter by the end of summer (i.e. end March '06), but things have been delayed until now because following his broken collar bone in March, it did not heal properly & he had to have surgery on it in October. He's just now finished follow up physiotherapy. Karl said they've also had another baby.

Karl said he's spoken to the neighbour at the rear, but at my request said he'll speak to the owners of 33 Victory Rd & make sure both of them are happy re where he proposes to relocate it. He'll then do it by the end of March.

I then rang Dawnyn Hamilton back & advised her re the above. She thanked me for calling back & said she'll co-operate with Karl.

Colin Diprose 16-1-06.

Rang to speak to Karl Hitchen at 3:35 p.m. As he was with a customer the receptionist took my details & said she'll get him to phone me back.

Colin Diprose 10-4-06.

Karl Hitchen rang back. Said he's cleared the area where the building is to be repositioned to, but despite his undertaking that it would be moved by the end of summer, it hasn't happened - he again referred to the fact they've had another child & money's very tight. He however did accept that it has to be done & so will go & see both neighbours again. I said that the time may come when Council will be forced to "draw a line in the sand" & issue an infringement notice, which will only compound his current financial situation. He accepted this too. Said he'll contact both neighbours & get back to me.

Colin Diprose 10-4-06.

Francis O'Brien
Shanahan

Rang Raewyn Hamilton
8177005

re 31 Victory Rd

Rang her back at 12 noon.
No reply or answer ph. ~~CSI~~ 27/9

Karl Hitchens had broken collar bone

Rang again at 2.45 p.m. Spoke to Raewyn
- querying progress on Karl moving shed.
Advised her of my 31 Aug letter.

Raewyn Hamilton rang again to query what progress
has been made re moving the shed. Advised her of
my 31 Aug. '05 letter & said I'll need to follow this up &
get back to her. Colin Dwyer 13-1-06.

31 August 2005

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

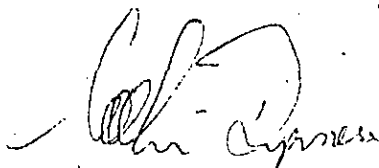
**GARDEN SHED IN REAR YARD OF PROPERTY LOCATED AT 31 VICTORY RD,
LAINGHOLM**

I refer to my visit to your property on 15 April 2005, our phone conversation of 16 April 2005, my letters of 18 April and 17 May 2005, and to our telephone conversations of 22 April and again on 19 May 2005 concerning the above matter.

It is now over 3 months since you advised me that you will relocate the garden shed in the rear of your property, rather than lodge a resource consent application. However, as at the time of writing this letter, I have not heard back from you as to whether or not this work has been carried out. In the meantime, I have placed another Requisition on our records (I note that a Requisition was placed on our records in 1999 for unauthorised building work relating to an interior stairwell, basement and rumpus room). This latter Requisition will be lifted only when the garden shed has been relocated to a complying location, or granted resource consent approval to remain where it is.

Both Requisitions will be made available for anyone doing a LIM or enquiring after your property at any time in the future.

Yours faithfully,



Colin Diprose
Field Services (Resource Management).

Rec'd a phone call from Karl Hitchens - ph 6310366
He said he's had a look around for the survey pegs, but
can't find them so has contacted surveyors who'll come &
redefine the bdy - he's also doing this because he wants to put
up a fence. He said's he's getting it done for "mates rates"
so cannot dictate exactly when this will be - shouldn't be
longer than 3-4 wks. Karl said that in the meantime he'll
remove the bamboo, in readiness for relocating the garden shed
- he said he'll definitely do this rather than apply for Resource Consent.
Once this has been done, he'll move the shed, but as he works 6
days a week, it will take time.

Colin Diprose 19.5.05.

17 May 2005

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

**GARDEN SHED IN REAR YARD OF PROPERTY LOCATED AT 31 VICTORY ROAD,
LAINGHOLM**

I refer to our telephone conversation of 16 April 2005, to my letter of 18 April 2005, and our telephone conversation of 22 April 2005 concerning the above matter.

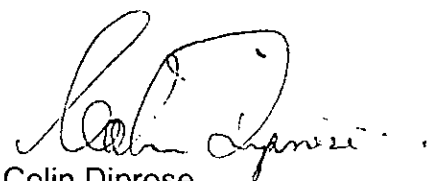
During the course of our most recent discussion, you indicated that you would endeavour to locate the relevant survey pegs at the rear of your property, and then talk to your neighbours at 33 Victory and 8 Karen Roads, to see if they are willing to give their written consent to allow the garden shed to remain where it is. You indicated that you would get back to me "next week re progress". That was now a month ago, and at the time of writing this, I have not heard back from you.

As I advised you in my earlier letter, a non notified resource consent would still be required, even if you are able to obtain the written consent of both neighbours.

Can you please advise me what progress you have made in respect of your neighbours. While Council is prepared give you a little more time in which to work through this matter with them, it is not prepared to let this matter go on indefinitely.

I look forward to hearing from you by the end of the week, if at all possible.

Yours faithfully,



Colin Diprose
Field Services (Resource Management).

Karl Hitchens rang in response to my letter. He said he'll talk with both of his neighbours, but would obviously like to choose the cheaper option of moving it. He pointed out that even if his neighbours sign the 'Affected Persons Form' he'll still have to apply for a retrospective Resource Consent to legalise its location - but at least he would know that neither of them would object & the application could be dealt with as a non notified application.

Karl went on to say that he broke his collar bone 5 weeks ago, so it would be 2-3 months before he could relocate the building, should this be necessary. He said he'll advise his neighbours accordingly.

It was left that Karl would spend some time trying to find the pegs & talking with his neighbours & will update me next week re progress.

Colin Dwyre 22.4.05.

Kaewyn Hamilton rang at 10.25 a.m. querying progress on this issue. In response, I said I had tried to ring her last Monday to give her an update, but no-one home & no answer phone. In response to my question she gave me another number - 827A264 where there is an answer phone. I then gave her a rundown as to where things are at. She accepted this.

Colin D. 26.4.05.

18 April 2005

Mr Karl Hitchens
31 Victory Rd
Laingholm
Waitakere City

Dear Karl

**GARDEN SHED IN REAR YARD OF PROPERTY LOCATED AT 31 VICTORY ROAD,
LAINGHOLM**

I refer to my site visit to your place last Friday afternoon, and to our subsequent telephone conversation.

As discussed with you, all buildings, which are defined as;

"means any structure or part of a structure, whether temporary or permanent, moveable or immovable, and includes additions to buildings"

must be located a minimum of 3 metres off all boundaries, in the Bush Living Environment, being the classification applying to your land under the provisions of the City's District Plan, unless the prior approval of Council has been obtained by way of Resource Consent approval.

As approval has not been obtained for the subject garden shed, there are two options open to you. One would be to relocate the building the required 3 metres off the side boundary with No. 33 Victory Rd, as well as the rear boundary. The other is to get the written consent of both the owners) of 33 Victory Rd as well as the owners at the rear (8 Karen Rd). I realize that I did not mention the fact that you would need the consent of the latter, when talking with you on Friday, but it would be required. Provided these written approvals could be obtained, your application could be processed as a non notified application. Otherwise, it would need to be dealt with as a notified application, a much more expensive and time consuming option.

There is one other rule I did not raise with you, but which may be applicable, and that is Rule 5, "Height in Relation to Boundaries". As you will see from the attached, this applies to all boundaries of a property. The starting point is 2.5 metres high on the boundary, From here, any building must fall within an angle of 35 degrees for the southern boundary, 45 degrees for the western and eastern boundaries, and 55 degrees for the northern. (See attached diagram). Once you have established exactly where the boundary is, you will then need to work out whether this rule can be met or not.

Also attached is a Resource Consent application form which will need to be completed and returned to Council with the Affected Persons Approval Form, the relevant plans, and a deposit of \$1100.

Can you please consider which of the two options you will pursue, and let me know by Monday next, if at all possible.

Thanks for your co-operation in this matter. Please do not hesitate to contact me if you need any further help in the meantime.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Colin Diprose', written in a cursive style.

Colin Diprose
Field Services (resource Management).

WAITAKERE CITY COUNCIL

ACTION REQUIRED BY SPE
COLIN DIPROSE

Pathways
4-90857

Request for Service

Enquiry Ref: RFS 337592
Priority: NORMAL

ENQUIRY FROM: B04 Bldg Complaint-finaled Consent

667980 RAEWYN HAMILTON

Address: 33 VICTORY RD
LAINGHOLM
WAITAKERE CITY 1007

817 7005 or 8274264 where there is an answer phone.

Dogs: 2

OWNER:
Name: 0

Karl & Erika Hitchens - ph 8168708
31 Victory Rd

PROBLEM ADDRESS:

(31) VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007

Property ID: 50144

DETAILS:

caller advises that the next door neighbour's shed is too close to the boundary has just recently been moved here

Bush dining - 3m yds all round.

Printed: 07:44:28 Date Entered: 30/03/2005 Logged By: CHL DIANE NUKU

Handling officer/Job Manager
SPE COLIN DIPROSE

Target Response Date: 04/04/2005 10:48

Target Completion Date: 19/04/2005

ACTION REQUIRED: RF Referral |817 7005||

Please investigate as confirmed by Jonathan Reddell

Planned Date:

REPORT ON COMPLETION: *Visited Met the grandmother on site who couldn't help. Went down the back & found the shed the complainant is obviously referring to. It's 2.5m x 4.0m & appears to be almost right on the rear & common boundary with No. 33. Took photos. Coln D. 15.4.05.*

Karl rang about 4.15 p.m. & explained why I had called & then went on to explain the District Plan rules - 3m side yd reqmt, & the options to overcome the fact that it's situated within this area - either move it, or apply for Resource Consent. In dismissing it, he said he'd like to leave it put, if he could, but accepted it may be cheaper to move it - he's just moved it down here P.T.O.

From up the front where he's building the sleepers. He said he'll
approach his neighbors for this reason & said he'll read him the
appropriate form.

Colm D. 16.4.05.

Henry to speak to Rosamund Hamilton at 12.20 p.m. to advise
her of my visit & outcome. With no reply & no answer phone

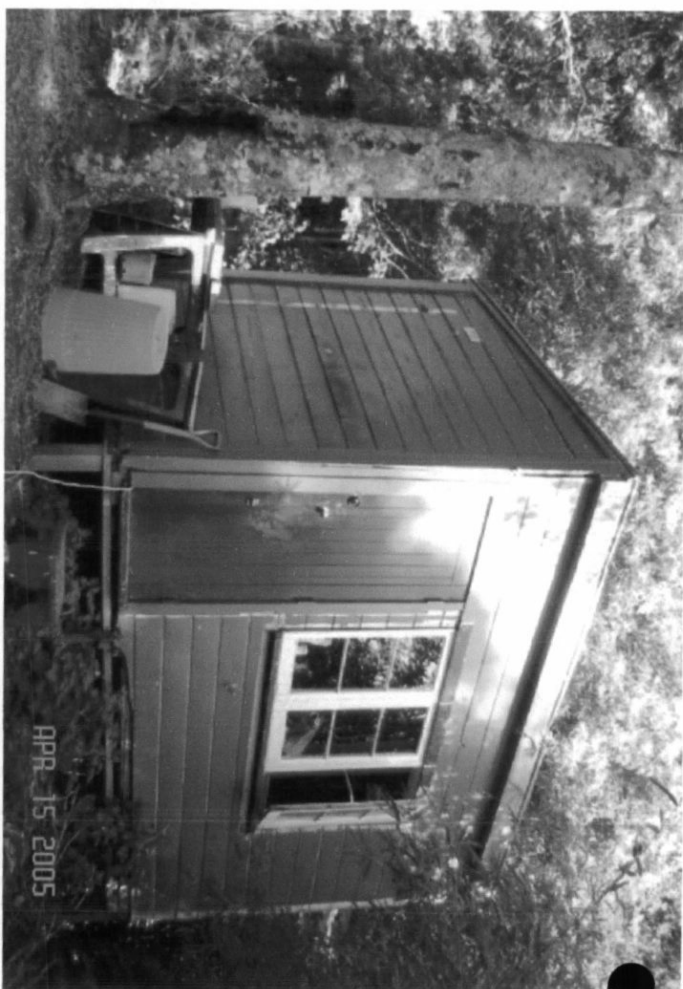
Colm D. 18.4.05.

User diprosc
 Port network
 Term xterm

Screen Name RF006rfs_maint

** 31 Victory Rd **
Pathways 31A573

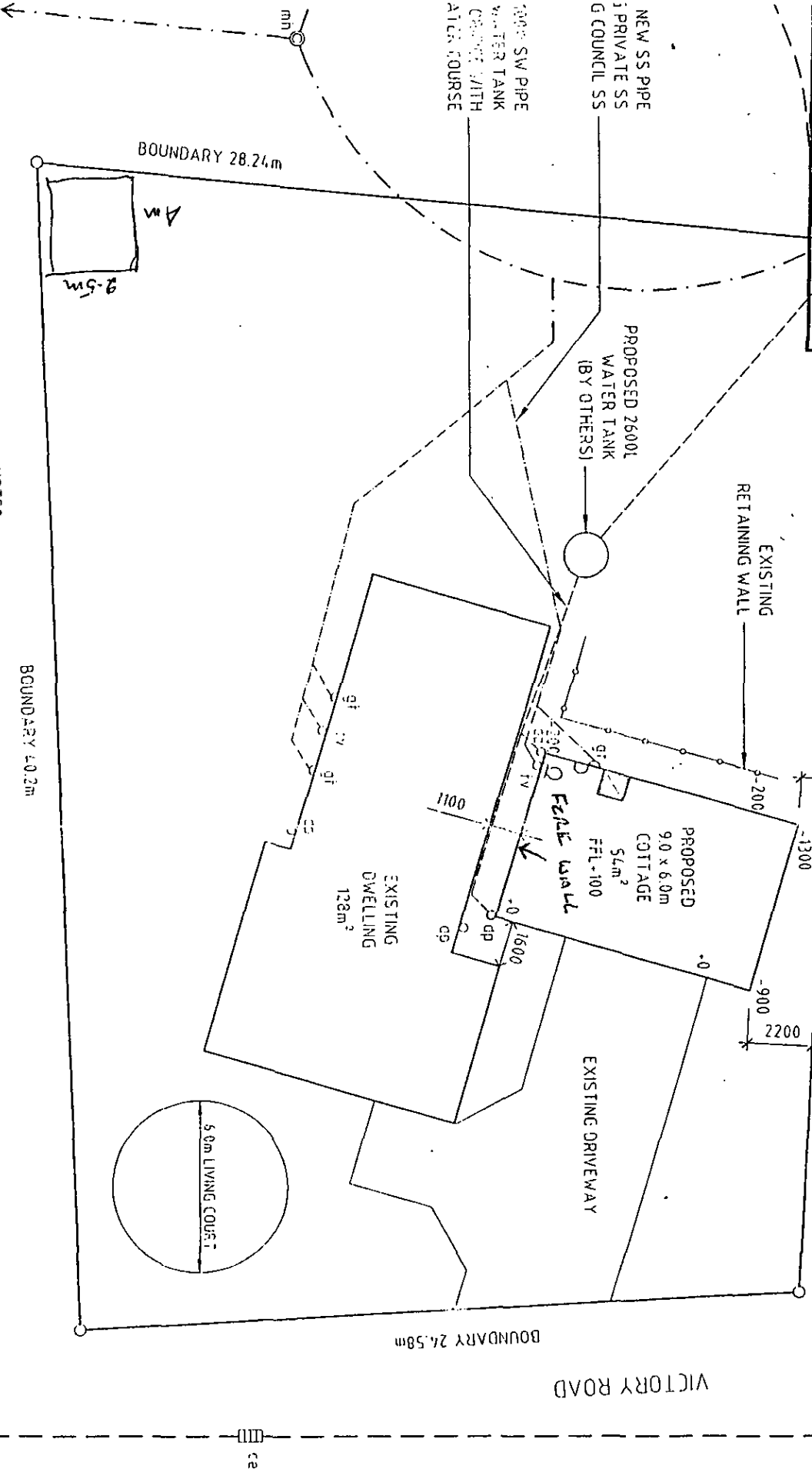
[] RFS[REQ][Requisitions (Council Wide)][20050573][CURRENT] |
Loctn[50144][31 VICTORY RD, LAINGHOLM, WAITAKERE][31/ 8/2005] |
Location Description[] |
Contact Type[OWN][Property Owner] |
1st Contact Person[736960][HITCHENS, KARL GARRY] |
[31 VICTORY RD, LAINGHOLM, WAIT] |
Ph. H[8168708] B[6310366] M[] |
2nd Contact Person[] |
Debtor[] |
Request Details[Garden shed has been relocated to rear of section, but] |
[placed within the 3 metre side and rear yard without], |
[resource consent approval. (Bush Living Environment).] |
RFS Type[DP][District Plan] Priority[N][NORMAL] |
Date Submitted[31/ 8/2005] Time Submitted[15:55] Start Date[31/ 8/2005] |
Handling Officer[SPE][DIPROSE COLIN] |
Receiving Officer[SPE][DIPROSE, COLIN] |
Authorising Officer[] External Of[] |
Dept[RS][Regulatory Se] Function[PLN][Planning] External Ref[] |
[A[E[S[Ac[Fe[Extra[Std Let[Outc]] |
[Co[L[Su[S[Add Notes[Monit[Analy[Enqu]] |
[Search[Do]] |



→ This post would appear to be
the cor boundary post bet No's 31 & 33

PLANNING NOTICE

Planning consent documents must be submitted during construction. The siting of the proposed building is to be flagged prior to work commencing. In an established site may be taken as a boundary on the written agreement of the hours.



NOTES

- PROPOSED COTTAGE TO BE SITED 1m FROM SIDE & 16 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS
- EARTHWORKS
- EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE

PLANS A
SUBJECT TO
ON BU
SIGNED: [Signature]
AUTHORISED

LEGEND

1/2/2016

Com-2009-1617



ENTERED

Plumber

[Handwritten Signature]
JOHN NICHOLLS

Waitakere City Council
Te Tatao o Waitakere

Building Consent No: ABA-2009-1617

NOTIFICATION OF LICENSED TRADESMAN – PLUMBER
To be completed and returned to Council 48 hours prior to any work commencing

OWNER: K G Hitchens and E J Hitchens

MAILING ADDRESS:
31 Victory Road
Laingholm
WAITAKERE 0604

PROJECT LOCATION
ADDRESS:
31 Victory Road, LAINGHOLM

LEGAL DESCRIPTION
VALUATION ROLL NO:
LOT & DP: LOT 644 DP 32446

PLUMBER DATE: 4-12-09

LICENSED PLUMBER NAME: Shane Joyce

ADDRESS: 440 Huna Rd, Laingholm

PHONE: 021 579 603 LICENSE NUMBER: 13792

TRADESMAN'S SIGNATURE: *[Signature]*

Has been appointed to carry out the work described in the above referred building consent.
DESCRIPTION OF WORK:

Install Heat Pump Hot Water Cylinder

Copy of tradesman's current licence (tick) Attached Onfile

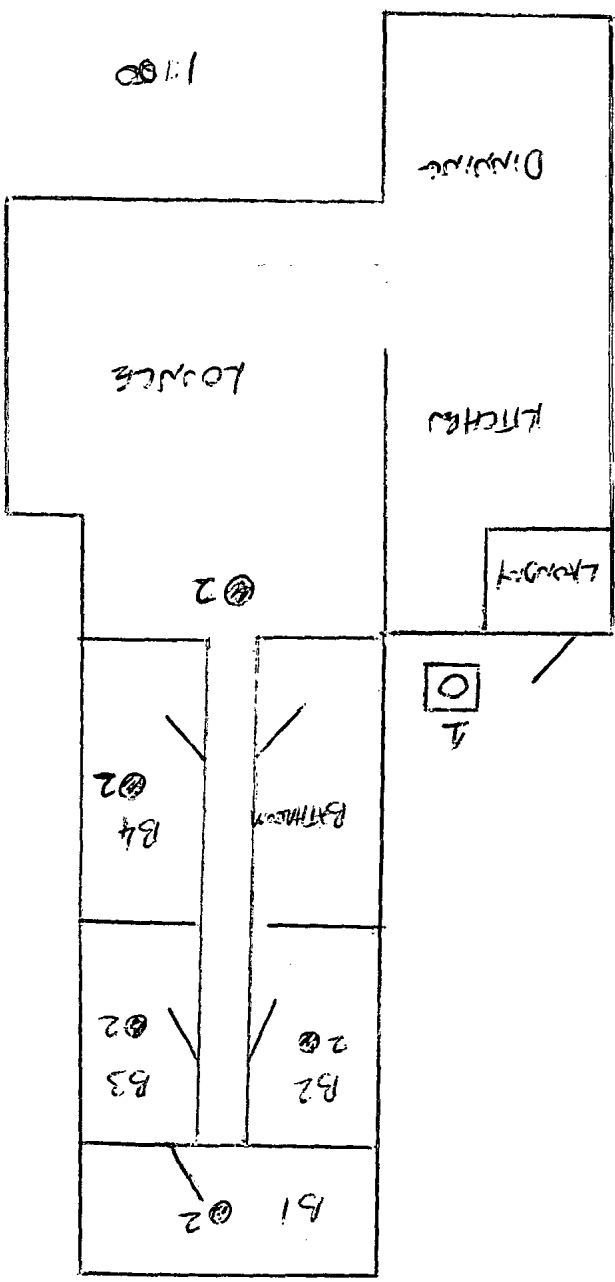
Inspection Required: All Drainage :Before being backfilled

The Plumbers, Gasfitters and Drainlayers Board has pointed out that there appears to be some confusion about the effect of the Building Act on who can legally do sanitary plumbing, gasfitting and drainlaying. In fact, the Building Act made only a minor amendment to the Plumbers, Gasfitters and Drainlayers Act 1976 and has not altered the situation that, under the Act, subject to certain specific expectations:
Sanitary plumbing and gasfitting must still be done by a craftsman plumber or gasfitter, as appropriate, or by a registered plumber or gasfitter under their directions; and drainlaying must still be done by a registered drainlayer.
In this respect, it should be noted that the Form 3 in the Second Schedule of the Regulations mentions registered plumbers and gasfitters. The fact that it does not mention craftsman plumbers and craftsmen gasfitters does not affect the requirements of the Plumbers, Gasfitters and Drainlayers Act 1976 as outlined above.

3) VICTORIA ROAD Lot 644 DP 32446

IMPORTANT NOTICE
 All Building consent documents must be kept on site during construction
 Unless the siting of the proposed building is certified by a registered surveyor all boundary pegs are to be flagged prior to work commencing.
 A fence on an established site may be taken as the boundary or, the written agreement of all neighbours.




1 THAT PUMP HOT WATER CYLINDER
 2 SMOKE DETECTORS



PLANS AND SPECIFICATIONS APPROVED
 SUBJECT TO CONDITIONS ENDORSED ON BUILDING CONSENT
 SIGNED [Signature] DATE 16/11/09
 AUTHORISED OFFICER

**JOYCE
PLUMBING & GAS LTD**

440 Huia Rd
Laingholm
Waitakere City 0604
Ph: 816 9464
C: 021 529 603

-  Plumbers,
-  Gasfitters and
-  Drainlayers Board



EXPIRY DATE 31 MARCH 2010

Shane Antony Joyce
Registration No. 13792

Licence(s) held

Craftsman Plumber
Craftsman Gasfitter



ABnote

Signature

This Licence entitles the holder to carry out work authorised by or under the Plumbers Gasfitters, and Drainlayers Act 1976 and/or Gas Act 1991 in accordance with the Licence(s) held.

IF FOUND RETURN TO
PO BOX 10655,
WELLINGTON 6143

Ph 04 494 2970
www.pgdb.co.nz

INSTALLATION

**THIS WATER HEATER IS FOR OUTDOOR INSTALLATION ONLY.
THIS WATER HEATER IS NOT SUITABLE FOR POOL HEATING.**

All packaging materials must be removed from the water heater prior to its installation. This includes the removal of the cardboard base of the carton from the underside of the water heater.

STORAGE TANK AND HEAT PUMP MODULE

The heat pump water heater is made of two main components, the storage tank and the heat pump module. For transport and handling (weight) purposes both items are shipped separately and designed to be assembled at the installation site. The water heater must not be operated until both components are assembled. Refer to "Heat Pump and Tank Assembly" on page 21.

Take care when handling the heat pump module. The jacket of the heat pump module needs to be handled gently so as not to cause damage.

Do not tilt the heat pump module or the heat pump and storage tank assembly more than 45° from the vertical. This will unsettle the refrigerant gas and compressor lubricating oil. If the heat pump module or heat pump and storage tank assembly has been tilted more than 45° from the vertical during handling, it will need one hour to settle before the power to the water heater can be switched on, otherwise damage to the compressor may result.

The heat pump module and storage tank can be assembled off site if required and then transported to the installation site. Care must be taken during transportation and handling as the assembly will be top heavy.

WATER HEATER LOCATION

The water heater is suitable for outdoor installation only. The water heater should be installed close to the most frequently used outlet and its position chosen with noise, safety and service in mind. Make sure people (particularly children) will not accidentally touch the air inlet and outlet louvres and that they are clear of obstructions and shrubbery.

It is advisable to install the water heater away from bedroom or living room windows as the system controls can generate a noise of up to 51 dbA (at 1.5 metres from the water heater) whilst they are operating.

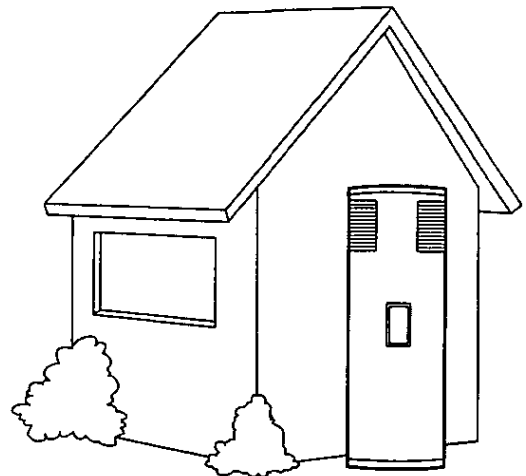
Clearance must be allowed for servicing of the water heater. The water heater must be accessible without the use of a ladder or scaffold. Make sure the temperature pressure relief valve lever is accessible and the top and front covers, system controls and thermostat can be removed for service.

You must be able to read the information on the rating plate. If possible leave headroom of one water heater height so the anodes can be inspected or replaced. Remember you may have to remove the entire water heater later for servicing.

A clearance of 300 mm is required perpendicular from both the air inlet and outlet louvres to any wall or obstruction.

The installation must comply with the requirements of AS/NZS 3500.4, AS/NZS 3000 and all local codes and regulatory authority requirements. In New Zealand, the installation must conform with Clause G12 of the New Zealand Building Code. It is recommended the heat pump water heater be installed at ground or floor level and must stand vertically upright.

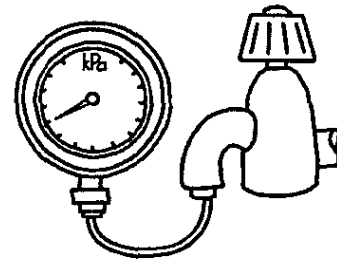
The water heater must not be installed in an area with a corrosive atmosphere where chemicals are stored or where aerosol propellants are released. Remember the air may be safe to breathe, but the chemicals may attack the materials used in the heat pump system.



MAINS WATER SUPPLY

Where the mains water supply pressure exceeds that shown in the table below, an approved pressure limiting valve is required and should be fitted as shown in the installation diagram (refer to diagram on page 26).

Model	310
Relief valve setting	1000 kPa
Expansion control valve setting *	850 kPa
Max. mains supply pressure	
With expansion control valve	680 kPa
Without expansion control valve	800 kPa
Min. mains supply pressure	200 kPa



* Expansion control valve not supplied with the water heater.

TANK WATER SUPPLY

If the water heater is supplied with water from a tank supply and a minimum water supply pressure of 200 kPa at the water heater cannot be achieved, then a pressure pump system must be installed to allow the heat pump circulator to operate and avoid air locks in the circuit. Care must be taken to avoid air locks. The cold water line from the supply tank should be adequately sized and fitted with a full flow gate valve or ball valve.

HOT WATER DELIVERY

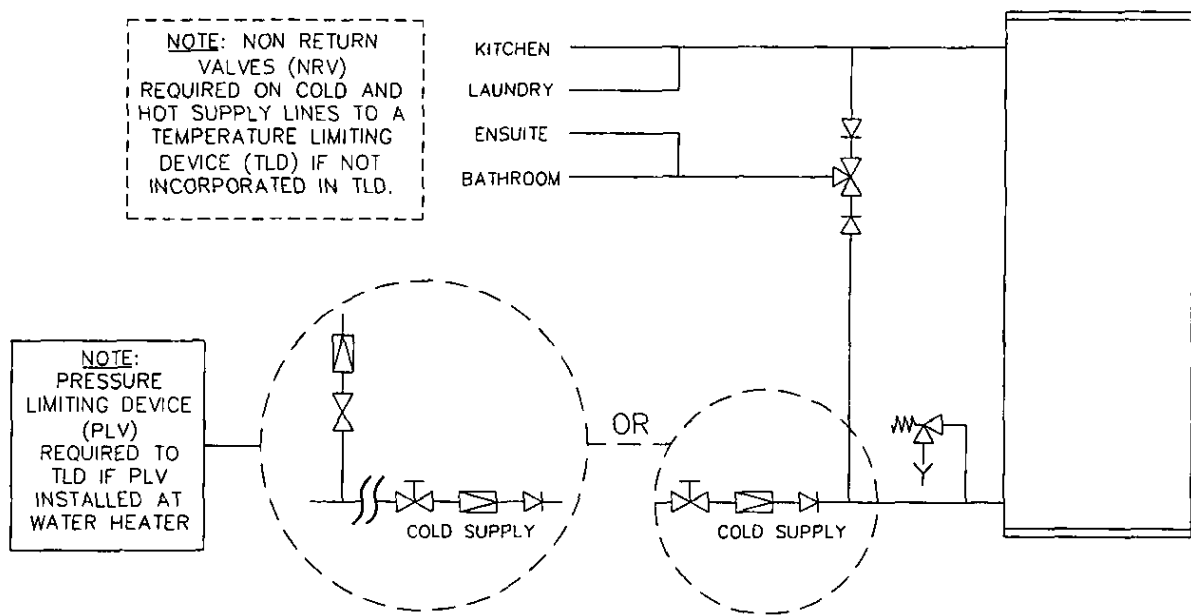
This water heater can deliver water at temperatures which can cause scalding.

It is necessary and we recommend that a temperature limiting device be fitted between the water heater and the hot water outlets in any ablution area such as a bathroom or ensuite, to reduce the risk of scalding. The installing plumber may have a legal obligation to ensure the installation of this water heater meets the delivery water temperature requirements of AS/NZS 3500.4 so that scalding water temperatures are not delivered to a bathroom, ensuite or other ablution area.

The temperature limiting device used with a solar water heater should have a specified minimum temperature differential, i.e. between the hot water inlet and the tempered water outlet, of no greater than 10°C.

Where a temperature limiting device is installed adjacent to the water heater, the cold water line to the temperature limiting device can be branched off the cold water line either before or after the isolation valve, pressure limiting valve and non return valve to the water heater. If an expansion control valve is required, it must always be installed after the non return valve and be the last valve prior to the water heater.

If a pressure limiting valve is installed on the cold water line to the water heater and the cold water line to a temperature limiting device branches off before this valve or from another cold water line in the premises, then a pressure limiting valve of an equal pressure setting may be required prior to the temperature limiting device.



Two Temperature Zones Using a Temperature Limiting Device

CIRCULATED HOT WATER FLOW AND RETURN SYSTEM

A heat pump water heater should not be installed as part of a circulated hot water flow and return system in a building.

If a circulated flow and return system is required, it is necessary to bypass the heat pump water heater and install a secondary water heater connected to the hot water flow and return line and supplied from the heat pump water heater. The secondary water heater must be a storage water heater able to provide a hot water outlet temperature of at least 60°C. **Note:** The thermostat must always be set to at least 60°C. Refer to the diagram on page 17.

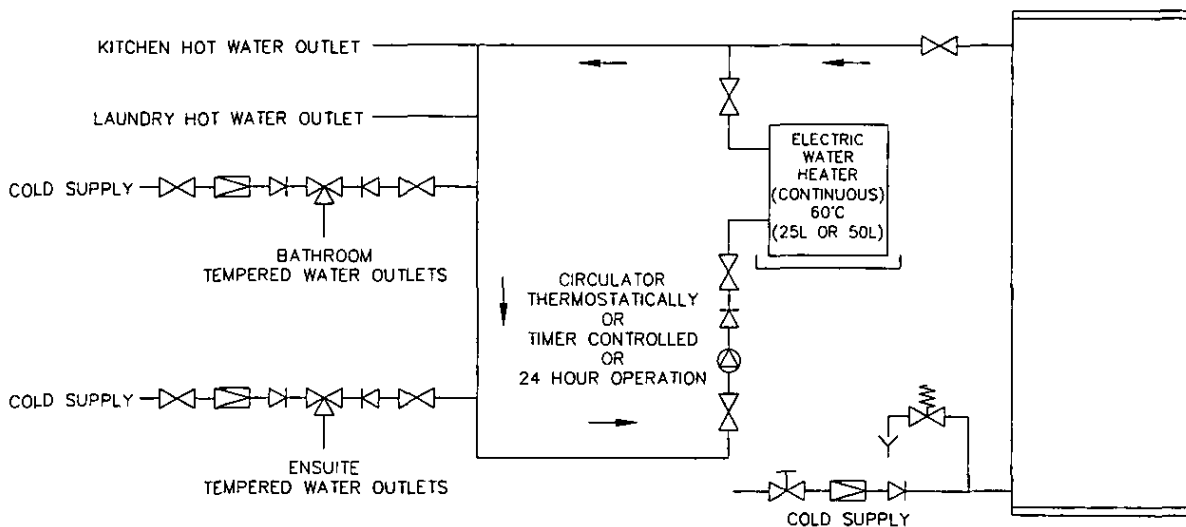
Temperature Limiting Device

A temperature limiting device cannot be installed in circulated hot water flow and return pipe work. The tempered water from a temperature limiting device cannot be circulated. Where a circulated hot water flow and return system is required in a building, a temperature limiting device can only be installed on a dead leg, branching off the circulated hot water flow and return pipe.

If circulated tempered water were to be returned back to the water heater, depending on the location of the return line connection on the water supply line to the water heater, then either:

- water will be supplied to the cold water inlet of the temperature limiting device at a temperature exceeding the maximum recommended water supply temperature, or
- when the hot taps are closed no water will be supplied to the cold water inlet of the temperature limiting device whilst hot water will continue to be supplied to the hot water inlet of the temperature limiting device.

These conditions may result in either water at a temperature exceeding the requirements of AS/NZS 3500.4 being delivered to the hot water outlets in the ablution areas, or the device closing completely and not delivering water at all, or the device failing. Under either condition, the operation and performance of the device cannot be guaranteed.



NOTE: A PLV IS REQUIRED TO BE INSTALLED ON THE COLD SUPPLY LINE TO THE TEMPERING VALVE IF A PLV IS INSTALLED ON THE COLD SUPPLY LINE TO THE WATER HEATER.

Circulated Hot Water Flow and Return System – Heat Pump Water Heater

REDUCING HEAT LOSSES

The cold water line to and the hot water line from the water heater must be insulated in accordance with the requirements of AS/NZS 3500.4. The insulation must be weatherproof and UV resistant if exposed.

ANODE TYPES

The vitreous enamel lined cylinder of this water heater is covered by warranty where the total dissolved solids (TDS) content in the water is less than 2500 mg/L and when the correct colour coded anode is used. The use of an incorrect colour coded anode may shorten the life of the water heater cylinder and will void the cylinder warranty.

The correct colour coded anode for the water supply being used must be selected and fitted in the water heater. Refer to "Water Supplies" on page 8 and the "Water Chemistry Charts" for TDS on page 10. The black anode is fitted as standard.

Total Dissolved Solids	Anode colour code
0 – 40 mg/L	Green
40 – 150 mg/L	Green or Black
150 – 400 mg/L	Black
400 – 600 mg/L	Black or Blue
600 – 2500 mg/L	Blue
2500 mg/L +	Blue (no cylinder warranty)

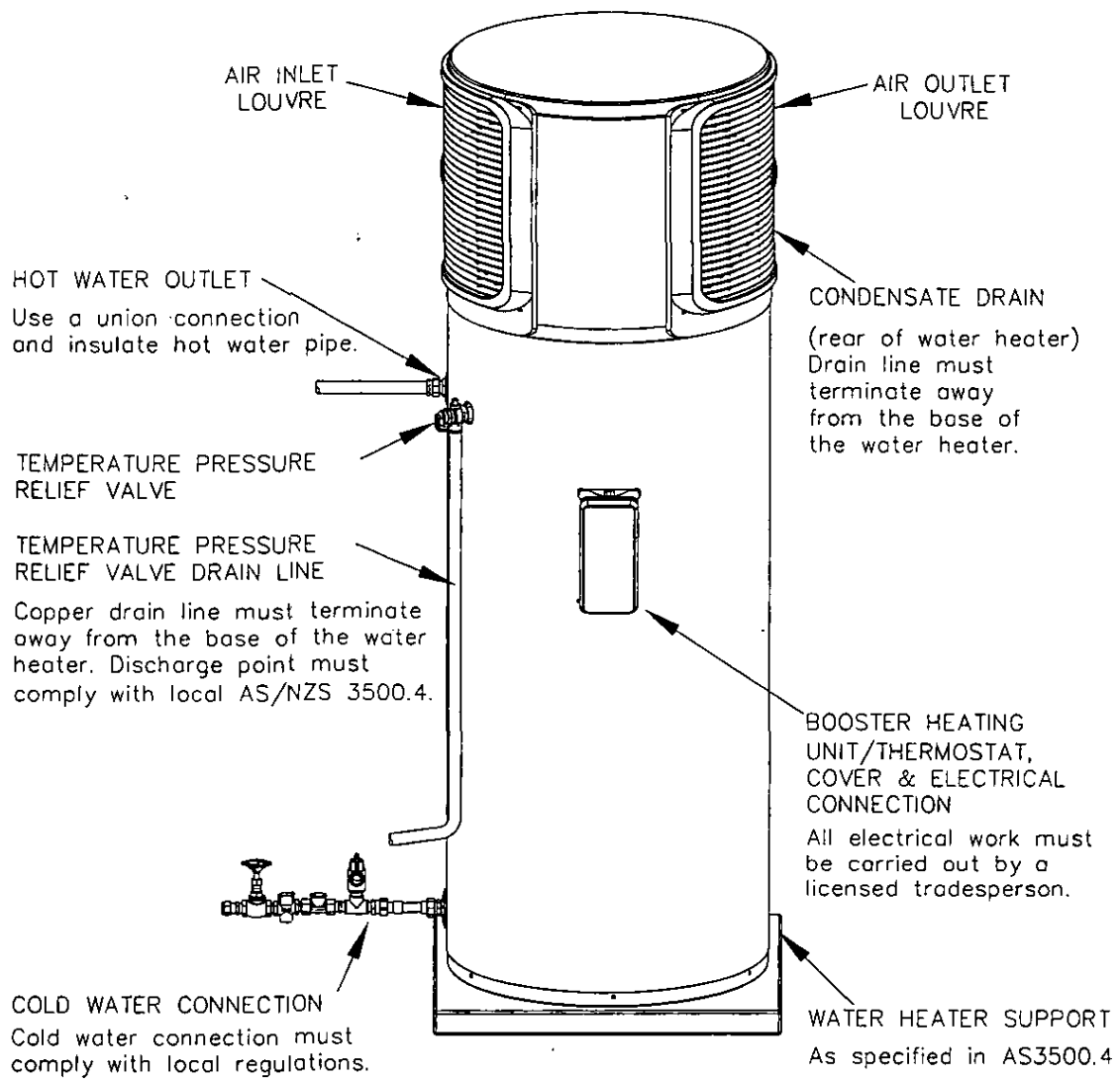
If the water supply has a TDS greater than 150 mg/L and a green anode has not been changed to an orange or black anode, or if the TDS is greater than 600 mg/L and the anode has not been changed to a blue anode, there is the possibility the anode may become overactive and hydrogen gas could accumulate in the top of the water heater during long periods of no use. In areas where this is likely to occur, the installer should instruct the householder on how to dissipate the gas safely (refer to "Caution" on page 9).

SADDLING - PIPE WORK

To prevent damage to the cylinder when attaching pipe clips or saddles to the water heater jacket, we recommend the use of self-drilling screws with a maximum length of 13 mm. Should pre drilling be required, extreme caution must be observed when penetrating the jacket of the water heater.

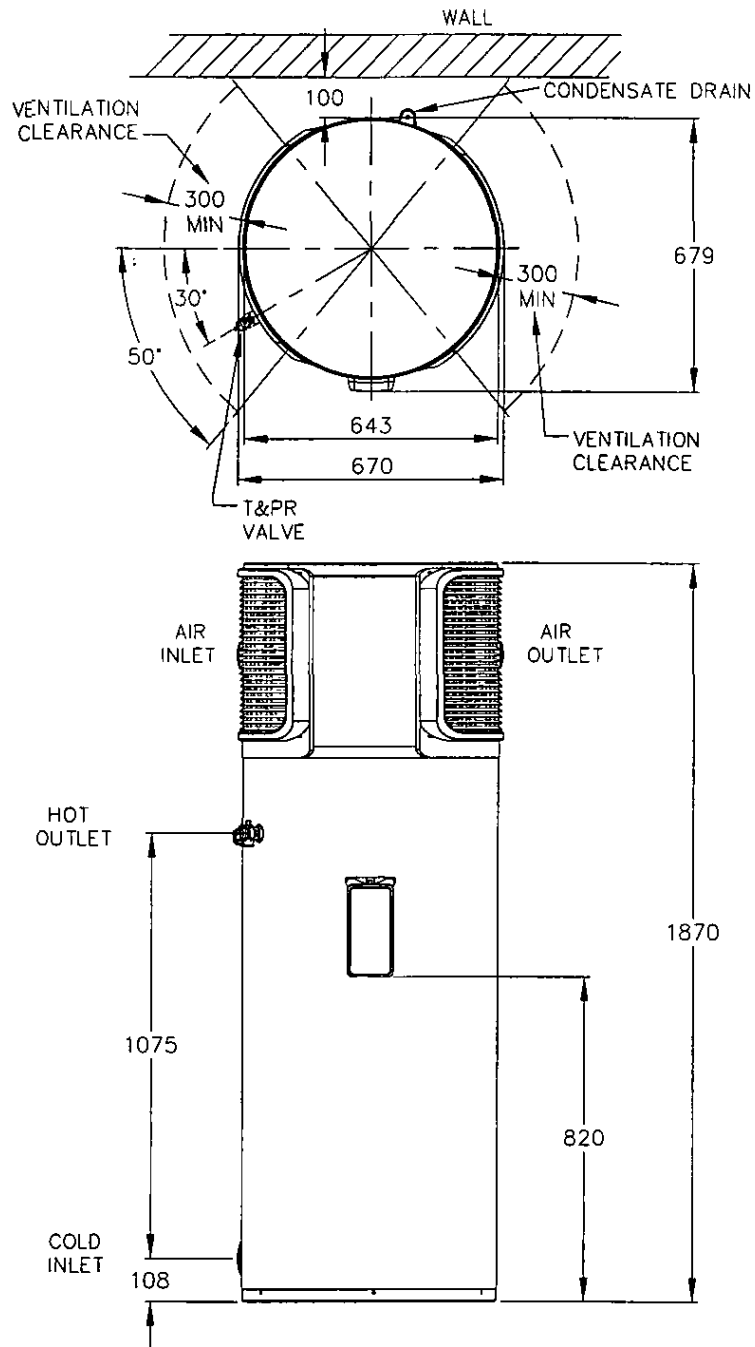
Note: Damage to the cylinder as a result of saddling to the jacket will void the warranty.

TYPICAL INSTALLATION – OUTDOOR LOCATION



INSTALLATION

DIMENSIONS AND TECHNICAL DATA



System number	551 310
Model Number	1.8 kW 551 310 04 / BL
	2.4 kW 551 310 05
	3.6 kW 551 310 07

Part numbers	
Tank only 1.8 kW	T551 310 04 / BL
Tank only 2.4 kW	T551 310 05
Tank only 3.6 kW	T551 310 07
Heat pump module	180532

Maximum rated power input	3600 watts
Rated heat pump power input	1300 watts
Booster element rating	2400 or 3600 watts
Refrigerant type	R134a
Refrigerant circuit pressure	3000 kPa

Storage capacity	310 litres
Boost capacity	220 litres
Mass empty - total	135 kg
Storage tank	87 kg
Heat pump module	48 kg
Mass full - total	445 kg

Specifications are subject to change with ongoing product improvements.

HEAT PUMP AND TANK ASSEMBLY

STORAGE TANK AND HEAT PUMP MODULE

The heat pump water heater is made of two main components, the storage tank and the heat pump module. For transport and handling (weight) purposes both items are shipped separately and designed to be assembled at the installation site. The water heater must not be operated until both components are assembled.

HEAT PUMP MODULE

The heat pump module is to be mounted on the top of the storage tank. It is designed so that it can be lifted to the top of the storage tank by two people. It is shipped in a box containing two lifting bars that are inserted into the heat pump module to facilitate lifting.

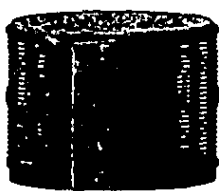
STORAGE TANK

The storage tank is designed to support the heat pump module. There are two water fittings located at the top of the storage tank to which water hoses from the heat pump module are connected. A power cable and a tank sensor cable also protrude from the top of the storage tank. These are connected to the heat pump module when it is in place.

heat pump module

storage tank

heat pump water heater



+



=



ASSEMBLY PROCEDURE

⚠ Warning: The heat pump must be assembled, plumbed and filled with water prior to power being connected and switched on.

The following procedure should be followed to properly lift and place the heat pump module on the storage tank:

1. Remove all packaging and position the storage tank in its intended location.
 - Ensure the power cable and tank sensor cable are hanging down the side of and not sitting on top of the storage tank before lifting the heat pump module into position.
2. Place the heat pump module in front of the storage tank and open the top flaps of the carton.

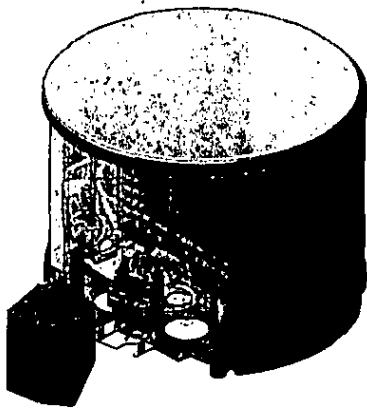
Two (2) lifting bars are housed in a recess in the cardboard layer on top of the heat pump module.

- Remove the lifting bars and set them aside.
- Remove the carton from the heat pump module.

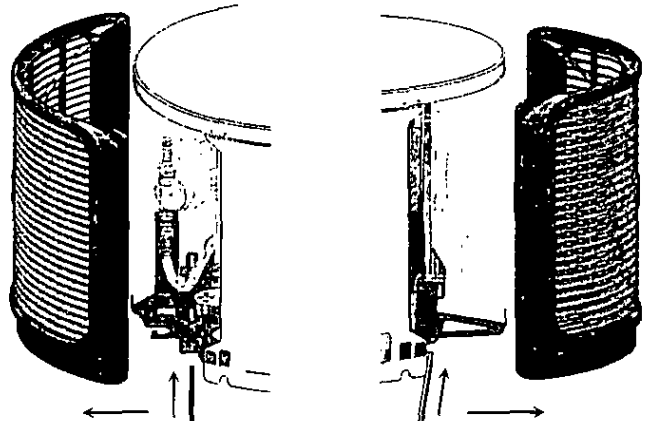
Be aware the carton sides have flaps, which tuck under the carton base of the heat pump module.

3. Using a Phillips head screw driver, remove the six (6) screws from each of the two air louvres (twelve (12) screws in total).
 - Remove the louvres from the heat pump module.
4. Remove the mounting screw from the side of the electrical cover and gently remove the cover.

The electrical cover needs to be handled gently so as not to damage the electronic controls located behind the electrical cover.



Step 4
remove electrical cover



Steps 3 and 5
remove louvres and insert lifting bars into the slots provided

5. Insert the two (2) lifting bars into the slots at the front of the heat pump module chassis and carefully push through to engage the slots at the rear.

Take care not to catch any of the wiring or hoses in the heat pump module.

Leave sufficient overhang at either end to enable a firm and safe grip for lifting the heat pump module onto the top of the storage tank.

- Using **two** people, one person on each lifting bar, lift the heat pump module and place it on the top of the storage tank, ensuring that the two water fittings on the storage tank pass through the openings marked "INLET" and "OUTLET" on the heat pump module chassis.

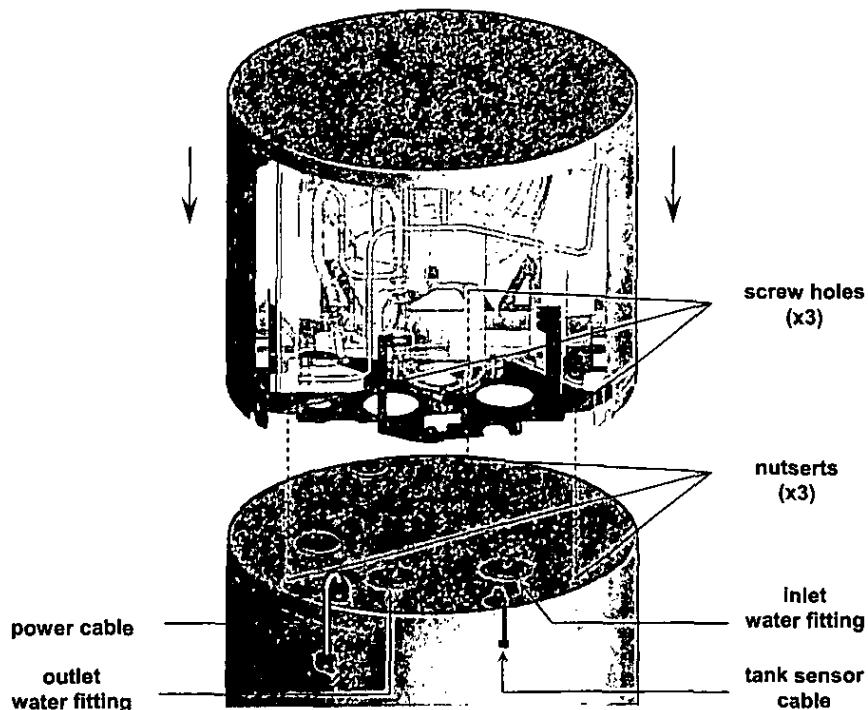
It is recommended to place the hands under the bar to enable the lift in a curl action.

Take care to avoid resting the heat pump module on the power cable or the tank sensor cable and ensure the three screw holes in the bottom plate of the chassis are lined up with the three nutserts in the top of the storage tank.

Final positioning is best undertaken with the lifting bars still in position.

CAUTION: The heat pump module weighs approximately 48kg. This operation should be performed carefully by two people and good lifting practice should be followed.

- Remove the two (2) lifting bars and secure the heat pump module to the storage tank with the three (3) M6 screws provided with the heat pump module.



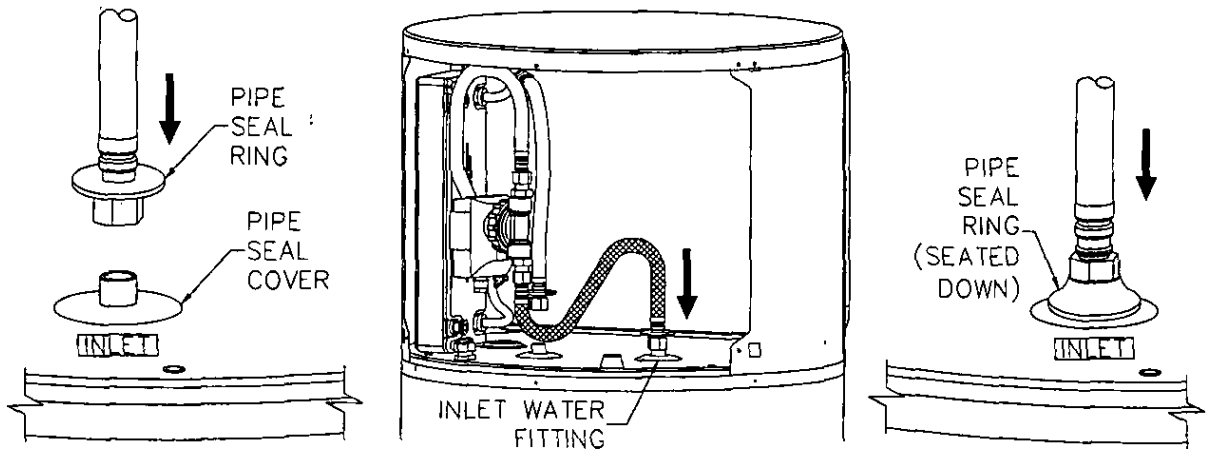
Steps 6 and 7
install heat pump module to storage tank

- Remove the caps from the water fittings on the storage tank. These may be unscrewed or cut from the fittings if necessary.

Take care not to loosen the fittings or damage the threads whilst removing the caps.

9. Attach the flexible braided hose marked "INLET" to the water fitting marked "INLET".

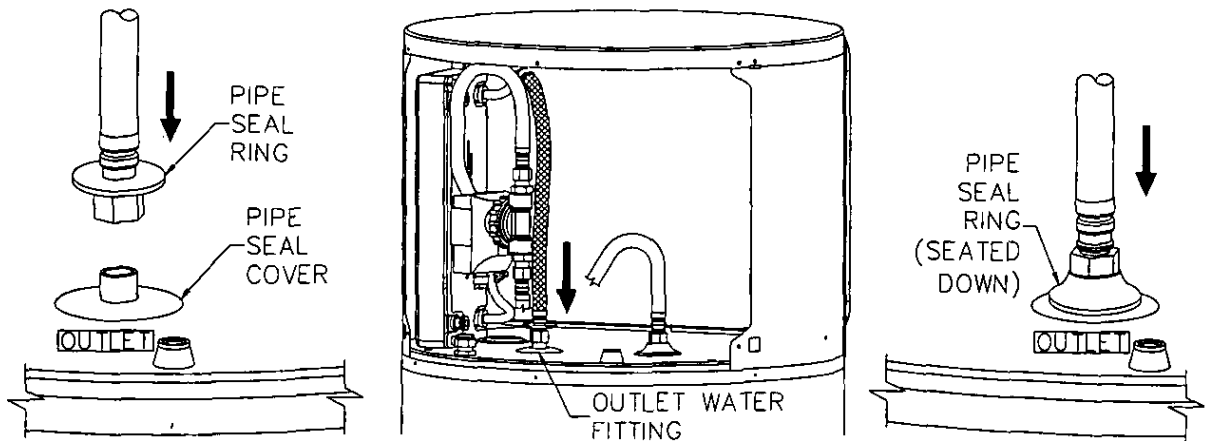
- Tighten the swivel nut on the hose using a 24 mm spanner.
- Push down the pipe seal ring to seat over the swivel nut and against the pipe seal cover.



Step 9
attach inlet water hose and seat pipe seal ring

10. Attach the flexible braided hose marked "OUTLET" to the water fitting marked "OUTLET".

- Tighten the swivel nut on the hose using a 24 mm spanner.
- Push down the pipe seal ring to seat over the swivel nut and against the pipe seal cover.



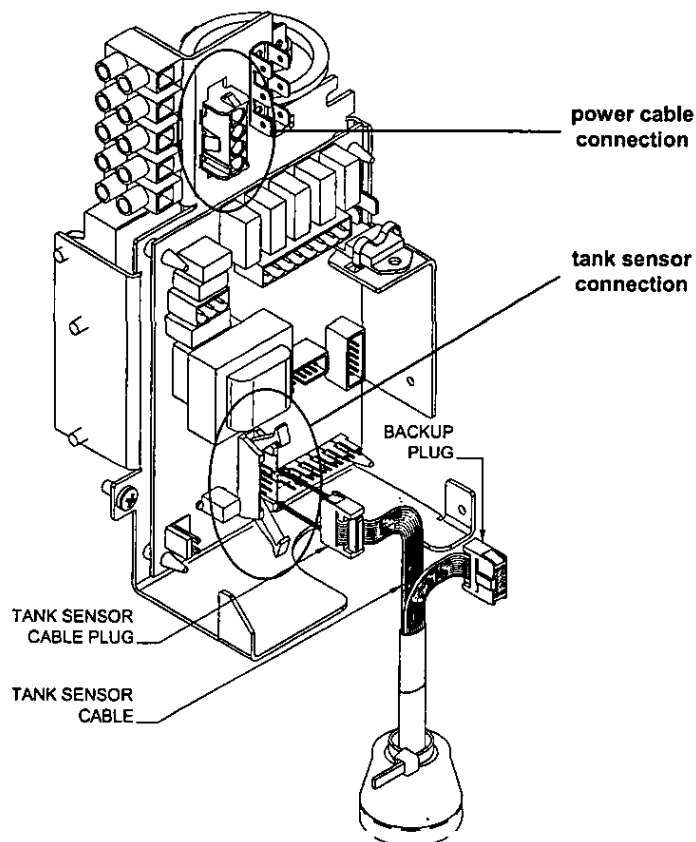
Step 10
attach outlet water hose and seat pipe seal ring

11. Insert ONE tank sensor cable plug firmly into the connector marked "TANK SENSOR" at the bottom of the control board.

Note: There are two tank sensor cables protruding through the top of the heat pump storage tank, each with a tank sensor cable plug. Only **ONE** tank sensor cable plug is to be connected to the control board. The second plug is a backup plug and is not to be connected to any part of the control board.

- Ensure the plug is fully inserted so the holding clips on the board automatically engage the plug.
- Coil up both the excess length of tank sensor cable and the spare cable and plug for stowage behind the electrical cover when refitted.

Do not allow the cables and spare plug to hang loose outside of the control board enclosure as damage to these components could occur.



Steps 11 and 12
connect power cable and tank sensor cable

12. Connect the four (4) pin power cable plug to the connector at the top of the control board.
- Ensure the plug fully engages the locking feature on the connector.
13. Replace the electrical cover, engaging the bottom of the cover into the slots on the supporting bracket.
- Secure at the side with the mounting screw.
14. Check for water leaks at the inlet and outlet fitting connection points.

To check for water leaks, the storage tank must be plumbed and full of water (refer to "Connections – Plumbing" on page 26 and "To Fill And Turn On The Water Heater" on page 33, however the electrical supply should not be switched on at this stage).

15. Replace the two air louvres, ensuring the longer skirt of the louvre is orientated to the bottom and re-fit all twelve (12) louvre attachment screws.

CONNECTIONS – PLUMBING

CONNECTION SIZES

- Hot water connection: RP $\frac{3}{4}$ /20.
- Cold water connection: RP $\frac{3}{4}$ /20.
- Relief valve connection: RP $\frac{1}{2}$ /15.

All plumbing work must be carried out by a qualified person and in accordance with the Plumbing Standard AS/NZS 3500.4 and local authority requirements.

WATER INLET AND OUTLET

The pipe work must be cleared of foreign matter before connection and purged before attempting to operate the water heater. All olive compression fittings must use brass or copper olives. Use thread sealing tape or approved thread sealant on all fittings.

An isolation valve and non return valve must be installed on the cold water line to the water heater. An acceptable arrangement is shown in the diagram. Refer also to "Hot Water Delivery" on page 16 and to "Mains Water Supply" on page 15.

A disconnection union must always be provided at the cold water inlet and hot water outlet on the water heater to allow for disconnection of the water heater.

This water heater has either a plastic dip tube or fitting liner in the inlet and outlet fittings (see diagram). These must be in place for the water heater to function properly. Do not remove or damage them by using heat nearby. They will be pushed into the correct position as the fitting is screwed in.

PIPE SIZES

To achieve true mains pressure operation, the cold water line to the water heater should be the same size or bigger than the hot water line from the water heater.

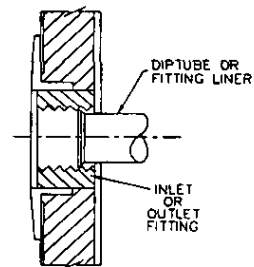
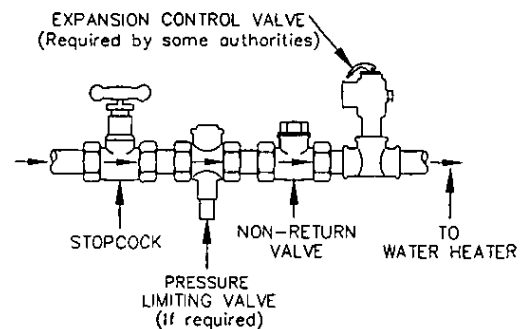
The pipe sizing for hot water supply systems should be carried out by persons competent to do so, choosing the most suitable pipe size for each individual application. Reference to the technical specifications of the water heater and local regulatory authority requirements must be made.

TEMPERATURE PRESSURE RELIEF VALVE

The temperature pressure relief valve is shipped behind the front cover or of the water heater. The temperature pressure relief valve must be fitted before the water heater is operated. Before fitting the relief valve, make sure the probe has not been bent. Seal the thread with Teflon tape - never hemp. Make sure the tape does not hang over the end of the thread.

Screw the valve into the correct opening (refer to the installation diagram on page 19) leaving the valve drain pointing downwards. Do not use a wrench on the valve body - use the spanner flats provided. A copper drain line must be fitted to the temperature pressure relief valve (refer to "Relief Valve Drain" on page 27).

The valve must be insulated with closed cell polymer insulation or similar (minimum thickness 9 mm) and the insulation installed so as not to impede the operation of the valve. The insulation must be weatherproof and UV resistant if exposed.



EXPANSION CONTROL VALVE

Local regulations may make it mandatory to install an expansion control valve (ECV) in the cold water line to the water heater. In other areas, an ECV is required if the saturation index is greater than +0.4 (refer to "Water Supplies" on page 8) or in a corrosive water area where there are sufficient quantities of silica dissolved in the water.

The expansion control valve must always be installed after the non return valve and be the last valve installed prior to the water heater (refer to diagram on page 26). A copper drain line must be fitted to the expansion control valve (refer to "Relief Valve Drain" on page 27).

The valve must be insulated with closed cell polymer insulation or similar (minimum thickness 9 mm) and the insulation installed so as not to impede the operation of the valve. The insulation must be weatherproof and UV resistant if exposed.

RELIEF VALVE DRAIN

DN15 copper drain lines must be fitted to the temperature pressure relief valve and expansion control valve (if one is installed) to carry the discharge clear of the water heater. Connect the drain lines to the valves using disconnection unions. The drain line from the valve to the point of discharge should be as short as possible, have a continuous fall all the way from the water heater to the discharge outlet and have no tap, valves or other restrictions in the pipe work.

A drain line from a relief valve must comply with the requirements of AS/NZS 3500.4.

A drain line must be no longer than 9 metres with no more than three bends greater than 45° before discharging at an outlet or air break. The maximum length of 9 metres for a drain line is reduced by 1 metre for each additional bend required of greater than 45°, up to a maximum of three additional bends. Where the distance to the point of final discharge exceeds this length, the drain line can discharge into a tundish.

Subject to local regulatory authority approval, the drain lines from the temperature pressure relief valve and expansion control valve from an individual water heater may be interconnected.

The outlet of a drain line must be in such a position that flow out of the pipe can be easily seen, but arranged so discharge will not cause injury, damage or nuisance. The termination point of a drain line must comply with the requirements of AS/NZS 3500.4. Drain lines must not discharge into a safe tray.

In locations where water pipes are prone to freezing, drain lines must be insulated, must not exceed 300 mm in length and are to discharge into a tundish through an air gap of between 75 mm and 150 mm.

If a drain line discharges into a tundish, the drain line from the tundish must be not less than DN20. The drain line from a tundish must meet the same requirements as for a drain line from a relief valve.

For multiple installations the drain lines from several water heaters can discharge into a common tundish (refer to "Multiple Installations" on pages 30 to 32).

Warning: As the function of the temperature pressure relief valve on this water heater is to discharge high temperature water under certain conditions, it is strongly recommended the pipe work downstream of the relief valve be capable of carrying water exceeding 93°C. Failure to observe this precaution may result in damage to pipe work and property.

CONDENSATE DRAIN

A drain line must be fitted to the condensate drain to carry the discharge clear of the water heater. The drain line can be extended using 13 mm rigid hose or conduit. The pipe work from the condensate drain should be as short as possible, and fall all the way from the water heater with no restrictions. It should have no more than three right angle bends in it. The outlet of the drain line must be in such a position that flow out of the pipe can be easily seen - but arranged so water discharge will not cause damage or nuisance.

The condensate drain line must not be connected to the relief valves drain lines but may discharge at the same point.

CONNECTIONS – ELECTRICAL

The power supply to the water heater must not be switched on until the water heater is filled with water and a satisfactory megger reading is obtained.

MEGGER READING

When a megger test is conducted on this water heater, then the following should be noted.

⚠ Warning: This water heater contains electronic equipment and 500 V insulation tests must only be conducted between active and earth and between neutral and earth. An active to neutral test WILL damage the electronics.

An insulation test result of between 100 KΩ and 660 KΩ for this water heater is normal.

Typically the insulation resistance between live and earthed parts of an electrical installation should not be less than 1 MΩ. However AS/NZS 3000:2000 clause 6.3.3.3.2 'Results' states:

"The value of 1 MΩ may be reduced to:

- 0.01 MΩ for sheathed heating elements or appliances; or
- a value permitted in the Standard applicable to electrical equipment."

This model water heater is categorised as a 'stationary class 1 motor operated appliance' and has been tested to AS/NZS 3350.1:2002 clause 16 'Leakage current and electric strength' and has passed the requirements of this Standard. Therefore, this model water heater complies with the condition stated in AS/NZS 3000:2000 clause 6.3.3.3.2 (b).

ELECTRICAL CONNECTION

All electrical work and permanent wiring must be carried out by a qualified person and in accordance with the Wiring Rules AS/NZS 3000 and local authority requirements.

The water heater must be directly connected to a 240 V AC 50 Hz mains power supply. The water heater must be on its own circuit with an isolating switch installed at the switchboard. A secondary isolating switch may be installed within reach of the water heater.

A flexible 20 mm conduit is required for the electrical cable to the water heater. The conduit is to be connected to the unit with a 20 mm terminator. Connect the power supply wires directly to the terminal block and earth tab connection, ensuring there are no excess wire loops inside the front cover.

The water heater will only operate on a sine wave at 50 Hz. Devices generating a square wave cannot be used to supply power to the water heater.

BOOSTER HEATING UNIT AND THERMOSTAT SETTING

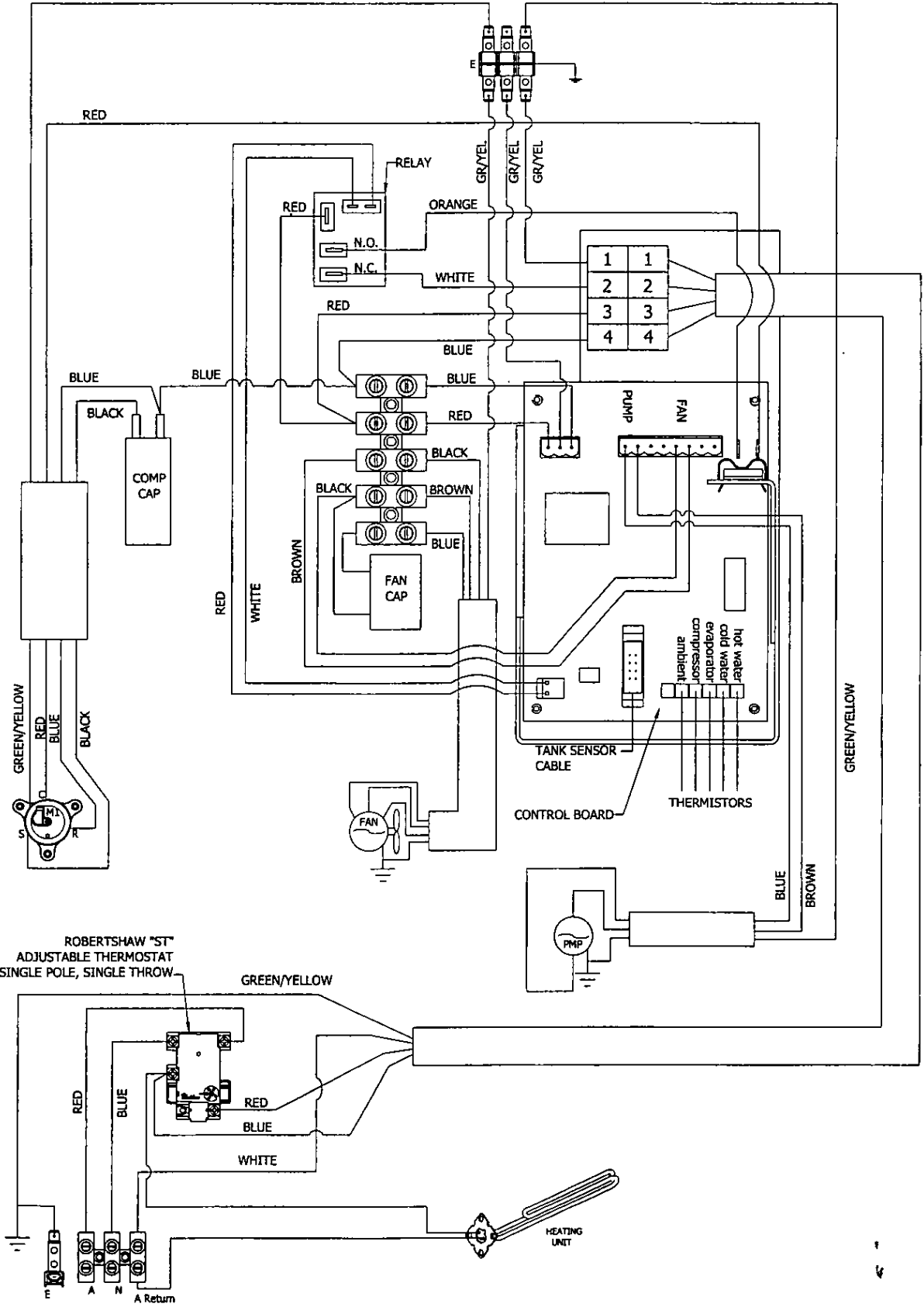
The water heater has a booster heating unit and thermostat. The heating unit will be automatically activated during periods when the ambient temperature is below 5°C and heating of the water is required. The thermostat is not adjustable.

TIMER

A timer can be added to the circuit at a suitable location if the customer requires the water heater does not operate between certain hours, such as during the night. The timer must be weatherproof if it is installed outdoors.

Note: A timer will affect the operating times of both the heat pump circuit and the booster heating unit.

WIRING DIAGRAM



Electrical Circuit for Heat Pump – Robertshaw "ST" Thermostat

TEMPERING VALVES 15 and 20mm

APPLICATION

- High and low pressure systems.

STANDARDS

- Complies with NZBC Clause G12 (2001)
- Complies with NZS4617:1989

SPECIFICATIONS

- Thermostatically controlled safety valve to prevent scalding.
- Factory set to give 55°C outlet. Can be adjusted from 35°C to 60°C.
- Hot water supply 65°C to 99°C. 100°C constant TV20S.
- Hot water pressures:
 - TV15, TV15P.....20 to 1000 kPa (2metre head)
 - TV20, TV20D, TV20S.....20 to 1000 kPa (2metre head)
- Flow rates:
 - TV15.....20 L/min at 20 kPa inlet pressure.
 - TV15P.....9 L/min at 20 kPa inlet pressure.
 - TV20, TV20D, TV20S.....20 L/min at 20 kPa inlet pressure.
- Operating Pressure:
 - Balanced hot and cold pressure. For unequal water pressure of up to 5:1 (Cold to Hot), non-return must be fitted to hot inlet.
- Extremely high flow rate makes the TV20 suited to low pressure systems.

INSTALLATION

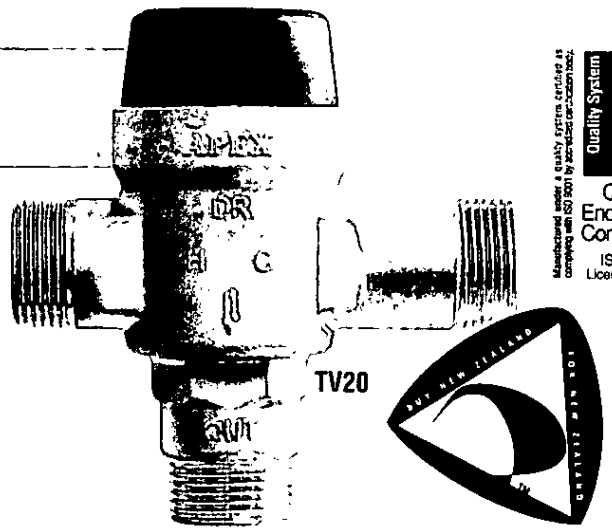
- Valve must be fitted by a qualified plumber.
- Installation must comply with local authority requirements.
- Valve may be installed vertically or horizontally.
- Flush pipes prior to fitting.
- Valve must be protected by a line strainer.
- Check valves are required at hot and cold inlets in Ring Main Installations.
- Connections are H (hot inlet), C (cold inlet) and OUT (mixed temperature outlet).
- Do not apply heat near valve during installation - this may damage the mechanism.
- Do NOT install valve directly into outlet of cylinder**.
- Use TV15P at point of use.

TEMPERATURE ADJUSTMENT

Remove cap. Use screwdriver to adjust to desired temperature. To increase, turn anti-clockwise (H). To decrease, turn clockwise (C). Replace cap. Maximum delivered hot water temperature at any sanitary fixture used for personal hygiene shall not exceed 55°C. 45°C for childhood centres, schools, old peoples homes and hospitals.

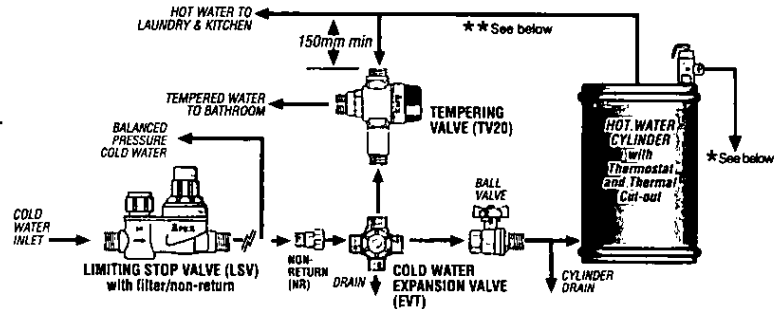
PRODUCT CODES

- TV15 - 15mm • TV15P - 15mm • TV20 - 20mm • TV20D 20mm ring main installation (Dual non-returns) • TV20S 20mm Solar Valve

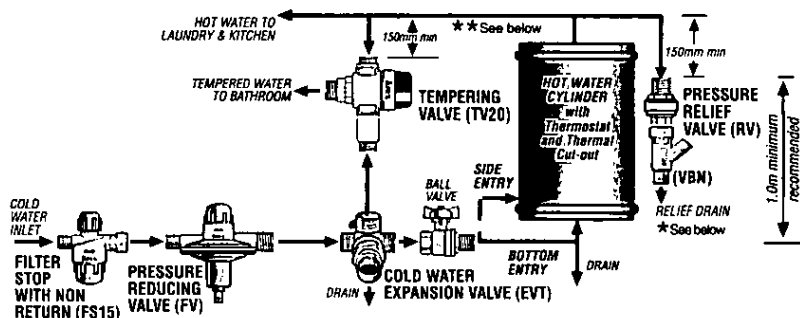


Manufactured under a quality system certified as complying with ISO 9001 by the New Zealand Quality System
Quality Endorsed Company
ISO 9001
Licence 4886

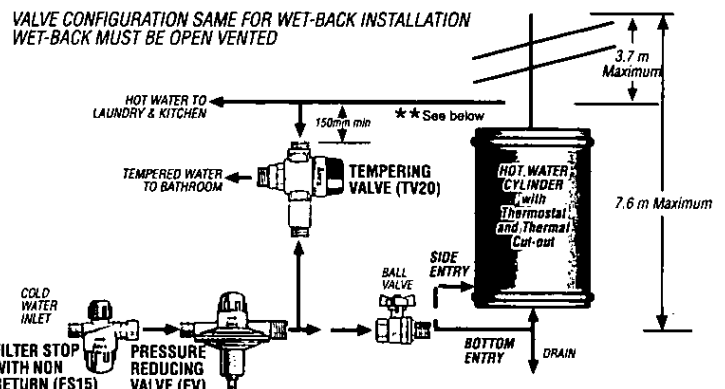
HIGH PRESSURE- Valve Vented



LOW PRESSURE- Valve Vented



LOW PRESSURE- Open Vented



*R.V and E.V drains may be combined provided discharge is via a minimum airbreak of 25mm and have a minimum size of 20mm diameter and be one size larger than the largest relief valve outlet.

**1.0m minimum copper pipe length from cylinder to Tempering Valve.
* If the drain exceeds a factor of 12 as a combination of length in metres and number of bends (eg 7 metres & 5 bends). We recommend the installation of an SVB vacuum Break.

COPY

Waitakere City Council
Te Tatao o Waitakere

Code Compliance Certificate

SECTION 95, BUILDING ACT 2004

THE BUILDING

Street address of building: 31 Victory Road, Laingholm, WAITAKERE
Legal description of land where building is located: LOT 644 DP 32446

THE OWNER

Name of owner: K G Hitchens and E J Hitchens
Mailing address: 31 Victory Road, Laingholm, WAITAKERE 0604

BUILDING WORK

Combined heat pump / hot water cylinder (externally mounted). Minor P&D.
Building consent number: ABA-2009-1617
Issued by: Waitakere City Council

CODE COMPLIANCE

The building consent authority named below is satisfied, on reasonable grounds, that —
(a) the building work complies with the building consent

Signature

JOHN NICHOLLS
SENIOR PLUMBING & DRAINAGE INSPECTOR

Position

On behalf of: Waitakere City Council

Date: 24-Dec-2009

WAITAKERE CITY COUNCIL



Code Compliance Certificate for ABA-2009-1617

Advice Note: This Code Compliance Certificate relates solely to compliance with the Building Act 2004 and the Building Code. It does not certify compliance with any other obligation of the owner under statute or law generally, or the Resource Management Act in particular.

Checklist for the granting of a Code Compliance Certificate

Note: This checklist makes up the requirement for what is to be kept on file in conjunction with checklist BCI-40.

Building Consent Number: ABA-2009-1617

Check if the building work completed complies with the approved building consent and conditions on file	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
In case of a compliance schedule check to ensure that the specified systems meet the required performance standards and all IQP statements have been provided	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Check if all producer statements received are acceptable under the producer statement register	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Check if the energy work certificate has been provided (section 94(3))	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Check to make sure that any amendments have been granted, & whether documentation associated with these has been properly completed	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
Check if any warnings or bans have been applied (section 94(2))	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A

Check if there are any outstanding documents still to be collected:

Survey Certificates:	
<input type="checkbox"/> Height in relation to boundary	<input type="checkbox"/> Siting
<input type="checkbox"/> Maximum height of building	<input type="checkbox"/> Minimum floor level
<input type="checkbox"/> Emergency warning systems	<input type="checkbox"/> Concrete strength
<input type="checkbox"/> Mechanical ventilation	<input type="checkbox"/> Fire doors
<input type="checkbox"/> Foundation observation	<input type="checkbox"/> Spread of flame
<input type="checkbox"/> Ground conditions	<input type="checkbox"/> Backflow
<input type="checkbox"/> Masonry - A or B grade	<input type="checkbox"/> Compaction
<input type="checkbox"/> Lifts (electrical and installation)	<input type="checkbox"/> Pile driving
<input type="checkbox"/> Drain layer's and plumber's form	<input type="checkbox"/> Waterproofing
<input type="checkbox"/> Framing treatment level and location plans	<input type="checkbox"/> As built drainage plan
<input type="checkbox"/> Engineer's certificate for storm water disposal system	<input type="checkbox"/> Structural reviews
<input type="checkbox"/> On-site storm water treatment system certificate	<input type="checkbox"/> Site welding
<input type="checkbox"/> On-site waste water treatment system certificate	<input type="checkbox"/> Glazing
<input type="checkbox"/> Electrical or gas energy work certificates	<input type="checkbox"/> Drainage
<input type="checkbox"/> Installer's PS3 for on-site waste water installation	<input type="checkbox"/> Truss layout
<input type="checkbox"/> Smoke alarms and sprinklers	<input type="checkbox"/> Home heating (fires)
<input type="checkbox"/> Cadastral plan for drainage	<input type="checkbox"/>

NONE OUTSTANDING

Please record reasons for granting or refusing the CCC:

AS PER PLANS

All inspections have been passed and all complying producer statements and certificates have been received, OK to issue CCC			Yes / <u>No</u>
Date	<u>24 DEC 2009</u>	Name	<u>J. GUTCH</u>

Checklist for the issuing of a Code Compliance Certificate

Note: This checklist makes up the requirement for what is to be kept on file in conjunction with checklist BCI-70.

Building Consent Number:

NBA-2009-167

SECTION A	1. Application for CCC received & complete; is CCC application fee paid?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	2. If applicable, has the Building final inspection passed?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	3. If applicable, has the P & D final inspection passed?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	4. CER inspection – have all certificates, etc been received and passed?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	5. Have any outstanding fees from Gems been paid (O Bal note)?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	6. If there are any outstanding fees and/or development contributions from Pathway, is the outstanding fee less than \$200.00? Customer phoned: <input type="checkbox"/> Y <input type="checkbox"/> N To pay electronically <input type="checkbox"/> / To pay on pick-up <input type="checkbox"/>	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	7. If the consent was granted after 31 March 2005, is the CCC application within 2 years of the consent being granted?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	8. If the consent was granted after 31 March 2005 and has expired, has an extension of time been applied for?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	9. If this consent was approved after 1 July 2008, have the Inspection Fees been reconciled? <i>paid by x2 @ \$178.00.</i>	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/> N/A
	10. If there are any Amendments, have they been granted?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	11. If a CCTV was required, has clearance been received and EW fees invoiced?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input checked="" type="checkbox"/> N/A
	12. Are all workflow tasks completed?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	
	13. Is the consent description correct?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	
• E-mail records for file.	<input checked="" type="checkbox"/> Y			
• Print field sheet and collate file.	<input checked="" type="checkbox"/> Y			

CCC Application	Accept / Reject / Suspend		
Date	<i>23/12/09</i>	Name	<i>Nicole</i>

Did the Technical Review for the granting of a CCC pass? Y N

SECTION B	14. Has the Intended Life been specified as less than 50 years. (<i>999</i> yrs)	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	15. If this is part of a current subdivision, has the address been checked?	<input type="checkbox"/> Y	<input type="checkbox"/> N <input checked="" type="checkbox"/> N/A
	16. Is there is a related requisition? (Put a note in Pathway to email Field Services when CCC issued.)	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	17. Is there is a related COA? (Building Construction Review Team Leader to advise wording to be added to CCC.)	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	18. Are the Owners' details correct? (Update or add if required.)	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N
	19. Is a Compliance Schedule required?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	20. Is a Septic Tank installation included?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
	21. Has a Certificate for Public Use previously been issued?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
22. Will the building be included as part of the social infrastructure?	<input type="checkbox"/> Y	<input type="checkbox"/> N	

CCC Generated	<i>Yes</i>		
Date	<i>24/12/2009</i>	Name	<i>Go</i>

Section 92, Building Act 2004

Send to: Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE 0650

Deliver to: Waitakere Central
6 Henderson Valley Road
Henderson
Telephone : (09) 839-0400
Facsimile : (09) 836-8001

The building consent

Building consent number: ABA-2009-1617 Issued on: 19/11/2009

Issued by: Waitakere City Council
(name of building consent authority that granted building consent)

Site address: 31 Victory Road, Laingholm

The owner

Name of owner: Mr K C Hitchens & Mrs E J Hitchens
(include preferred form of address, eg, Mr, Miss, Dr, if an individual)

Contact person (only if owner is not an individual): Karl Hitchens

Mailing address (NZ only): _____

Street address/registered office (NZ only): 31 Victory Road, Laingholm

Phone number (NZ only): Landline: 09 816 8708 Mobile: 0274 417 656
Daytime: 09 816 8708 After hours: 09 816 8708

Facsimile number: _____ Email address: Karl.Hitchens@irco.com

Website: _____

The following evidence of ownership **MUST BE** attached to this application (Please tick ✓ one):

- copy of certificate of title (<90 days) lease copy copy of sale and purchase agreement
 other document showing full name of legal owner(s) of the building

Agent

Name of agent: _____
(only required if application is being made on behalf of the owner)

Contact person (only if agent is not an individual): _____

Mailing address (NZ only): _____

Street address/registered office (NZ only): _____

Phone number (NZ only): Landline: _____ Mobile: _____
Daytime: _____ After hours: _____

Facsimile number: _____ Email address: _____

Website: _____

Relationship to owner: _____
(state details of the authorisation from the owner to make the application on the owner's behalf)

First point of contact for communications with the building consent authority:

(state full name, mailing address, phone number(s), facsimile number(s) and email address(es))

Karl Hitchens, 31 VICTORY RD, LAINGHOLM, 816 8708
Karl.Hitchens@irco.com

Application

All building work to be carried out under the above building consent was completed on:

dd	mm	yyyy
----	----	------

The personnel who carried out the building work are as follows:

(list names, addresses, phone numbers, and (where relevant) registration numbers) _____

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent: (list specified systems) _____

I request that you issue a Code Compliance Certificate for this work under section 95 of the Building Act 2004. The code compliance certificate should be sent to: (state which address, and whether owner or agent)

DECLARATION

All the above information is, to the best of my knowledge, true and correct. I understand that all plans, documentation and reports submitted as part of an application are required to be kept available for public record. Therefore the public may view this application, once submitted.

I have authorisation from my co-owners to sign this application on their behalf. If this application is submitted by an agent a letter of authorisation from the owner to make the application in their behalf has been provided. The letter outlines alternative billing instructions if the primary contact for billing is not the owner.

Signature of (Owner/ Authorised agent) _____ Date 17/12/09
 Name of Person Signing: KARL HITCHENS

If application submitted on behalf of company/ trust include copy of authorising documents for the company/trust and sign below.

I, _____ have authority to bind the trust/ company to the agreement.

Signature _____ Date : _____

Fees

A fee is required on lodgement of all applications. All base fees and lodgement fees are the minimum operational costs incurred by Council and are therefore non-refundable. All other fees shall be paid in full without set-off or deduction of any kind within 14 days of the date of the invoice or prior to the issue of the Building Consent, whichever is the sooner. The applicant shall further pay to Waitakere City Council, all costs and expenses (including costs on a solicitor/ client basis and debt collector's costs) incurred in the enforcing or attempting to enforce these terms and conditions or in seeking payment of all fees. Where you fail to make payment of any amount on the due date, Waitakere City Council may in addition require you to compensate it by making payment of interest as liquidated damages on the amount due from the due date for payment until the date of actual payment at a rate equal to the current overdraft interest rate Waitakere City Council has with its principal registered bank. All development contributions will be billed to the owner(s). Refer to the current Regulatory Fees & Charges Schedule for upfront Building Consent fees.

Additional Reminders (Please tick ✓):

- Have all final inspections passed? Y N
- Have all fees been paid? Y N
- Is application form completely filled? Y N
- Have all certificates been submitted and passed by Council inspectors? Y N
- If consent granted after 31-March-2005, is application within 2 years? Y N
- ↳ If No, has an extension of time been granted? Y N
- Extension Date: / /
- Has CCC fee been paid? Y N
- ↳ Note: If consent granted after 30-June-2009, CCC fees are payable on application



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy


R. W. Muir
Registrar-General
of Land

Identifier NA1069/48
Land Registration District North Auckland
Date Issued 01 April 1953

Prior References -
NA932/236

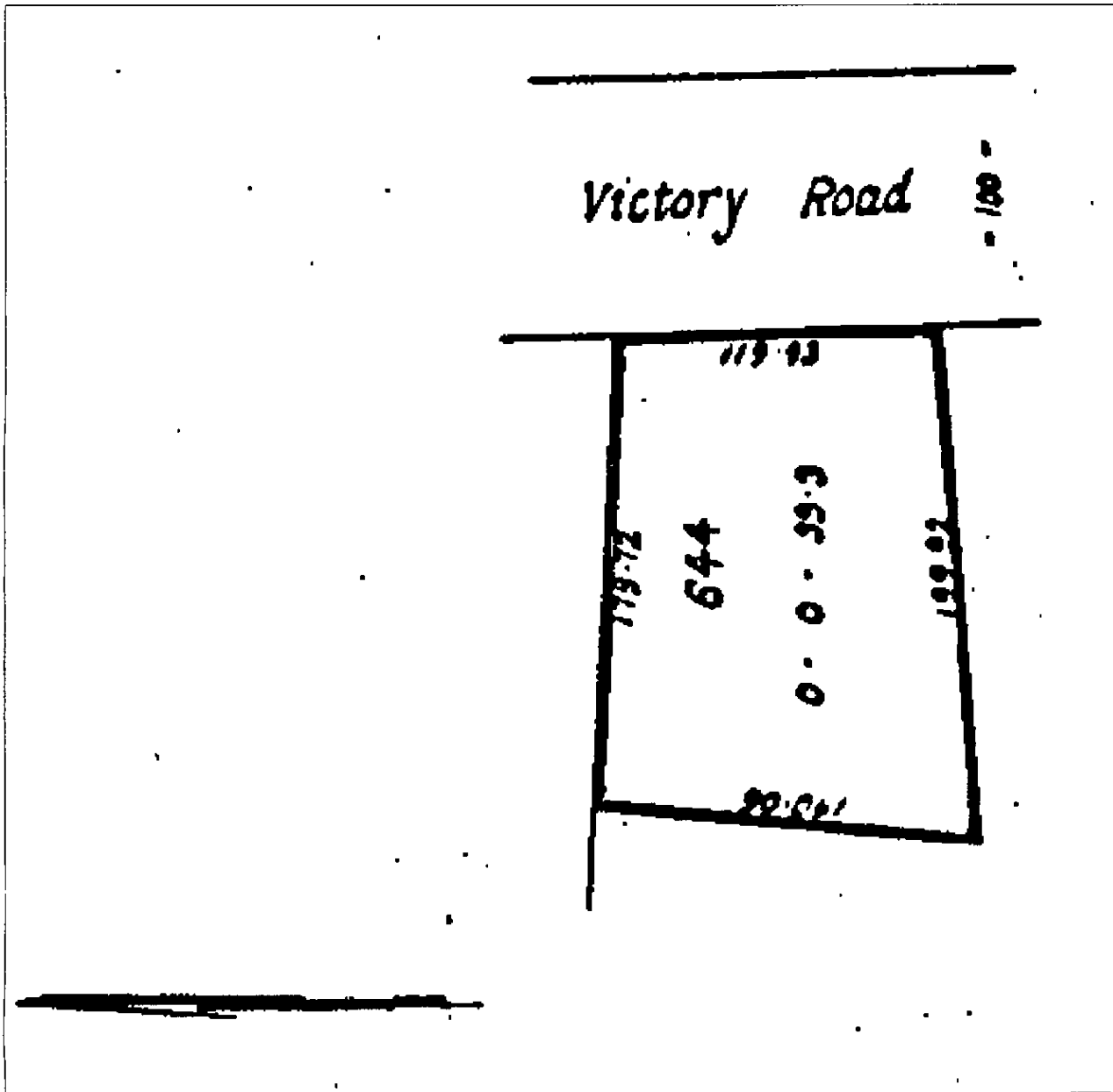
Estate Fee Simple
Area 994 square metres more or less
Legal Description Lot 644 Deposited Plan 32446

Proprietors
Karl Garry Hitchens and Erika Jane Hitchens

Interests

Subject to a water drainage right (in gross) in favour of the Waitemata County Council created by Transfer 215494
Fencing Agreement in Transfer 522347 - 1.4.1953
607108.1 Settled under the Joint Family Homes Act 1964 - 1.7.1976 at 9:00 am
5687093.3 Mortgage to ASB Bank Limited - 8.8.2003 at 9:00 am

[Faint handwritten notes or scribbles]



Request to Process Additional Information for CCC



Send to: Inspection Support
 Waitakere City Council
 Private Bag 93109
 Henderson
 WAITAKERE CITY 1231

WAITAKERE CITY COUNCIL

21 DEC 2009

MAIL CENTRE

Please complete and return to the Council with your response

Further information requested by the Council

46079

Application Number: ABA-2009-1617

Property address: 31 Victory Road, LAINGHOLM

Further Information/Certificates attached:

APPLICATION FOR COE

COMPLIANCE CERTIFICATE

SIGNED AS REQUESTED

PLEASE NOTE THAT COUNCIL WILL ONLY ACCEPT ORIGINAL OR CERTIFIED COPY CERTIFICATES AND PRODUCER STATEMENTS

Name: KIM HITCHCOCK Signed: [Signature]

Date: 17/12/09

Executive	
Corporate Services	
City Services	
Moselle	
Consultancy Services	
ECO - WATER	
Strategic Group	
Consent Services	<input checked="" type="checkbox"/>
Field Services	

16 December 2009

K G Hitchens and E J Hitchens
31 Victory Road
Laingholm
WAITAKERE 0604

Description: Combined heat pump / hot water cylinder (externally mounted). Minor P&D.
Application Location: 31 Victory Road, LAINGHOLM
Our Reference: ABA-2009-1617

Dear Sir / Madam

Your application for Code Compliance Certificate has been rejected as:

- Your CCC application has not been completed in its entirety, please sign the declaration box on the back page of the Application form.

Please respond promptly to the request. Your Code Compliance Certificate application will be processed once all items, as listed above, are received.

Please provide the requested item(s) and send to:

**Inspection Support
Waitakere City Council
Private Bag 93109
Henderson
Waitakere City 0650**

Please note:

Should Council not receive an application for Code Compliance Certificate by 16-Nov-2011, under section 93(2) of the Building Act 2004 Council is required to undertake an inspection to determine whether to issue a Code Compliance Certificate, refuse a Code Compliance Certificate and/or issue a notice to fix. All work undertaken by Council will be charged at current scheduled rates.

Yours faithfully



for Process Support Team

Inspection Fee Reconciliation

Application Number:

ABA-2009-1617

Address:

31 Victory Road, LAINGHOLM

Inspection Reconciliation		
Number of inspections invoiced at granting	2	
Extra inspections invoiced during construction		
Inspections invoiced on Amendments		
Inspections fees credited		
Total Inspections Invoiced	2	
Less number of chargeable inspections carried out	2	
Number of non-chargeable inspections		
Difference	0	
Rate per inspection (update rate if required)	\$ 178.00	
Inspection Reconciliation Total		0.00
Other Fees		
Code Compliance Certificate fee		
Other fees yet to be invoiced (EcoWater)		
Inspections over 1 hour		
Invoice / Credit Note Total		0.00
Other unpaid invoices		
Total		0.00

Name: Nicole Daniels

Date: 23/12/09

Building Consents Inspection History ABA-2009-1617

Building Consent Status: Construction Review

Building Consent Issued: 19/11/2009

Property

Legal Desc LOT 644 DP 32446

Contact K G Hitchens

Address 31 Victory Road LAINGHOLM

Description Combined heat pump / hot water cylinder (externally mounted). Minor P&D.

Amendments

ABA-2009-1617

Expiry Date: 16-Nov-2011

Date	Event	Description	Officer	Status / Result / Reason
15/12/2009 00:00:00 29160/2009	CER Certificates	RECEIVED: 1. Plumbers Form - 15/12/09		
15/12/2009 00:00:00 30340/2009	P06 Final Plumbing and Drainage	Certificates or Producer Statements Required:	John Nicholls	Passed NO CHARGE - Plumbers Form now received.
01/12/2009 12:00:00 27761/2009	P06 Final Plumbing and Drainage	Certificates or Producer Statements Required:	John Nicholls	Failed Plumbers Form required.
		PM Contact Person: Karl Contact Number: 8168708 or 0274-417656 Additional Information:		
		Cancelled by : Karl Phone Number: 0274417656 Cancellation details: cancelled for 30/11, rebooked for 1/12 Inspector: CSR Name: Catherine R		
		PM Contact Person: Karl Contact Number: 0274 417 656 Additional Information:		



Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Telephone
09 836 8000

Facimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Private Bag 93109
Henderson 0650
Waitakere

Date: 14/7/18

To the property owner/occupier,

No. 19745

Dear Sir/Madam,

Council's Environmental Monitoring Officer has conducted an inspection of your property in relation to Resource Consent RMA 70041124

As a result of the inspection, Council will:

- 1. contact you in writing to follow up on compliance with Resource Consent condition(s)
- 2. re-inspect when work has progressed further.
- 3. sign off the Resource Consent.

ENTERED

Comments: All conditions appear to be met

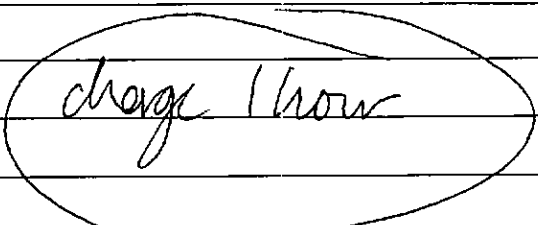
I will check Building consent for geotechnical + water table requirements

“FINALISE”

If you have any queries, please phone 836 8000 ext. Dean 8529

FOR OFFICE USE ONLY

No. 19745

Comments:	Inspection No.:
	Routine:
	On Request:
	Priority Grade:
	Compliance Performance:
	Officer: <u>Dean</u>
	Re-inspection Date:

“FINALISE”



Waitakere City Council
Te Taiaro o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Private Bag 93109
Henderson
Waitakere City

Telephone
09 836 8000

Facimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Date: 17/6/05

To the property owner/occupier,

No. 3050

Dear Sir/Madam,

Council's Environmental Monitoring Officer has conducted an inspection of your property in relation to Resource Consent RMA 20041124

As a result of the inspection, Council will:

1. contact you in writing to follow up on compliance with Resource Consent condition(s)
2. re-inspect when work has progressed further.
3. sign off the Resource Consent.

Comments: Work not complete,

If you have any queries, please phone 836 8000 ext. _____

FOR OFFICE USE ONLY

No. 3050

Address: _____ RMA No.: 20041124

ENTERED

Comments:	Date of Inspection: <u>17/6/05</u>
	Property ID:
	CCC <input type="checkbox"/> On request
	Routine <input checked="" type="checkbox"/>
<u>3 Months</u>	Re-inspection



Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000

Facimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

Date: 30/07/07

To the property owner/occupier,

No. 5499

Dear Sir/Madam,

Council's Environmental Monitoring Officer has conducted an inspection of your property in relation to Resource Consent RMA 2004 1124

As a result of the inspection, Council will:

- 1. contact you in writing to follow up on compliance with Resource Consent condition(s)
- 2. re-inspect when work has progressed further.
- 3. sign off the Resource Consent.

ENTERED

Comments: check ASA notes
attempts finalise one
ASA completed

If you have any queries, please phone 836 8000 ext. 5533

FOR OFFICE USE ONLY

No. 5499

Address: 31 Victory Rd RMA No.: 2004 1124

Comments:	Date of Inspection: <u>30/07/07</u>	
	Property ID:	
<u>Time: 1 hour</u>	CCC	On request
	Routine <input checked="" type="checkbox"/>	Inspection No.
	Re-inspection date: <u>Dec 07</u>	

Am

com-2009-1617

ENTERED

BCI-115

WCC Record of inspection
Final plumbing and drainage (P6)



Surveyor's Name	JOHN NICHOLLS	Time in	
Date	15.12.09	Time out	
ABA #	09/1617	Time total	
Address	31 Victoria Rd.		

Certificates & forms			
Septic tank	Y	N	N/A
Stormwater tanks	Y	N	N/A

Hot water source	Gas	Electric	Temperature	HWC	Capacity	Tempering valve	Y	N	N/A
------------------	-----	----------	-------------	-----	----------	-----------------	---	---	-----

Exterior							
Gas Bottles restrained & supported on pad	Y	N	N/A	Spouting	Y	N	N/A
Water meter / supply pipe	Y	N	N/A	Pipe penetrations / clips	Y	N	N/A
Gully location / height above finished GL	Y	N	N/A	Terminal vent	Y	N	N/A
Discharge pipes	Y	N	N/A	Manholes (Correct ground level)	Y	N	N/A
Downpipes / spreaders	Y	N	N/A	Dry chambers / Inspection chambers	Y	N	N/A
Parapet / gutters drainage	Y	N	N/A	Cess pits	Y	N	N/A
Balcony drainage	Y	N	N/A	Half-siphon bends	Y	N	N/A
				Solar Heating / Panel, etc.	Y	N	N/A

Interior							
HWC - restraint	Y	N	N/A	Bidets / Spa baths / bath	Y	N	N/A
HWC - access	Y	N	N/A	Air-admittance valve	Y	N	N/A
TPR & relief valves and drains	Y	N	N/A	Sprinklers	Y	N	N/A
Showers tested	Y	N	N/A	Fire collars	Y	N	N/A
Sanitary fittings sealed & secured	Y	N	N/A	Wetbacks - Open vent	Y	N	N/A
WC's - water seal / dual flush	Y	N	N/A	Pool - backwash - to gully traps	Y	N	N/A
Tap hardware	Y	N	N/A				

Backflow Preventer Device details							
Testable device(s)	Interior	Exterior		Devices total			
Non-testable device(s) or Air gap(s)	Y	N		Hazard	High	Medium	Low
Description:							
Location:							

Stormwater Tanks / Devices								
Type of Device/s:	Retention tank	<input type="checkbox"/>	Detention tank	<input type="checkbox"/>	Rain garden	<input type="checkbox"/>	Swale/filter strip	<input type="checkbox"/>
	Permeable paving	<input type="checkbox"/>	Dispersal device	<input type="checkbox"/>	Soakage pit / trench	<input type="checkbox"/>		
	Other (specify):							
If tank, is it	Buried	<input type="checkbox"/>	Above ground	<input type="checkbox"/>				
Operation and maintenance manual received?	Y	N	N/A	Producer Statement (PS4) received?	Y	N	N/A	

IMPORTANT: Please complete back page ... →

WCC Record of inspection Final plumbing and drainage (P6)

Result of Inspection:	
Passed <input checked="" type="checkbox"/>	Failed <input type="checkbox"/>
Notice to Fix Resolved <input type="checkbox"/> Additional Inspections Required: Yes <input type="checkbox"/> No <input type="checkbox"/> All previous inspections passed: Y / N All Certs requested have been received Y / N	Issue Notice to Fix <input type="checkbox"/> Field Note <input type="checkbox"/> Failed Letter <input type="checkbox"/> Certificates Required Letter <input type="checkbox"/> Amendments Required <input type="checkbox"/> Additional Inspections Required: Yes <input type="checkbox"/> No <input type="checkbox"/>

Producer statement check	Engineer's name:
Author on approved list	
Y N	

CERTIFICATES	Required	Received	CERTIFICATES	Required	Received
PLUMBING & DRAINAGE					
As-Built Drainage <input type="checkbox"/> Pre-floor <input type="checkbox"/>		<input checked="" type="checkbox"/>	Backflow Preventer Test Certificate		
Plumbers Form			Installers Certificate for Backflow Preventer		
Drainlayers Form			Water Saving Inventory Device		
Engineers Cert. for Waste-Water Installation			EcoWater Conditions		
Installers Certificate for Waste-Water Installation			Licensed Cadastral Surveyors As-Built		
Quality Assurance Certificate			ENGINEERS (PS4)		
Solar Heating Certificate			Eng Cert for Stormwater Mitigation Devices		
Gas Certificate			Other		
Other			Other		
CERTIFICATES (AS TICKED ABOVE) ARE REQUIRED AT THE INSPECTION.					

List of non-compliances / comments

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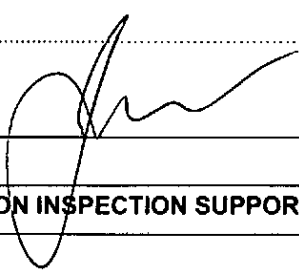
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Signed by: 

ATTENTION INSPECTION SUPPORT:	Is there a Backflow Prevention Device, has EcoWater been emailed?	YES	NO
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ATTENTION INSPECTION SUPPORT:	Is there a Stormwater Device, has EcoWater been emailed?	YES	NO
--------------------------------------	--	-----	-----------

ENTERED

ABA-2009-1617

BCI-115

WCC Record of inspection
Final plumbing and drainage (P6)



Surveyor's Name	JOHN NICHOLLS		Time in	1.30
Date	1.12.09		Time out	1.00
ABA #	09/1617		Time total	30
Address	31 Victory			

Certificates & forms							
Septic tank	Y	N	N/A	Stormwater tanks	Y	N	N/A

Hot water source	Gas	Electric	Temperature	50.30	HWC	Capacity	310L	Tempering valve	Y	N	N/A
------------------	-----	----------	-------------	-------	-----	----------	------	-----------------	---	---	-----

Exterior			
Gas Bottles restrained & supported on pad	Y	N	N/A
Water meter / supply pipe	Y	N	N/A
Gully location / height above finished GL	Y	N	N/A
Discharge pipes	Y	N	N/A
Downpipes / spreaders	Y	N	N/A
Parapet / gutters drainage	Y	N	N/A
Balcony drainage	Y	N	N/A
Spouting	Y	N	N/A
Pipe penetrations / clips	Y	N	N/A
Terminal vent	Y	N	N/A
Manholes (Correct ground level)	Y	N	N/A
Dry chambers / Inspection chambers	Y	N	N/A
Cess pits	Y	N	N/A
Half-siphon bends	Y	N	N/A
Solar Heating / Panel, etc.	Y	N	N/A

Interior			
HWC - restraint	Y	N	N/A
HWC - access	Y	N	N/A
TPR & relief valves and drains	Y	N	N/A
Showers tested	Y	N	N/A
Sanitary fittings sealed & secured	Y	N	N/A
WC's - water seal / dual flush	Y	N	N/A
Tap hardware	Y	N	N/A
Bidets / Spa baths / bath	Y	N	N/A
Air-admittance valve	Y	N	N/A
Sprinklers	Y	N	N/A
Fire collars	Y	N	N/A
Wetbacks - Open vent	Y	N	N/A
Pool - backwash - to gully traps	Y	N	N/A

Backflow Preventer Device details				
Testable device(s)	Interior	Exterior	Devices total	
Non-testable device(s) or Air gap(s)	Y	N	Hazard	High Medium Low
Description:				
Location:				

Stormwater Tanks / Devices									
Type of Device/s:	Retention tank	<input type="checkbox"/>	Detention tank	<input type="checkbox"/>	Rain garden	<input type="checkbox"/>	Swale/filter strip	<input type="checkbox"/>	
	Permeable paving	<input type="checkbox"/>	Dispersion device	<input type="checkbox"/>	Soakage pit / trench	<input type="checkbox"/>			
	Other (specify):								
If tank, is it - Buried <input type="checkbox"/> Above ground <input type="checkbox"/>					Operation and maintenance manual received?				Y N N/A
					Producer Statement (PS4) received?				Y N N/A

IMPORTANT: Please complete back page ... →

WCC Record of inspection Final plumbing and drainage (P6)

Result of Inspection:	
Passed <input type="checkbox"/>	Failed <input checked="" type="checkbox"/>
Notice to Fix Resolved <input type="checkbox"/> Additional Inspections Required: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> All previous inspections passed: Y / N All Certs requested have been received Y / N	Issue Notice to Fix <input type="checkbox"/> Field Note <input type="checkbox"/> Failed Letter <input type="checkbox"/> Certificates Required Letter <input type="checkbox"/> Amendments Required <input type="checkbox"/> Additional Inspections Required: Yes <input type="checkbox"/> No <input type="checkbox"/>

Producer statement check	Engineer's name:
Author on approved list Y N	

CERTIFICATES	Required	Received	CERTIFICATES	Required	Received
PLUMBING & DRAINAGE					
As-Built Drainage <input type="checkbox"/> Pre-floor <input type="checkbox"/>		<input checked="" type="checkbox"/>	Backflow Preventer Test Certificate		
Plumbers Form		<input checked="" type="checkbox"/>	Installers Certificate for Backflow Preventer		
Drainlayers Form			Water Saving Inventory Device		
Engineers Cert. for Waste-Water Installation			EcoWater Conditions		
Installers Certificate for Waste-Water Installation			Licensed Cadastral Surveyors As-Built		
Quality Assurance Certificate			ENGINEERS (PS4)		
Solar Heating Certificate			Eng Cert for Stormwater Mitigation Devices		
Gas Certificate			Other		
Other			Other		
CERTIFICATES (AS TICKED ABOVE) ARE REQUIRED AT THE <i>to be provided</i> INSPECTION.					

List of non-compliances / comments

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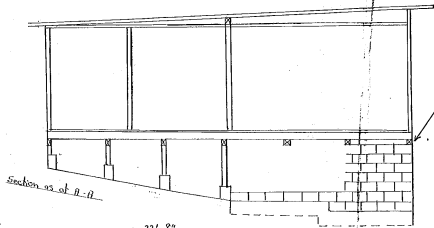
Signed by: 

ATTENTION INSPECTION SUPPORT:	Is there a Backflow Prevention Device, has EcoWater been emailed?	YES	NO <input checked="" type="checkbox"/>
--------------------------------------	---	-----	--

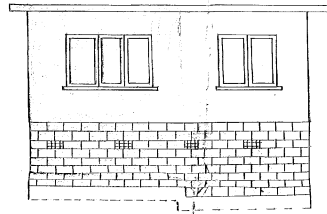
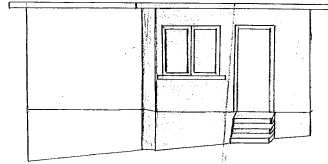
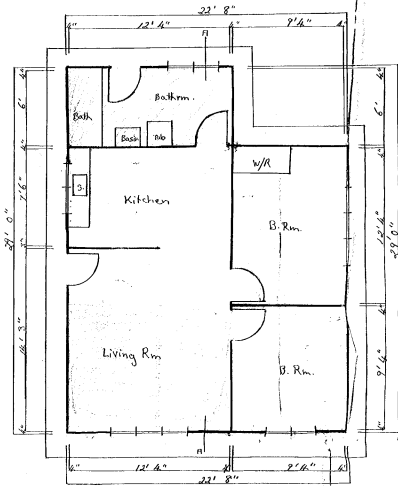
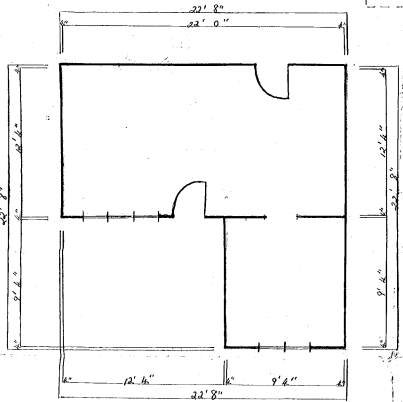
ATTENTION INSPECTION SUPPORT:	Is there a Stormwater Device, has EcoWater been emailed?	YES	NO <input checked="" type="checkbox"/>
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Scale $\frac{1}{4}'' = 1 \text{ foot}$.

Proposed Alterations and Additions to dwelling at: Victroler Rd, Laingholm Central. Owner-Builder: J. Rapana, 417 Kauri Pt Rd, Laingholm.



Beam Beam Blocks to be filled with concrete and reinforced with 2 $\frac{3}{8}''$ rods.



Stepped Foundations 12" x 12" 2 - $\frac{3}{8}''$ rods stirrups 6" center

JHR

WAITEMATA CITY COUNCIL

Date 15-1-76 19

MEMORANDUM for:

M. Robertson

No 15303

Subject:

Giffetto 31 Victory Rd Teinokiri

This job is now completed

[Large handwritten signature]

res Albert Please file under 1506
~~_____~~
3/2
3/2

NOTE — These memos are for staff and Inter-office use only and must not be used for general correspondence.

WAITAMATA CITY COUNCIL

INSPECTORS' DEPARTMENT

Attention MR _____

Thames

~~DISTRICT OFFICE~~

RE: _____

Guffels

81 Victoria St

Has the matter referred to in the attached correspondence been settled to your satisfaction.

Please attach your report to this memo and 'green copy' and return it to me.

A. B. ROBERTSON
CITY INSPECTOR

AR

Date

.15/11

62

WAITEMATA CITY COUNCIL

Date 16-12-75

MEMORANDUM for:

Mr Robertson

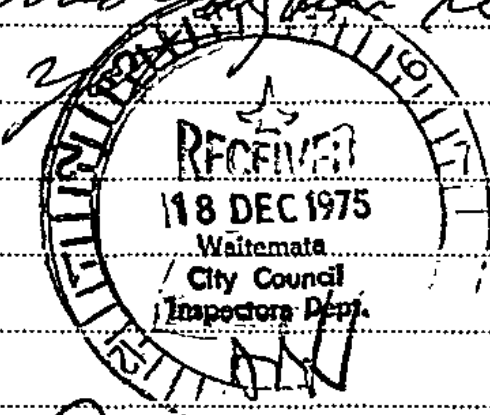
No 11437

Subject:

Keith Gray
Griffiths Job Victory Rd

I called and Mrs Griffiths told me Mr Gray had advised that he would be sending a Plumber to rectify this matter.

Called again to Day not fixed



Leave tie

see you
6/4 9/1

[Handwritten signature]

TGI

WAITEMATA CITY COUNCIL

INSPECTORS' DEPARTMENT

Attention MR ~~28~~ ~~Lee~~ MUNRO

TGI DISTRICT OFFICE

RE: Keith Hay & Griffiths
SI Victoria Rd
Dungy problem

Has the matter referred to in the attached correspondence been settled to your satisfaction.

Please attach your report to this memo and 'green copy' and return it to me.

A.B. ROBERTSON
CITY INSPECTOR



Date

12/12

RE M I N D E R R E ' B R I N G U P ' C O P Y

GREEN COPY of letter dated:- ...28.11.75...

ADDRESSED TO:- ...Keith Hay.....

RE:- ...Bryffels L. St. ...
Harrow

SENT TO INSPECTOR Mr.

DATE:- ...12/12.....

BRING UP - 9-1-



[Handwritten signature] 15/11

[Handwritten signature] 3/2

May 8 1975
Meet new Lamb
Re Test 11:00

ADR/cam

28th November 1975

Keith Hay Homes Ltd,
P.O. Box 27078,
Mt. Roadhill,
AUCKLAND 4

Attention: Mr. I.W. Hay,
Director - Construction & Marketing

Dear Sir,

S.G. & R.J. Griffiths, 51 Victory Road, Laingholm - Septic Tank
Drainage

Further to our letter dated 20th November, we advise that the present problem has arisen because the waste pipes from sanitary fittings in the dwelling were incorrectly installed.

You will recall that the drainage system was designed so that waste water from the bathroom and laundry was to be discharged to a soak pit at the rear of the dwelling, whilst the water closet and kitchen sink wastes were to be connected to a septic tank system located at the front of the dwelling.

Unfortunately, during Mr. Burns absence overseas, the plumbing was completed and the discharge points for the waste pipes were reversed so that the kitchen sink waste only, discharged to the separate soakage pit and all other wastes through the septic tank.

This has caused the failure of the soak pit originally intended for the disposal of bathroom and laundry water, and this particular system will either have to be renewed or discarded. Under the circumstances and as the septic tank system has apparently functioned without causing any problems, we suggest that on a trial basis, the sink waste be re-directed so as to discharge into the gully trap connected with that system.

Should the plumber have any doubts as to what is required, then we suggest that he should meet Mr. Burns on the site.

Yours faithfully,

A.D. Robertson
CITY INSPECTOR

12-12-75 D W Burns. Has this been fixed?
5/14 9/11 Not checked (shifting) Receipt on 11/28/75
91 16/11 D W Burns again

ABR/ocm

28th November 1975

Keith Hay Homes Ltd,
P.O. Box 27078,
Mt. Roskill,
AUCKLAND. 4

Attention: Mr. I.V. Hay,
Director - Construction & Marketing

Dear Sir,

S.G. & R.J. Griffiths, 51 Victory Road, Laingholm - Septic Tank
Drainage

Further to our letter dated 20th November, we advise that the present problem has arisen because the waste pipes from sanitary fittings in the dwelling were incorrectly installed.

You will recall that the drainage system was designed so that waste water from the bathroom and laundry was to be discharged to a soak pit at the rear of the dwelling, whilst the water closet and kitchen sink wastes were to be connected to a septic tank system located at the front of the dwelling.

Unfortunately, during Mr. Munns absence overseas, the plumbing was completed and the discharge points for the waste pipes were reversed so that the kitchen sink waste only, discharged to the separate soakage pit and all other wastes through the septic tank.

This has caused the failure of the soak pit originally intended for the disposal of bathroom and laundry water, and this particular system will either have to be renewed or discarded. Under the circumstances and as the septic tank system has apparently functioned without causing any problems, we suggest that on a trial basis, the sink waste be re-directed so as to discharge into the gully trap connected with that system.

Should the plumber have any doubts as to what is required, then we suggest that he should meet Mr. Munns on the site.

Yours faithfully,

A.D. Robertson
CITY INSPECTOR

1126

12/12

MEMO TO: CITY INSPECTOR

SUBJECT: GRIFFITHS HOUSE - LOT 644
VICTORY ROAD, LAINGHOLM

DATE: 24TH NOVEMBER 1975



I refer to the attached letter from Keith Hay Limited, dated 17th November 1975.

This section was considered very poor from a drainage view point and initially I was not prepared to accept a septic tank on the section. Mr. Griffiths sought help from Mr. Lawn, a Consultant Engineer, who felt a system would work satisfactorily on this section. To assist the drainage system, two areas were utilised, one in the front of the property, for sullage water and the other with the septic tank, to the rear of the property. This system was designed prior to my leaving for overseas. During my absence the system was installed, but unfortunately, when the plumber arrived to complete his part, the waste pipes were connect@d to the wrong gully trap and consequently, the kitchen waste discharges directly into the soakage pit without going through either the septic tank or a grease trap. This drain has become blocked and is overflowing.

The easiest solution to the problem is to redirect the kitchen waste to the other gully trap, thereby directing all waste waters to the septic tank, which is working satisfactorily at this stage.

T. MUNNS
DRAINAGE INSPECTOR.

A handwritten signature in dark ink, appearing to read "T. Munns".

Drainage Permit
1423 6.6.75

G. D. LAWN & ASSOCIATES

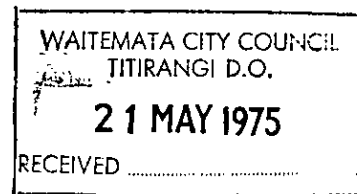
C. ENG. M.I.C.E. M.N.Z.I.E. REG'D. ENG.

CONSULTING CIVIL & STRUCTURAL ENGINEERS

827 DOMINION RD., MT. ROSKILL, AUCKLAND. TELEPHONE 699-099

13th May 1975.

The Drainage Inspector,
Waitemata City Council,
Titirangi Office,
P.O.Box. 60-000.
TITIRANGI.



Dear Sir,

RE SEPTIC TANK APPROVAL FOR GRIFFITHS HOUSE.

LOT. 644 VICTORY ROAD. LAINGHOLM.

Further to our telephone discussion of this morning, I understand that, following successful drainage testing at the above site, you have given permission for a septic tank to be installed.

I also understand that there are to be two systems:-

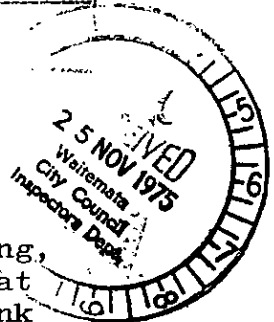
1. Septic tank to serve W.C.
2. Straight soakage systems to take sullage waters.

Details of the layout to be designed by Keith Hay Homes Ltd., to your requirements.

Yours faithfully,



G.D. LAWN.



ABR/com

20th November 1975

Keith Eay Limited,
P.O. Box 2707B,
FR. RUSSELL.

Attention: Mr. I.W. Hay
Director - Construction & Marketing

Dear Sir,

S.G. & L.J. Griffiths, 31 Victory Road, Leighton - Septic Tank
Drainage

We acknowledge receipt of your letter dated 17th November, and shall
communicate further with you on receipt of a report in regard to the
above mentioned matter.

Yours faithfully,

A.B. Robertson
CITY MANAGER

1126

27-11

[Handwritten signature]

25-11

Copy sent to T. Thomas
for report 20-11

ABR/scm

20th November 1975

Koith Hay Limited,
P.O. Box 27078,
MT. ROSKILL.

Attention: Mr. I.W. Hay
Director - Construction & Marketing

Dear Sir,

S.G. & K.J. Griffiths, 31 Victory Road, Laingholm - Septic Tank
Drainage

We acknowledge receipt of your letter dated 17th November, and shall
communicate further with you on receipt of a report in regard to the
above mentioned matter.

Yours faithfully,

A.B. Robertson
CITY INSPECTOR

1126

copy sent to
TK
for report
20/11

23/11

TGI

INSPECTORS DEPARTMENT

ACTION MEMO

Letter From: Keith Hay Group
Re: Griffiths - Dwelling

Referred to: FJD Date: 19.11.75
~~Record/Acknowledge & Notify~~

DK

Copy to Mr. ~~Means~~

Original to me/desk/file

Further Action: ~~Send to Mr.~~
~~File~~
As Required

Clerical Action Completed

Date: Initials:

Inspector: Mr. ~~Means~~

Action - Report - Information

Remarks:

(a) Please ensure that your report and copies of any correspondence relative to this matter are attached to this file and returned to me for information or further action.

(b)

Date:

Initials:

[Handwritten Signature]

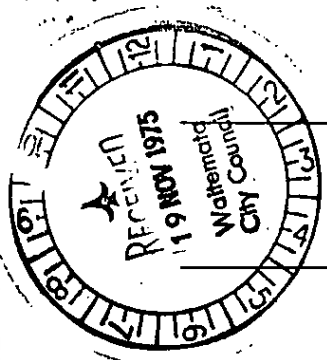
CITY INSPECTOR

20/11

05-2-1

KEITH HAY GROUP

6142



Incorporating:
Keith Hay Enterprises Ltd, Keith Hay Ltd,
Keith Hay Homes Ltd, Northern Dowel Ltd,
Roskill Timber & Hardware Ltd, Roskill Properties Ltd.
73 Carr Road, Mount Roskill, Auckland 4, New Zealand
P.O. Box 27-078 Mount Roskill, Telephone 699-199

Dedicated to serving a growing New Zealand in every way.

17th November 1975.

The Town Clerk,
Waitemata City Council,
Private Bag,
AUCKLAND.

Attention: Chief Drainage Inspector.

Dear Sir,

Re: S.G. & K.J. Griffiths, 31 (Lot 644) Victory Rd,
Laingholm.

The above client has erected on the above site, a home constructed in our Henderson Yard and delivered to the site on 6th June 1975.

Although initially the Housing Corporation was concerned that your Council could not issue a Drainage Permit, this was overcome and we were instructed to erect the house and connect the drainage to the complete satisfaction of your local Drainage Inspector, and in fact to his design and explicit instructions.

Our Drainage Contractor, B.&A. Drainage Ltd, confirms that this work was carried out and then was tested and passed by your Inspector.

Mr Griffiths is most concerned that the drainage system is not operating satisfactorily, and it is in fact a distinct health hazard.

As the system was designed by your Inspector and carried out to his instructions, would you please advise urgently the corrective measures you will be taking.

We have forwarded a copy of this letter to Mr Griffiths, and we would appreciate if you could correct the obvious design fault at your earliest convenience.

Yours faithfully,
KEITH HAY HOMES LIMITED.

IAN W. HAY.
DIRECTOR - CONSTRUCTION & MARKETING.

IWH:PK

COPIED
Action CI B
To _____ Ce _____ Cr _____
Date _____ C/Ch _____

Riding

CITY OF WAITEMATA

Roll No. / /
3380/31

No 1506

BUILDING PERMIT

Owner of Section

S.G. Griffiths

Date 20.6.75

Address

3 Laingholm Dr, Laingholm

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. 644 DP 32446 on 31 Victory Road, Laingholm in accordance with the plans lodged and

subject to the following conditions: Plumbing and Drainage to be arranged on job.
Install vent in hallway.
To notations on plans.

Nature of proposed work
Dwelling

Keith Hay Homes Ltd.,
Box 27078
MT. ROSKILL

Value of work, \$13,800

Fee \$ 48 : 00: Rec. No. 63181 - 5.21.74

For the Waitemata City Council

FOR FURTHER CONDITIONS SEE OVER

Duly Authorised Officer.

Building Inspected. Date

Insp. Intls.

DEPT. OF HEALTH & HUMAN SERVICES

9/6/75 *Footings* 102-78-1000

E-6 100 100 100 100

100 100 100 100

Final Inspection

[Signature]
10/2/76

Inspector

Register Noted. Date

10/2/76

DEPT. OF HEALTH & HUMAN SERVICES

20.2.76

CITY OF WAITEMATA

Riding

Roll No.

3380/31

BUILDING PERMIT

No 1506

Owner of Section

S.G. Griffiths

Date 20.2.76

Address

3 Laingholm Dr, Laingholm

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No.

644 DP 32446

on **31 Victory** Road

Laingholm

in accordance with the plans lodged and

subject to the following conditions:

- Plumbing and Drainage to be arranged on job.**
- Install vent in hallway.**
- To notations on plans.**

Nature of proposed work

Drilling

Value of work, \$ **19,800**

Fee \$ **48.00**

Rec. No. **03181 - 6.11.74**

Keith Day Homes Ltd.,
Box 27078
MT. ROSSILL

For the Waitemata City Council



Duly Authorised Officer.

APPLICATION NO. 292/4

PERMIT NO. 1506

DISTRICT OFFICE NO. 230/14

DATE ISSUED 20.5.75

LODGED AT DISTRICT OFFICE

DISTRICT

DATE 6/11/74

205

HEAD OFFICE DATE STAMP



WAITEMATA COUNTY COUNCIL

68 GREYS AVENUE (P.O. BOX 5440), AUCKLAND. PHONE 33-419.

BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME MR. S. G. GRIFFITHS (BLOCK CAPITALS) PHONE NO. _____

PRESENT POSTAL ADDRESS 3 LANGHOLM DRIVE, LANGHOLM

BUILDER: NAME KEITH HAY HOMES LTD. PHONE NO. 699-199

POSTAL ADDRESS P.O. Box 27-078 Mt Roskill
(Permit will be posted to builder unless otherwise requested)

SIGNATURE OF APPLICANT [Signature] for KEITH HAY HOMES

NATURE OF PROPOSED BUILDING WORK:
dwelling

FLOOR AREA OF PROPOSED WORK

Basement: _____
Ground Floor: 953 sq ft
First Floor: _____
Others: 88.536 m²
Total: 953 sq ft

VALUE OF WORK \$ 13800 FEE \$ 48 PAYABLE ON APPLICATION.

FULL LEGAL DESCRIPTION OF SECTION

(as appears on either rate demand or title deeds)

LOT 644 DP 32446 Victory Rd. LANGHOLM

BUILDING RESEARCH ACT 1969
Levy on Buildings Valued at \$3,000 or over
Amount of Levy 7.00
Receipt No. 63179 + 63180
Date 5. 11. 74

VALUATION ROLL NO. 3380 / 31

NAME OF PREVIOUS OWNER OF SECTION _____

AREA OF SECTION 39 dec 3 perches Acre(s): FRONTAGE 79'-2" Feet

ROAD NAME 31 Victory Rd LOCALITY LANGHOLM

IMPORTANT - SEE INSTRUCTIONS ON PAGE FOUR

FOR OFFICE USE ONLY

REMARKS Water Pd R/63183

Permit Issued Subject to the Following Conditions

- ① Chimney & Drainage to be arranged on job
- ② Attic to be ventilated

TO NOTATIONS ON PLANS

Approved by [Signature] Building Inspector 13/5/75 Date

Approved by [Signature] Plumbing/Drainage Inspector 14-7-74 Date

Approved by _____ Health Inspector _____ Date

Town Planning Zoning RES A Town Planning Officer 20-5-75 Date

Building Permit Fee \$ 48 Receipt No. 63181 Date 5. 11. 74

Road Damage Deposit Fee \$ 10 Receipt No. 63182 Date 5. 11. 74

Road Damage Deposit Refund \$ 10 To 63185 bldg Date 23-2-76

Cost of Vehicular Crossing \$ 105 Date 5. 11. 74

Electricity Transmission Lines: Present/Not Present over property* Location of ARA or NSDB Trunk Sewers Checked - Release/Hold*

*Delete not applicable. Initials _____ Date _____

PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY

(Full specifications are required for all other work)

FOUNDATIONS

If solid concrete. Size of footings Walls Reinforcing

If concrete blocks. Size Spacing

N.B. All blocks must be at least 12" in to ground and set on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size			Top Plates. Size
Noggins	Size		Number of rows of noggins	

N.B. (a) Minimum stud height for dwellings is eight feet.
(b) Top window trimmers must be checked $\frac{1}{2}$ " or otherwise supported.

ROOF

Covering Ridges. Size Purlins. Size

..... Sarking. Size Under Purlins

	Size	Spacing	Span	Timber
Rafters

MISCELLANEOUS

Flooring. Size Exterior Sheathing

Inside Lining

Is any second-hand material to be used in the proposed construction? If YES, then a separate application must accompany this form.

SANITATION

Privy Type e.g. water closet, chemical pan or night soil?

N.B. If chemical pan or night-soil pan, the privy building must be at least 15' away from dwelling.

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE

DRAINAGE AND PLUMBING

All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Health Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.

KEITH HAY HOMES
LIMITED

73 Carr Road, Mt Roskill.
Auckland 4, N.Z.
P.O. Box 27078 Mt. Roskill.
Telephone 699-199.



"Building fine homes for New Zealanders everywhere"

Branches:
Kaikohe, Whangarei, Warkworth, North Shore, Avondale, Mt. Roskill, East Tamaki,
Drury, Hamilton, Rotorua, Taupo, New Plymouth, Palmerston North, Christchurch.
Bankers:
The National Bank of New Zealand Ltd.

OWNER:

..... Mr. S. E. Griffiths:
.....

SIGNED KEITH HAY HOMES LTD: p.p.

SPECIFICATION:

of work done and materials used in the construction of
"Ready-Built" Homes, designed and built to conform with
N.Z.S.S.1900 Building Code Standards, by KEITH HAY HOMES LIMITED,
Building Contractors.

GENERAL:

"Ready-Built" Homes are stoutly constructed by thoroughly competent
tradesmen, and under the constant supervision of the principals, and
to the true intent and meaning of these plans and specifications and to the complete
satisfaction of the Local Body and Lending Institution Inspectors.

"Ready-Built" Homes are completed in every detail at the Assembly
Yards of the Contractors and are delivered to the Purchaser, level and plumb, on
concrete blocks with all necessary jack-studding and bracing to height not exceeding
~~2'3"~~
4'6" from ground to underside of flooring at any point.

All measurements on plan, materials and fittings used and quoted in
the following specifications are standard and any deviation from measurements,
fittings, furnishings, etc. as scheduled in these Specifications must be by
arrangement with the Builders and to the approval of the Local Body concerned.

SITE:

Clearing and preparation of the site on which the "Ready-Built" Home
is to be placed, is the responsibility of the Purchaser unless
arrangements to the contrary are made. The site must be clearly marked with pegs,
indicating the position that the building is to be placed. Boundary pegs must also
be clearly marked. The Builder will not be responsible for the placing of a
building on a wrong section, too near or over a boundary line.

INSURANCES:

It is clearly understood that the Builder is fully responsible for the
building until it is delivered to the site and is then covered by a
Builders Risk policy for 30 days unless the building is occupied or alternative
insurance is arranged by the owner. If the Purchaser so desires, the Builders can
make arrangements for Hartford Monarch Insurance Group to take over the Insurance on
behalf of the Purchaser.

BUILDING PERMIT: The Building Permit is to be obtained by the Purchaser and lodged at the Office before the building is commenced, or in the event of a stock house before the house is delivered, with all fees payable by the Purchaser unless contrary to the terms of the contract.

DAMAGE TO PROPERTY: The Contractors cannot be held responsible for any damage to property other than that of careless workmanship. The Builders will, if necessary, adjust doors or windows up to thirty-one days after delivery, at no extra charge.

ROCK & SUBSTANDARD BEARING GROUND:

No allowance has been made for excavation and removal of rock. Any encountered in excavating for drainage or foundations will be removed at cost plus 10% Contractors margin. No allowance has been made for any extra foundations required by Building or Institution Inspectors should fill or Substandard bearing ground be encountered.

TIMBER SCHEDULE: The Contractors reserve the right to change the timber used in any building, but in all cases these changes will comply with the Local By-Laws. Any change will be subject to an increase or decrease in the price originally quoted, and the Purchaser informed accordingly.

Concrete Pile Foundation. 8"x8" Piles on 12"x12"x4" Concrete Pads as required.

Jack Studs at 4'6" crs.	B.Ht. Rimu, B.Ht. Matai or T.Pine.	4" x 3"
Jack Stud Block Plates.	" " "	6" x 6" x 2"
Sleeper Plates.	" " "	4" x 3"
Floor Joists at 18" crs.	Treated Pine.	6" x 2"

Exterior Framing.	Treated Pine, B.A.R. or D.Fir.	4" x 1½"/4" x 2"
Braces checked into exterior walls.	" " "	Galv. Steel or 4" x 1"
Dragon Ties 6' return to corner checked in.		Galv. Steel or 4" x 1"
Trimmers to openings.	Treated Pine or B.A.R.	up to 4'6" 4" x 3"
		4'6" to 6'0" 6" x 2"
		6'0" to 8'0" 8" x 2"
		up to 11'6" 8" x 4"
		as per Engineers calculations.

Trimmer Studs:	Opening under 4'6" check ½".	4" x 2"
	Opening over 4'6" double studs.	4" x 2"
	Spiked together, one supporting lintel.	

Trusses at 3'0" crs. Bottom cords.	T.Pine or D.Fir.	4" x 2"
or at 4'6" crs.		
Braces, struts and Hangers.	T.Pine, B.A.R. or D.Fir.	3" x 1"
Rafters at 3'0", 4'0" or 4'6" crs.		6" x 2"
Purlins at 30" crs. on edge or flat.	T.Pine, B.A.R. or D.Fir.	3" x 2"
2 x 1½ Battens if Bituminous Metal Tile Roof.		

Internal Framing.	T.Pine, B.A.R. or D.Fir.	3" x 2"
Ceiling Battens at 12" & 18" crs.	T.Pine, B.A.R. or D.Fir.	2" x 1½"
		or 3" x 1½"

Flooring. ¾" High Density Particle Board.
Laminated Beams, as per plan to N.Z.S.R.34.

.....
For KEITH HAY HOMES LIMITED.
OWNER.

EXTERIOR SHEATHING:

WEATHERSIDE - 9½" fixed to Manufacturers specifications.

FIBROPLANKS - 9½" fixed to Manufacturers specifications.

HIGHLINE - fixed to Manufacturers specifications.

All interior finishing timbers - Untreated Pine Joinery Grade.

Any timbers not mentioned in above schedule are of same class as timbers in similar position.

CARPENTER & JOINER: All timbers to be strictly in accordance with the classes specified, all door frames, moulding and finishing timbers and Joinery work are clean, selected Radiata Pine. Exterior Joinery frames and sills, also outside doors, to be clean treated Pine, Matai, Tawa or Rimu. All nails in exposed work have to be punched and exposed timbers dressed.

FLOOR JOISTS: To be gauged on Sleeper Plates to a uniform level and securely spiked in long lengths.

FRAMING: The whole of the building to be framed, nailed and fastened together in a thorough and tradesmanlike manner with materials as scheduled and hereafter specified.

STUDS: Studs to external walls 4" x 2" at 20" crs. max.
Studs to internal walls 3" x 2" at 24" crs. max.

BRACING: External walls securely braced where possible with 4" x 1" checked in braces or galv. steel braces. Internal walls braced with 3" x 2" cut in braces or galv. steel braces.

CEILING BATTENS: 2" x 1½" at 12" or 18" crs. with trusses at 3'0" crs.
3" x 1½" at 12" or 18" crs. with trusses at 4'6" crs.

ROOF FRAME: To be constructed robustly of trusses and jack rafters of 4" x 2" at 3'0" crs., or 4'6" crs., securely nailed and birdmouthed over plates. Purlins 3" x 2" on flat or edge at 30" crs.

EXTERIOR SHEATHING AND FINISHING:

Weatherside (or as described in schedule) in as long lengths as possible and securely nailed at each stud, covered with galvanised angle soakers at all external angles, butted and covered with galvanised soakers or P.V.C jointer at joints.

Fibrolite fitted over building paper to manufacturers specifications.

SOFFIT: Boxed with 3/16" Flat Fibrolite.

FACINGS & SCRIBERS: 2" x 1" Tanalised Pine, D.A. Rimu or D.A.Matai, D.A.Totara, Treated Matai or Treated Rimu.

FLOORING: As scheduled, fitted out under plates and run under all partitions.

INTERIOR WALL COVERINGS AND FINISHING:

All walls are covered with 3/8" Gibraltar Board. Paper finished rooms to be flush jointed, all painted rooms to be suitably battened at joints with

.....
For KEITH HAY HOMES LIMITED.

.....
OWNER.

April 1974.

1 1/2" wall batten. 3/4" quadrant moulding at corners. All ceilings of 3'0" x 1'0" Pinex Insulating Shiplap Panels.

All skirtings to be of 2-5/8" x 1/2" bevelled and architraves of 1-5/8" x 1/2" square dressed. Wood scotia to cornices.

Feature panels of Light Sapele Random Grooved Duragrain:.....^{Yes}.....

JOINERY:

DOORS, SASHES AND FRAMES: Of materials as previously specified, and as shown on plan.

ALL INTERIOR DOORS: Clean flush type Hardboard Doors 7'10" x 2'6" to main rooms. 7'10" x 2'2" to utility rooms. Wardrobes, Linen, H.W.C., Coats etc. 7'10" x 1'6", 1'11" or 2'6" hung or sliding as shown on plan.

FRONT AND BACK DOORS: Cedar, Redwood or Tanalised Pine. Obscure Glass.
Front Door: 7'0" x 2'8". 2 Lt.
Back Door: 7'0" x 2'8". 2 Lt.
~~French Doors: as per plan.~~
Aluminium Sliders: as per plan.

PLUMBING: All plumbing work to be carried out under strict supervision by reputable and registered Contractors. Standard fittings where applicable.

BATHROOM AND W.C.: Stainless steel shower base with Seratone lining selected from standard colour range, and/or Vitrous enamel 5' pressed steel bath. Rickstan 'Marblelustre' vanity top and bowl on wooden unit, ~~or White Porcelain hand basin on brackets~~, all complete with plug and waste and hot and cold water taps. Water Closet of N.Z. manufacture complete with low water cistern, white flexible nylon seat, terminal vent as required, and ready for outflow to sewerage.

LAUNDRY: 22" x 16" single stainless steel seamwelded wash tub with wooden unit. Hot and cold water taps to tub and washing machine.

KITCHEN: 30/~~40~~ gallon hot water cylinder to be installed in airing cupboard. Formica sink bench, selected from standard colour range, with Stainless steel bowl central, complete with plug and waste, hot and cold water taps. All hot and cold water run in concealed copper pipe to a point ready to be connected to main supply, P.V.C. pipe may be used for cold water. 1 Hose tap fitted adjacent to back door.

ROOF: (A) Long Run Corrugated Iron roofing to be fitted over building paper supported on galvanised netting. All ridges, valleys, guttering and downpipes in Galvanised Iron, securely fixed ready for outflow to soakholes or drain. All laps of iron to be painted.

OR

(B) ~~Bitumous Tiles fitted to manufacturers specifications. Valleys, guttering and downpipes in Galvanised Iron securely fixed ready for outflow to soakholes or drain.~~

.....
For KEITH HAY HOMES LIMITED.

.....
OWNER.

PAINTING: All painting work to be carried out under strict supervision, with high grade materials. Exterior and interior colour schemes may be selected by the Purchaser, to a maximum of 3 exterior and 7 interior colours. Additional colours at an extra cost. Generally the paintwork is as follows:-

Exterior:- Roofing is unpainted. Prime all Weatherside 1 coat of GENERAL PURPOSE priming before fixing. All other exterior timbers to be primed. Then stop with first grade putty to all nails holes scribes and any defects. Then apply to all exposed woodwork, 1 coat of approved undercoat followed by 1 coat of High Gloss. Galvanised Iron spouting and downpipes to receive 2 coats of Acrylic paint. One coat of sealer to fibrolite wall sheathing, soffit lining and gable ends, followed by one coat of P.V.A. plastic paint.

Interior:- Ceilings to bedrooms, hall and lounge, etc. to receive 2 coats of P.V.A. paint. All woodwork to above rooms etc. to receive 3 good coats of paint. Walls to same to receive 2 coats of P.V.A. plastic paint or flat enamel paint, paint to any approved colour.

In lieu of paint to walls in Bedroom, hall and lounge, paper will be supplied and fixed to the value of \$3.00 per standard roll. When papered all plaster joints, etc., to receive 1 coat of sealer.

Doors - all interior hardboard doors to have standard paint finish to selected colours. Paint 3 coats of paint. Interior wardrobes, 1 coat of P.V.A. plastic paint.

Kitchen, Bathroom, Toilet and Laundry walls, ceilings, and inside of cupboard doors, to receive 1 coat of sealer, 1 coat of enamel undercoat, and 1 coat of approved enamel. Interior of all cupboards are unpainted.

ELECTRICIAN: (Note: owner must requisition for power supply in certain areas). All electrical work and installations to be executed by reputable and registered Contractors and the following details are standard. All circuits to be run in approved cable. Main switchboard located in back porch or alternate position decided by Contractor and serviced from outside of building. Sub-boards where required are to be located by the Contractor.

TOTAL of lights and power points are as follows:-

- Interior ceiling or wall lights. (One to each room). Number: 10
- Power Points. (One to each main room, 2 to lounge & kitchen). Number: 9
- T.V. Aerial Connector to lounge.
- Exterior lights. (One to front and rear entrances). Number: 2.

- Point for Hot Water Service.
- Stove wiring for 4 plate supply.
- (All lights complete with plain opal shades, except wall lights).
- 1 Hot Water element of 1000 watts. and thermostat supplied.
- 1 ~~full size ATLAS 22½" Four-Plate Automatic Stove.~~

22½" 4 plate Atlas Automatic Stove.

STANDARD FITTINGS AND FIXTURES SUPPLIED:

KITCHEN: 5'6" Sink Bench Unit, 4 Drawers, 3 Cupboard Doors and chopping board.

.....
For KEITH HAY HOMES LIMITED.
OWNER.

Dresser Units with Formica surfaced dresser top.

~~6'0" 4 Hung Doors.~~
4'6" 3 " " "
~~3'0" 2 " " "~~

Top Cupboards.

~~6'0" 4 Hung Doors & 2 Hardboard sliding doors below.~~
4'6" 3 " " " " " " "
~~2'0" 2 " " " " " " " "~~
2'3" 2 " " " " " " " "

Floor to ceiling Pantry. 1'6" or 3'0". 1 door or 2 door.

" " " Airing Cupboard. 1 Door.
" " " Broom " 1 "

BATHROOM: Built-in Shaving Cabinet with mirror and accessory shelves, toilet roll fixture, towel rail, soap recesso, tooth brush rack, 2'6" wooden unit with Rickstan 'Marblelustre' top.

LAUNDRY: Wash tub with cupboard under, built-in ironing board where possible. Soap recesso over tub.

SUNDRY: Lockset to front, back ~~and french~~ ^{and} doors. Tulip Style.
Latchsets to interior doors. Tulip Style.
Snibset to W.C. & Bathroom. Tulip Style.
Awning windows with C.P. catches.
1 1/2" Satin Chrome handles to cupboard doors where applicable.
1 1/2" Satin Chrome recessed finger pulls to sliding doors.

BASE SHEATHING: Base of dwelling to be sheathed with 3/16" or 1/2" flat asbestos cement sheets suitably battened at joints and corners. Fibrolite unpainted. Adequate ventilation to sub-floor.

STEPS: Pre-cast concrete treads with galv. steel stringers fitted to front/back door. Wooden steps to front/back door.

HANDRAILS:

LANDINGS/DECKS:

WASTE PIPES: Carry waste pipes from fittings to gulley traps with all necessary fittings, etc. to conform to any governing regulations or by-laws.

WATER CONNECTION: Run feeder supply from main supply in 1/2" copper or alkathene tube.

WATER SUPPLY: 500 @ gallon concrete tank & pressure unit.

.....
For KEITH HAY HOMES LIMITED.

.....
OWNER.

April 1974.

DRAINAGE: Install complete sanitary and stormwater drainage system in accordance with best trade practice to the satisfaction of any governing authority.

ELECTRICAL MAINS: Electrical mains connected from switchboard to power point of entry on House. New overhead power connection from existing pole or road to point on House to a maximum distance of 60', generally installed free by Power Boards. No allowance for underground mains.

HEATING: Install two only thermostatically controlled electric central heating units. Aireheat Model 2KW-W or similar.

FLOOR SANDING: At completion all floors to be treated with electric sanding machine with a standard cut.
N.B. This is not suitable for polyurethane.

DRAINAGE: Install complete sanitary and stormwater drainage system in accordance with best trade practice to the satisfaction of any governing authority.

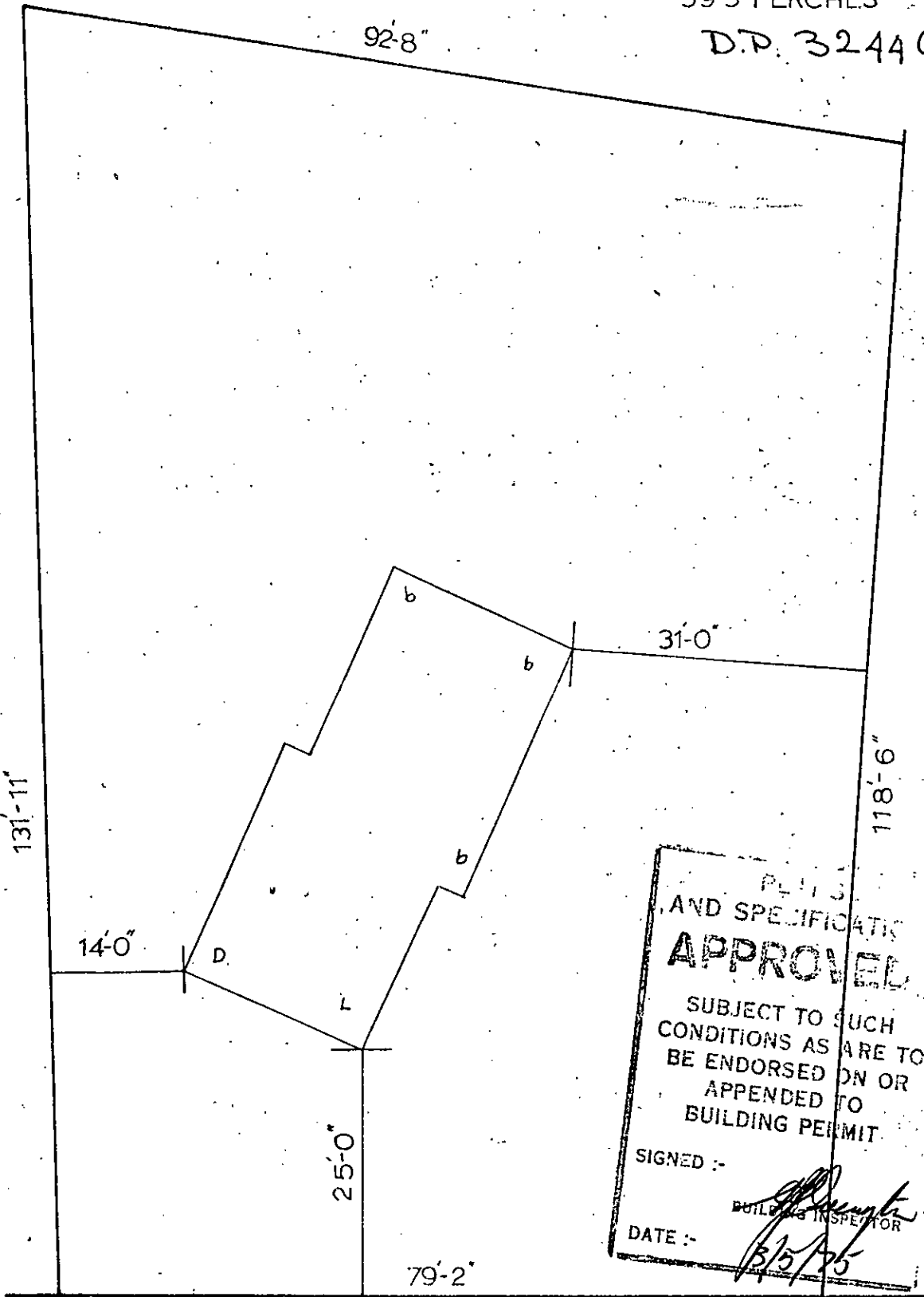
ELECTRICAL MAINS: Electrical mains connected from switchboard to power point of entry on House. New overhead power connection from existing pole or road to point on House to a maximum distance of 60'. Generally installed free by Power Boards. No allowance for underground mains.

HEATING: Install two only thermostatically controlled electric central heating units. Atresheat Model SKW-W or similar.

FLOOR SANDING: At completion all floors to be treated with electric sanding machine with a standard cut. N.B. This is not suitable for polyurethane.

SITE PLAN
S.G. GRIFFITHS

39.3 PERCHES
D.P. 32446



LOT 644 VICTORY RD.

Keith Hay Homes Ltd

73 Carr Road, Mt. Roskill
Auckland N.Z. phone 699-199

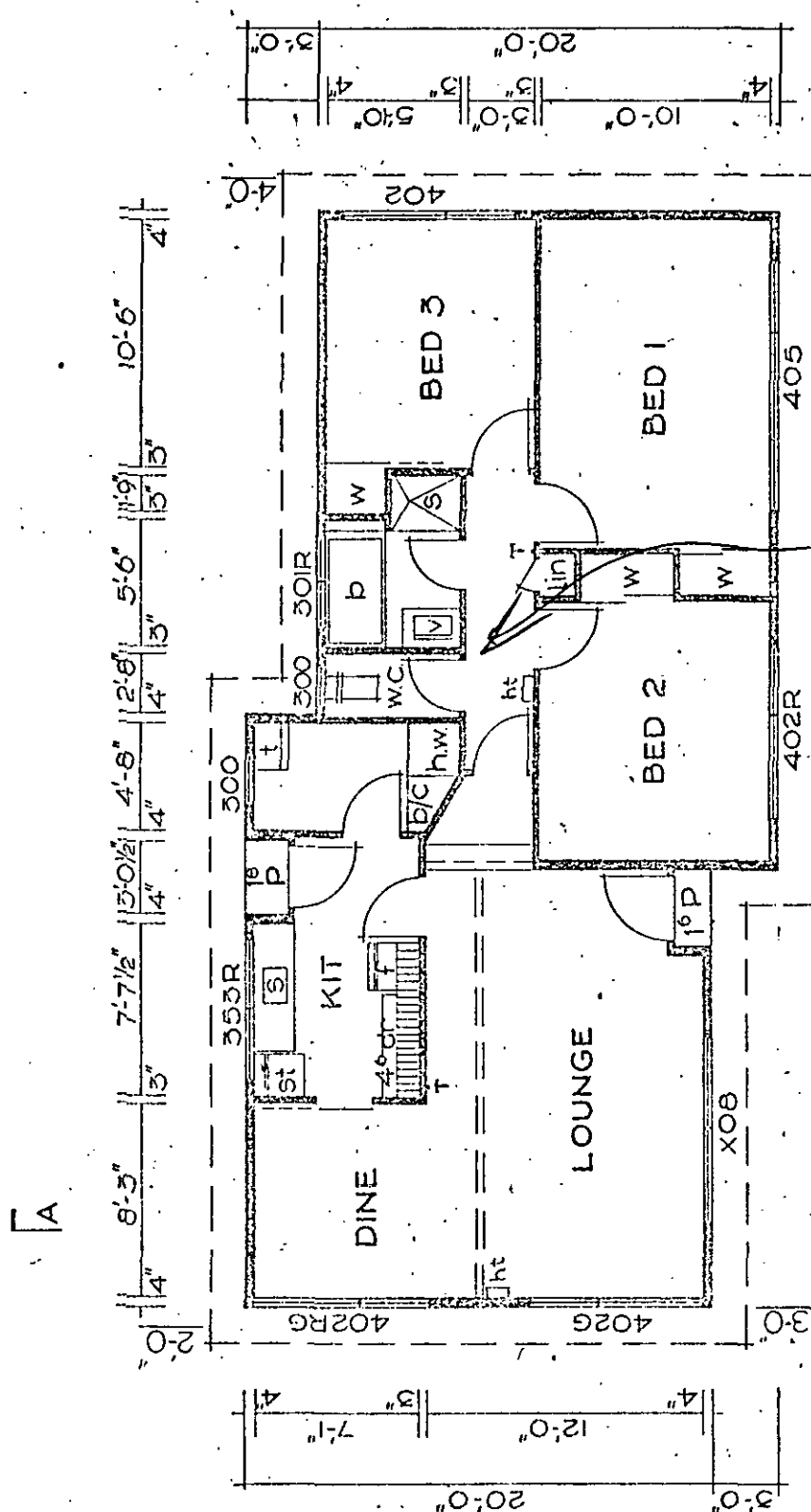
Scale
1/16" = 1'-0"

Drawn
MGL

Area

PLAN REF. NO.

3256



Safety to be ventilated

APPROVED
SPECIFICATIONS

SUBJECT TO SUCH CONDITIONS AS ARE TO BE ENDORSED ON OR APPENDED TO BUILDING PERMIT

SIGNED: *[Signature]*
BUILDING INSPECTOR

DATE: 13/2/75

SG GRIFFITH S-3256

Kelth Hay Homes Ltd

76 Carr Road, Mt. Rockill
Auckland N.Z. phone 699-199

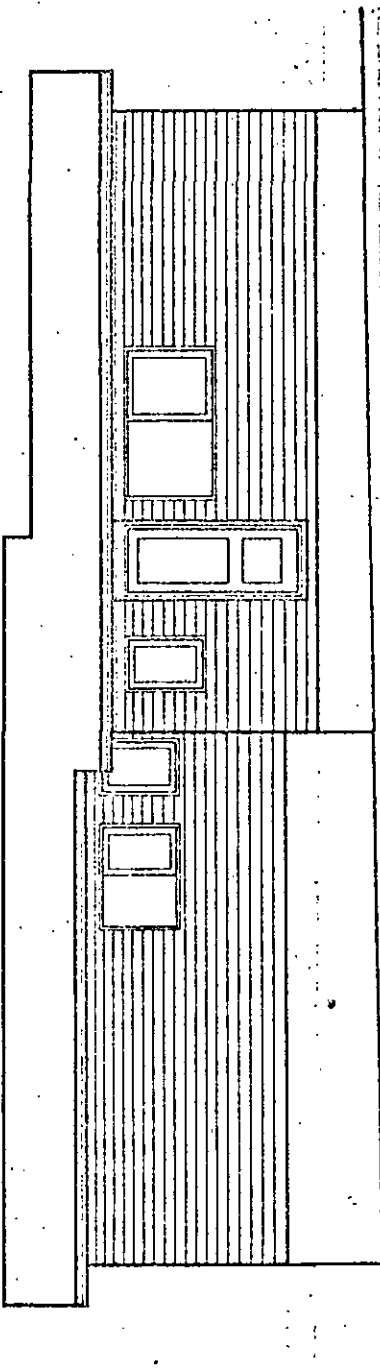
Scale	1/8" = 1'-0"
Drawn	
Area	953 sq.ft.

PLAN REF. NO.

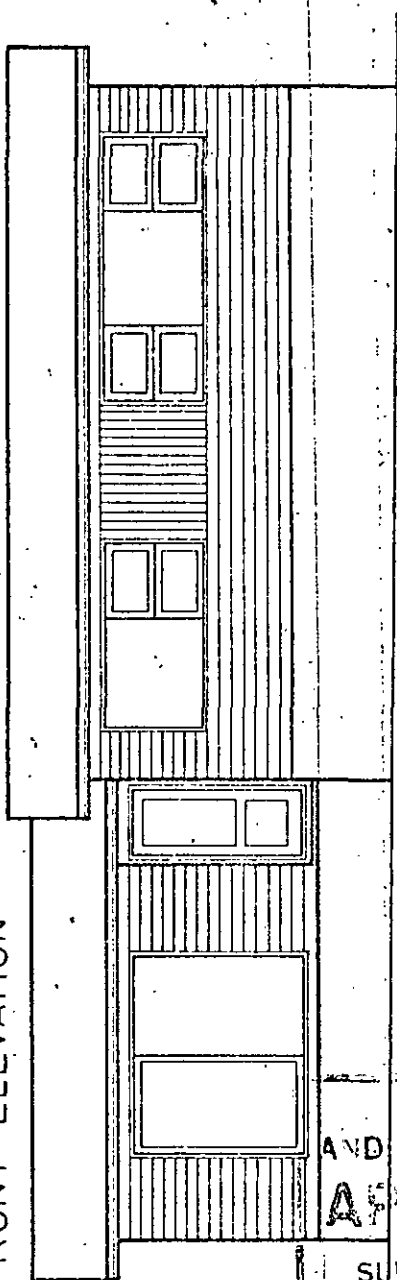
887

100-4335

REAR ELEVATION



FRONT ELEVATION



PLANS AND SPECIFICATIONS APPROVED

SUBJECT TO SUCH CONDITIONS AS ARE TO BE ENDORSED ON OR APPENDED TO BUILDING PERMIT

SIGNED :-

[Signature]
 BUILDING INSPECTOR

DATE :-

18/5/77

SG GRIFFITHS-3256

Kelth Hay Homes Ltd

73 Carr Road, Mt. Roskill
Auckland N.Z. phone 699-199

Scale 1/8" = 1'-0"

Drawn

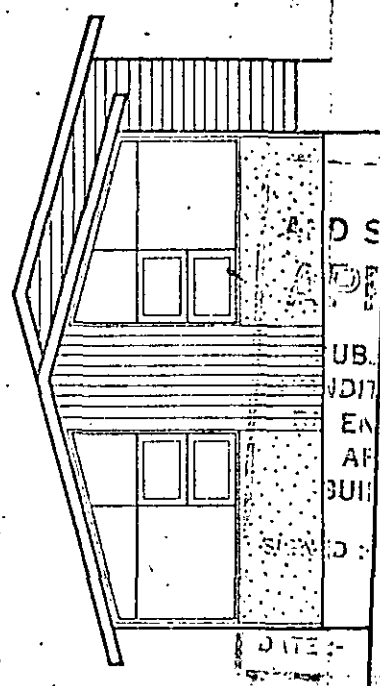
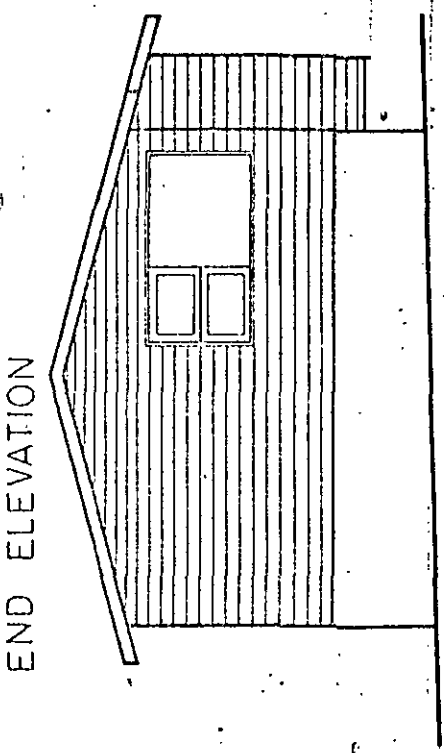
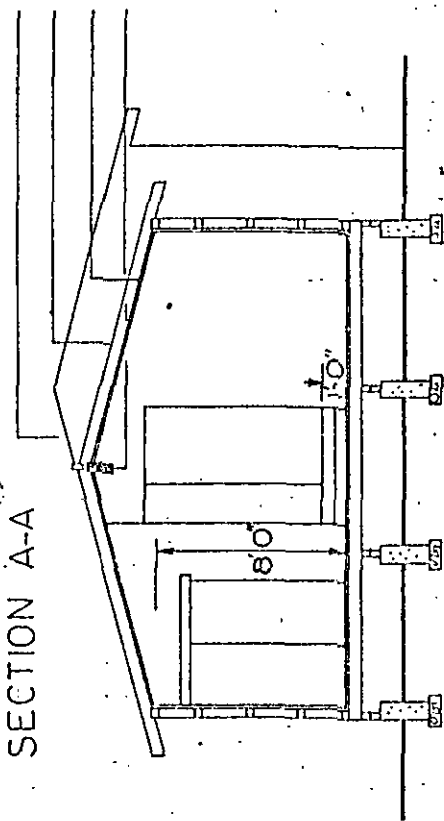
Area 953 sq ft.

PLAN REF. NO.

887

5011-1001

15° pitch
 6"x2" rafters at 3'0" centers
 Pinex tiles on battens
 12 1/4" x 3 1/2" lam beam



PLANS
 AND SPECIFICATIONS
 APPROVED

SUBJECT TO SUCH
 CONDITIONS AS ARE TO
 BE ENDORSED ON OR
 APPENDED TO
 BUILDING PERMIT

[Signature]
 BUILDING INSPECTOR
 13/5/75

SG GRIFFITHS - 3256

Koich Hay Homes Ltd

73 Carr Road, Mt. Roskill
 Auckland N.Z. phone 699-199

Scale
 1/8" = 1'-0"
 Drawn
 Area
 953 sq.ft.

PLAN REF. NO.

887

SEP 807

CITY OF WAITEMATA

Roll No. / /

33800/31

Nº 17581

BUILDING PERMIT

Owner of Section

S.G. AND. K.J. GRIFFITHS,

Date 21st July 1981

Address

31 Victory Rd, LAINGHOLM.

THIS PERMIT is granted to the undermentioned person authorising the following building-work on Lot No 644 D.P. 32446

on 31 Victory Rd, LAINGHOLM.

in accordance with the plans lodged and

subject to the following conditions:

To notations on plans.

Nature of proposed work

ADDITION TO DWELLING

Value of work, \$3,800

Fee \$ 30 : 0 : 0 Rec. No. B017 6/7/1981

G. A. BENNETT.
11 Staley Rd,
PARAU, TITIRANGI.

For the Waitemata City Council



FOR FURTHER CONDITIONS SEE OVER

Duly Authorised Officer.

Building Inspected. Date _____ Insp. Intls. _____

Final Inspection _____

Albuquerque
2/19/81

Inspector

Register Noted. Date _____

14.10.81

CITY OF WAITEMATA

Roll No. / /

33800/31

No 17581

BUILDING PERMIT

Owner of Section

S.G. AND. E.J. GRIFFITHS,

Date 21st July 1981

Address

31 Victory Rd, LAINGHOLM.

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No 644 D.P. 32446

on 31 Victory Rd, LAINGHOLM. in accordance with the plans lodged and

subject to the following conditions:

To notations on plans.

Nature of proposed work

ADDITION TO DWELLING

Value of work, \$3,800

Fee \$ 30 : 0 : 0 Rec. No. B017 6/7/1981

G. A. BENNETT.
11 Staley Rd,
PARAU, TITIRANGI.

For the Waitemata City Council



Duly Authorised Officer.

FOOTING - BOND BEAM - PRE-LINING - FINAL INSPECTION

17581

BUILDING PERMIT NO.

NAME OF OWNER:

~~Bennett~~ Griffiths

LEGAL DESCRIPTION: LOT

P.L. NO:

LOCALITY - ROAD & DISTRICT:

31. Victory Rd

DATE:

DATE:

INSPECTED ON:

OR

R/D Refund requested 29/9/81

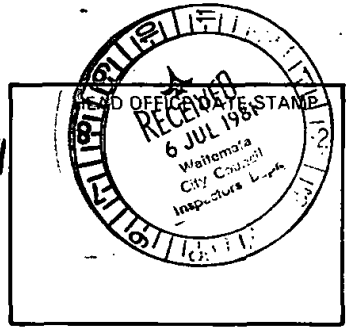
INSPECTED ON:

Not satisfactory - please contact
Inspector - Tel: HSK 63-338 - (3)
HSK 63-390 - (3)
between 8.30 - 9.45 a.m.

INSPECTOR'S INITIALS:

APPLICATION No. 704/8
 FINAL CHECK Initials [Signature]
 Date 2/7/81

PERMIT No. 17581
 DATE ISSUED 2/7/81
 Authorised Officer [Signature]



CITY OF WAITEMATA

JOHN HENRY CENTRE, 6-8 PIONEER STREET, HENDERSON
 POSTAL ADDRESS: PRIVATE BAG, HENDERSON 8 — PHONE: HSN 61-195 and 61-119
 INSPECTORS DEPARTMENT ON GROUND FLOOR

BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME S. G. K. J. GRIFFITHS PHONE No. TCN 4206
(BLOCK CAPITALS)
 PRESENT POSTAL ADDRESS 31 VICTORY RD, LAINGHOLM
 BUILDER: NAME BENNETT G. A. PHONE No. 4344 TCN
 POSTAL ADDRESS 11 STALEY RD, PAKAU, TITIRANGI
(Permit will be posted to builder unless otherwise requested)
 SIGNATURE OF APPLICANT S.A. Bennett

NATURE OF PROPOSED BUILDING WORK
LOUNGE
EXTENSION
Add to Dwg.

VALUE OF WORK

Building (including the materials for Plumbing & Drainage) \$ 3,800
 Building Permit Fee \$
 Drainage (excluding materials) \$
 Plumbing (excluding materials) \$
 *Separate permits to be obtained by Drainlayer and Plumber.
 *Fee to be assessed on value of work excluding amount upon which Drainage and Plumbing Fees payable and may be paid at time of lodging application.
 †A further 25% is payable on this fee where structural check is required.

FLOOR AREA OF PROPOSED WORK

Basement
 Ground Floor 16.59 m
 First Floor
 Others
 Total 16.59 m

VALUATION ROLL NO. 33800/31
 FULL LEGAL DESCRIPTION OF THE PROPERTY (as per Rate Demand or Title Deeds)
 LOT 644
 D.P. 32446

Building Research Act 1969
 LEVY ON TOTAL VALUE OF \$3,000 OR MORE INCLUDING DRAINAGE AND PLUMBING WORK
 Fee: \$1.00 per \$1000 or part thereof
 Amount of Levy \$ 4
 Receipt No. 13017
 Date 6.7.81

NAME OF PREVIOUS OWNER OF SECTION CANTRELL ✓ DURHAM ✓
 AREA OF SECTION: 993.9 square metres FRONTAGE: 24.58 metres
(Show large sites in hectares)
 ROAD NAME 31 VICTORY RD LOCALITY LAINGHOLM
 IMPORTANT — SEE INSTRUCTIONS ON PAGE FIVE

FOR OFFICE USE ONLY

REMARKS.....

Permit issued subject to the following conditions.....
In notation

Approved by [Signature] Building Inspector 10/7/81 Date
 Approved by [Signature] Plumbing/Drainage Inspector 20/7/81 Date
 Approved by Health Inspector Date
 Town Planning Zoning Res A **PROPOSED N.U.R. 1**
 Approved by [Signature] Town Planning Officer 7-7-81 Date

Building Permit Fee \$ 30 Receipt No. 8017 Date 6.7.81
 Structural Checking Fee \$ Receipt No. Date
 Road Damage Deposit Fee \$ 100 Receipt No. 8017 Date 6.7.81
 Road Damage Deposit Refund \$ 100 To (B) 14.10.81 Date
 Cost of Vehicular Crossing \$ 0.00 Date ✓*

Electricity Transmission Lines: Present/Not present over property Initials <u>[Signature]</u> Date	WCC Sanitary and Stormwater Sewers checked — Release/Hold Initials <u>[Signature]</u> Date	Location of ARA Trunk Sewers checked — Release/Hold Initials <u>[Signature]</u> Date
--	--	--

PLEASE REFER TO NOTES ON PAGE FIVE

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY
(Full specifications are required for all other work)

FOUNDATIONS

Type of Foundations..... e.g. Solid concrete, Blocks, Timber, Piles, etc.
 Size of footings..... Walls..... Reinforcing.....
 Size..... Spacing.....

N.B.—All blocks must be at least 450mm into ground and set on a 300mm x 300mm x 100mm concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size.....	.....	.....	Top Plates Size.....
Noggins	Size.....	.....	Number of rows of noggins.....	.....

N.B. (a) Minimum stud height for dwellings is 2.4m.
 (b) Top window trimmers must be checked 15mm or otherwise supported.

ROOF

Covering.....	Ridges	Size.....	Purlins	Size.....
	Sarking	Size.....	Under Purlins	.....
	Size	Spacing	Span	Timber
Rafters	.....	.....	.....	.....

MISCELLANEOUS

FlooringSize..... Exterior Sheathing.....
 Inside Lining.....
 Is any second-hand material to be used in the proposed Construction? If YES, then a separate application must accompany this form.

INSULATION

Floor..... Walls..... Ceilings.....

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE
 (Must be completed)

DRAINAGE AND PLUMBING

ALL DRAINAGE AND PLUMBING MUST BE CARRIED OUT BY REGISTERED TRADESMEN. IF IT IS INTENDED TO INSTALL A SEPTIC TANK, NOW OR IN THE FUTURE, THE SITE MUST BE INSPECTED BY THE INSPECTOR BEFORE BUILDING IS COMMENCED.

IT IS MOST IMPORTANT THAT BUILDINGS SHOULD NOT BE OCCUPIED BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND OFFICIALLY APPROVED.

PLUMBING AND DRAINAGE PERMITS MUST BE OBTAINED BEFORE ANY PLUMBING OR DRAINAGE WORK IS COMMENCED.

①

Alu-lam Beam

loading

$$\text{Roof DL+U @ } 0.5 \text{ kPa} = (0.5 + 3.4) = 1.7 \text{ kN/m}$$

$$\text{ceiling @ } 0.12 \text{ kPa} = (0.12 + 3.4) = 0.41$$

$$\text{Alu-lam self load. @} = \frac{0.20}{2.31 \text{ kPa}}$$

add 0.5 DL

$$\frac{0.85}{3.16 \text{ kPa}}$$

$$\frac{0.85}{3.16 \text{ kPa}}$$

Spanning... 5.7 m.

$$I = (4.3) \left(\frac{3.16 \times 5.7^3}{9.6} \right) (10^6) \text{ mm}^4$$

$$= 262 \times 10^6 \text{ mm}^4$$

4b > 50.

$$\text{So } b = \frac{5700}{50} = 114 \text{ so use } b = 135.$$

$$I = \frac{BD^3}{12} \text{ so } D = \left(\frac{12I}{135} \right)^{1/3}$$

$$= 219.$$

So use 315 x 135 Alu lam.

Pre camber 10 mm.

Farley & Associates.

Box 21-355

Henderdon, G.

Consulting Engineers

ACENZ

SPECIFICATION NOTES:

PRELIMINARY & GENERAL.

Carry out all work in accordance with Local Authority and relevant codes ie. ch G:1 OR NZS 3604

Take out and pay for all Public Liability & All Risks Insurance Policies to cover the full contract value.

All work is to be carried out in accordance with best trade practice
All dimensions, lines & levels to be verified on site

CONCRETE:

shall comply with NZSS 95.

CARPENTRY!

All work to comply with codes ~~BEA~~ OR G:1 (NZS).

TIMBER SCHEDULE:

FRAMING NO 1. BORIC TREAT. PIN. RADIATA.
" TANALITH " " (EXTERIOR).

RAPTERS AS SHOWN ON DRAWINGS (BORIC TREATED)

CLADDING. " " ON BUILDING PAPER.

EXTERIOR JOINERY - FINGER JOINTED PINE

INSULATE CEILING WITH R11 BATTIS & WALLS WITH 400 BATTIS.

ROOF: FIX ROOFING TOGETHER WITH ALL FLASHINGS TO ENSURE A GUARANTEED WATERTIGHTNESS.

PLUMBING & DRAINAGE.

shall comply with Plumbing & Drainage Regs 1959 & Local Authority

DAMP PROOFING - BEHIND RETAINING WALL

FLINTKOTE 3 COAT SYSTEM & OR VISISTOP
VAPOUR BARRIER ON PINEX OR SIMILAR.

704/8

APPLICANT NAME: SGT K.J. GRIFFITHS

ENDORSEE NAME: GA BENNETT

REASON: ADDITION TO DWELLING

LEGAL DESCRIPTION: LOT: 644 D.P. 32446

ADDRESS & LOCALITY: 31 VICTORY Rd LAINCHURN

WORKS TO BE CHECKED BY STRUCTURAL ENGINEER:-
(Or be listed clearly by Building Inspector)

CALCULATIONS & STRUCTURAL CHECK

1. THE FOLLOWING JOBSMENTS, ALTERATIONS OR ADDITIONAL INFORMATION MUST BE MADE (OR SUPPLIED), BEFORE APPROVAL CAN BE CONSIDERED: (Please list clearly, and date and sign requirements):-

RECOMMENDATION:

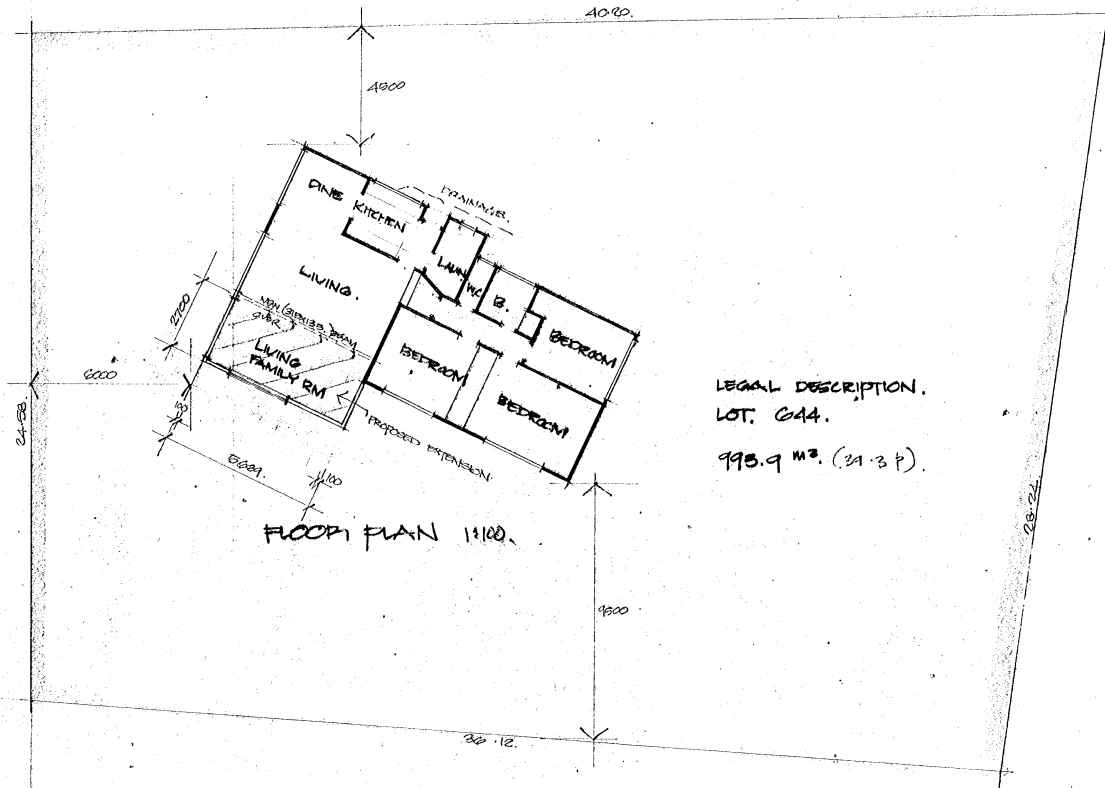
The matters listed in (1) above (when applicable), have been settled to my satisfaction and I recommend that the application be APPROVED subject to the following conditions:-

STRUCTURALLY APPROVED
SUBJECT TO ENDORSEMENTS

DATE: 9/7/8 3

Checked
 315 K (35)
 low beam

VICTORY ROAD



LEGAL DESCRIPTION.
 LOT. 644.
 993.9 m². (24.3 P).

FLOOR PLAN 1:100.

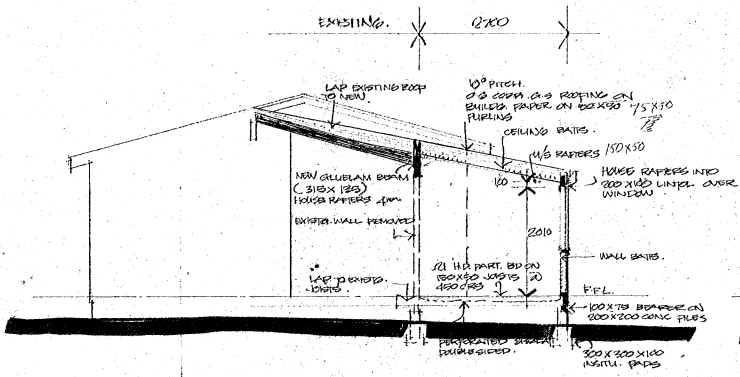
SITE PLAN & FLOOR PLAN. SCALE 1:100.

MARTIN NORTHCOLE
 ARCH. DRAFTERMAN N.Z.C.D.
 PHONE GLE. 5692.

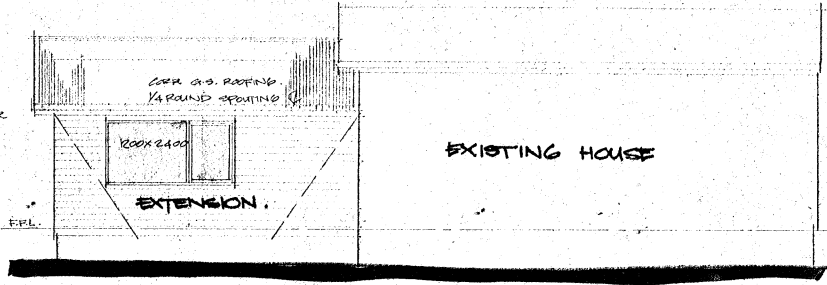
Griffiths House Extension.
 31 VICTORY ROAD - LAINGHOLM.

APPROVED
 15/7/81

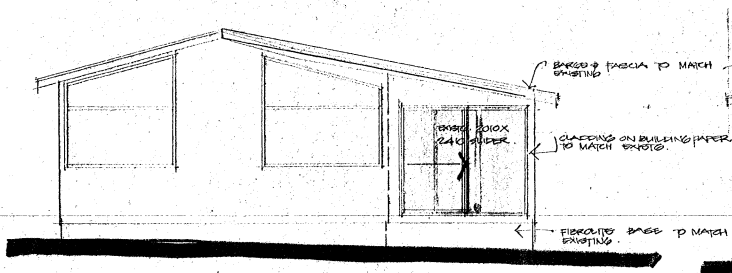
JUNE 81



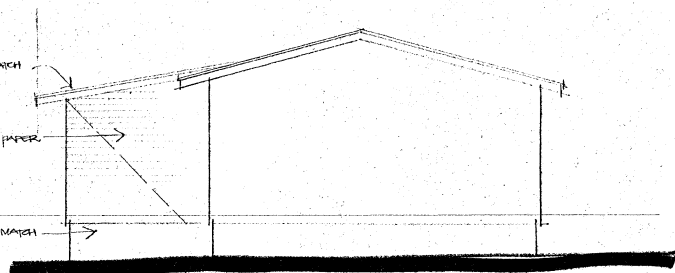
CROSS SECTION 1:50.



SIDE ELEVATION.



ROAD ELEVATION 1:50.



REAR ELEVATION

PLANS
AND SPECIFICATIONS
APPROVED
SUBJECT TO SUCH
CORRECTIONS AS MAY BE
BE ADOPTED BY THE
APPLICANT & THE
BUILDING OFFICE
SIGNED: *[Signature]*
DATE: 10/7/81

MARTIN NORTHCOTT
ARCH. DRAFTERMAN.

GRIFFITHS HOUSE - EXTENSION.

AWARDED. 30/6/81.

2

CITY OF WAITEMATA

33800/31
Roll No. / /

No 20072

BUILDING PERMIT

Owner of Section S.G. & K.J. GRIFFITHS

Date 1/5/82

Address 31 VICTORY ROAD, LAINGHOLM

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. 604 DP32446

on 31 VICTORY ROAD, LAINGHOLM in accordance with the plans lodged and

subject to the following conditions: Duplicate details of installation required (manufacturers)

Nature of proposed work

HEATER

Value of work, \$ 750

Fee \$ 12: 00 Rec.-No. c43 11/5/82

AS ABOVE

For the Waitemata City Council



Duly Authorised Officer.

FOR FURTHER CONDITIONS SEE OVER

Building Inspected. Date Insp. Intls.

.....
.....
.....
.....

Final Inspection

18/4/99
[Signature]

Inspector

Register Noted. Date

22/4/86

CITY OF WAITEMATA

Roll No. 33800/31

No 20072

BUILDING PERMIT

Owner of Section

S.G. & K.J. GRIFFITHS

Date 1/6/82

Address

31 VICTORY ROAD, LAINGHOLM

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. 644 DP32446

on 31 VICTORY ROAD, LAINGHOLM

in accordance with the plans lodged and

subject to the following conditions:

Duplicate details of installation required (manufacturers)

Nature of proposed work

HEATER

AS ABOVE

Value of work, \$ 750

Fee \$ 12: 00 Rec. No. e43 13/5/82

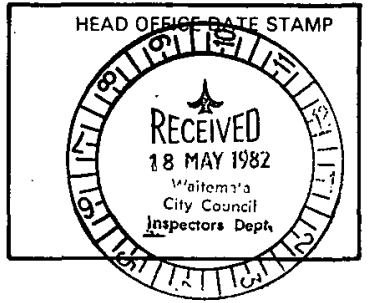
For the Waitemata City Council

[Signature]

Duly Authorised Officer.

APPLICATION No. 931/9
 FINAL CHECK Initials SK
 Date 31/5/82

PERMIT No. 20072
 DATE ISSUED 1/6/82
 Authorised Officer



CITY OF WAITEMATA

JOHN HENRY CENTRE, 6-8 PIONEER STREET, HENDERSON
 POSTAL ADDRESS: PRIVATE BAG, HENDERSON 8 — PHONE: HSN 61-195 and 61-119
 INSPECTORS DEPARTMENT ON GROUND FLOOR

BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME S.G. & K.S. GRIFFITHS PHONE No. TGN 4206
 (BLOCK CAPITALS)
 PRESENT POSTAL ADDRESS 31 VICTORY ROAD LAINGHOLM
 BUILDER: NAME POST TO ABOVE ADDRESS PHONE No.
 POSTAL ADDRESS

(Permit will be posted to builder unless otherwise requested)

SIGNATURE OF APPLICANT K Griffiths

NATURE OF PROPOSED BUILDING WORK
~~POST BOILER~~
~~INSTALLMENT~~
HEATER.

VALUE OF WORK

Building (including the materials for Plumbing & Drainage)	\$	<u>700</u>
† Building Permit Fee	\$	<u>12</u>
* Drainage (excluding materials)	\$	<u>---</u>
* Plumbing (excluding materials)	\$	<u>---</u>

* Separate permits to be obtained by Drainlayer and Plumber.
 * Refer Note 9 page 5.
 * Fee to be assessed on value of work excluding amount upon which Drainage and Plumbing Fees payable and may be paid at time of lodging application.
 † A further 25% is payable on this fee where structural check is required.

FLOOR AREA OF PROPOSED WORK

Basement	.....
Ground Floor	.....
First Floor	.....
Others	.....
Total	<u>---</u>

VALUATION ROLL NO. 33800/31

FULL LEGAL DESCRIPTION OF THE PROPERTY (as per Rate Demand or Title Deeds)

LOT 644
 D.P. 32446

Building Research Act 1969
 LEVY ON TOTAL VALUE OF \$3,000 OR MORE INCLUDING DRAINAGE AND PLUMBING WORK
 Fee: \$1.00 per \$1000 or part thereof
 Amount of Levy N/A
 Receipt No.
 Date

NAME OF PREVIOUS OWNER OF SECTION CANTELL & DURHAM
 AREA OF SECTION: 993.9 square metres FRONTAGE: 24.58 metres
 (Show large sites in hectares)
 ROAD NAME 31 VICTORY ROAD LOCALITY LAINGHOLM

IMPORTANT — SEE INSTRUCTIONS ON PAGE FIVE

FOR OFFICE USE ONLY

REMARKS Duplicate details of installation not required (Manufacturers)

Permit issued subject to the following conditions:
 ① Installation specifications to be strictly adhered to
 ② A plumbing permit is required if a wet-back is fitted
 ③ **TO NOTATIONS ON PLANS**

Approved by [Signature] Building Inspector 21/5/82 Date
 Approved by ew Savage Plumbing/Drainage Inspector 21/5/82 Date
 Approved by Health Inspector Date
 Town Planning Zoning RBS 4 PROPOSED Date N.V.R.1
 Approved by RB Town Planning Officer 9.5.82 Date

Building Permit Fee	\$	<u>12</u>	Receipt No.	<u>043</u>	Date	<u>18 MAY 1982</u>
Structural Checking Fee	\$	.....	Receipt No.	.....	Date	.....
Road Damage Deposit Fee	\$	<u>---</u>	Receipt No.	.....	Date	.....
Road Damage Deposit Refund	\$	.....	To	.....	Date	.....
Cost of Vehicular Crossing	\$	<u>Existing</u>			Date	.....

Electricity Transmission Lines:
 Present/Not present over property
 Initials SK Date 21-5-82

WCC Sanitary and Stormwater Sewers checked — Release/Hold
 Initials N/A Date

Location of ARA Trunk Sewers checked — Release/Hold
 Initials N/A Date

PLEASE REFER TO NOTES ON PAGE FIVE

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY
(Full specifications are required for all other work)

FOUNDATIONS

Type of Foundations..... e.g. Solid concrete, Blocks, Timber, Piles, etc.
 Size of footings..... Walls..... Reinforcing.....
 Size..... Spacing.....

N.B.—All blocks must be at least 450mm into ground and set on a 300mm x 300mm x 100mm concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size.....	.....	.....	Top Plates Size.....
Noggins	Size.....	.....	Number of rows of noggins.....	.....

N.B. (a) Minimum stud height for dwellings is 2.4m.
 (b) Top window trimmers must be checked 15mm or otherwise supported.

ROOF

Covering..... Ridges Size..... Purlins Size.....
 Sarking Size..... Under Purlins.....
 Rafters Size Spacing Span Timber

MISCELLANEOUS

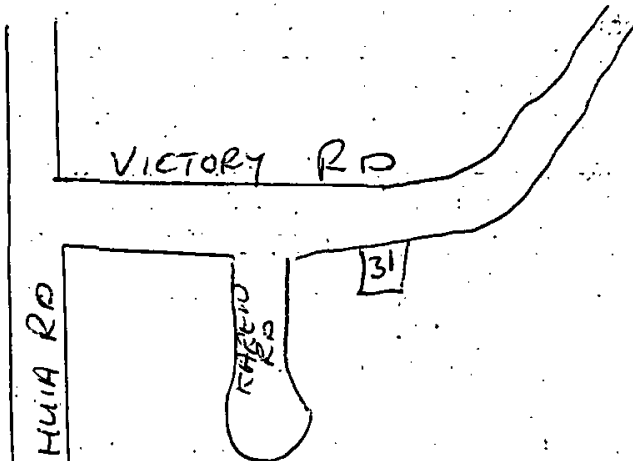
Flooring Size..... Exterior Sheathing.....
 Inside Lining.....

Is any second-hand material to be used in the proposed Construction? If YES, then a separate application must accompany this form.

INSULATION

Floor..... Walls..... Ceilings.....

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE
 (Must be completed)



DRAINAGE AND PLUMBING

ALL DRAINAGE AND PLUMBING MUST BE CARRIED OUT BY REGISTERED TRADESMEN. IF IT IS INTENDED TO INSTALL A SEPTIC TANK, NOW OR IN THE FUTURE, THE SITE MUST BE INSPECTED BY THE INSPECTOR BEFORE BUILDING IS COMMENCED.

IT IS MOST IMPORTANT THAT BUILDINGS SHOULD NOT BE OCCUPIED BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND OFFICIALLY APPROVED.

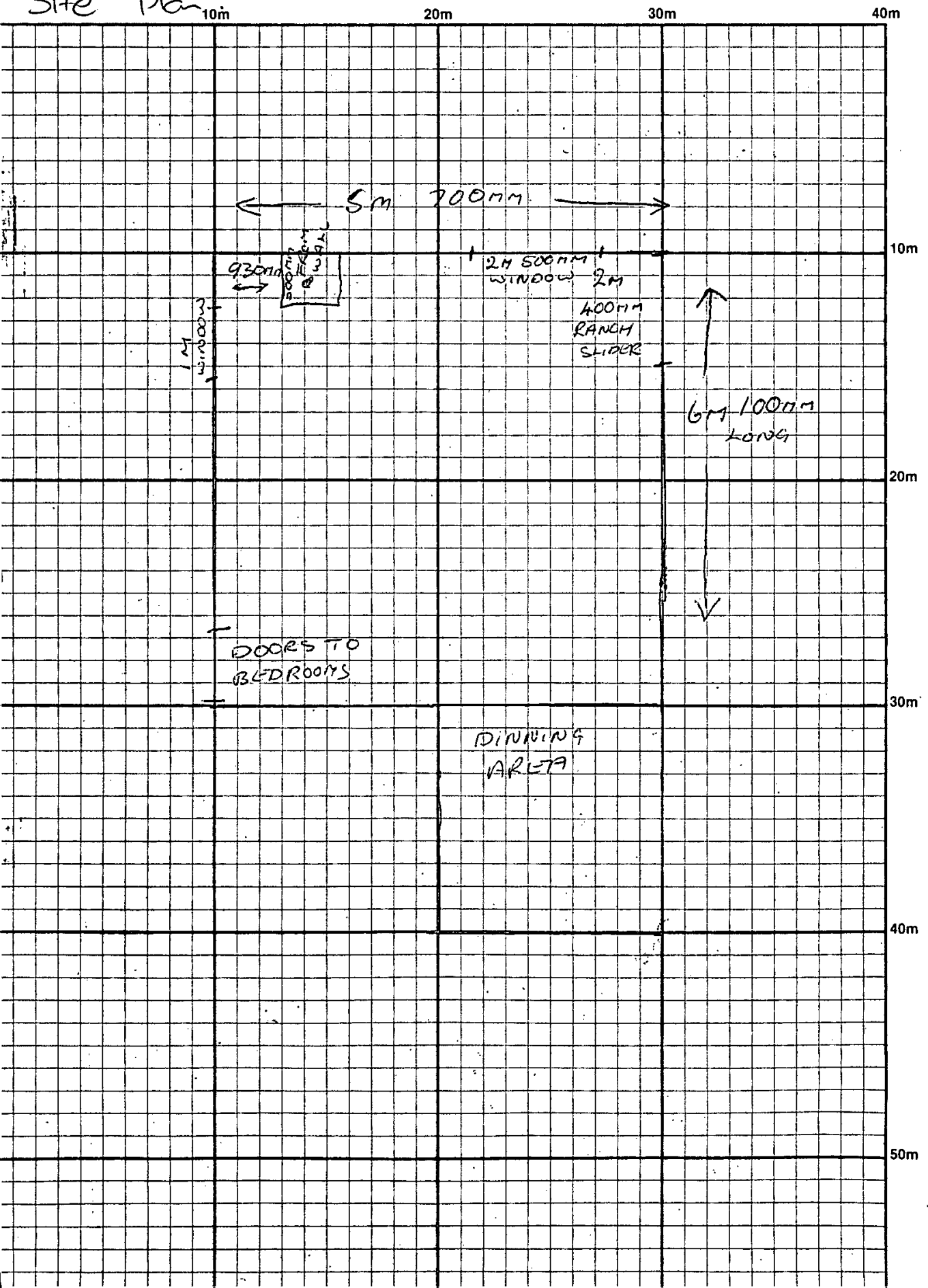
PLUMBING AND DRAINAGE PERMITS MUST BE OBTAINED BEFORE ANY PLUMBING OR DRAINAGE WORK IS COMMENCED.

PLEASE REFER TO INSTRUCTIONS ON PAGE FIVE

- SITE PLAN: (a) All existing buildings are to be shown in black ink and new buildings in red.
- (b) For residential sections the site plan must be accurately drawn to the scale provided. 1:200 (i.e., one square equals one metre).
- (c) All other sections (including farms, etc), please state scale used.
- (d) All dimensions MUST be specified.

ROAD BOUNDARY

Site Plan



IMPORTANT: Please read the following instructions and ensure that all details are supplied.

1.2m.

FIRST SCHEDULE

1. **BUILDING PERMIT APPLICATION FEE.** This may be paid at time of lodging application in order to avoid delays in issue of permit.

SCHEDULE

ESTIMATED VALUE OF WORK:	PERMIT FEE:
	\$
Not exceeding \$400	5.00
Over \$ 400 and not exceeding \$ 1,000	12.00
Over \$ 1,000 and not exceeding \$ 2,000	18.00
Over \$ 2,000 and not exceeding \$ 4,000	30.00
Over \$ 4,000 and not exceeding \$ 6,000	40.00
Over \$ 6,000 and not exceeding \$ 8,000	50.00
Over \$ 8,000 and not exceeding \$ 10,000	60.00
Over \$ 10,000 and not exceeding \$ 14,000	80.00
Over \$ 14,000 and not exceeding \$ 20,000	100.00
Over \$ 20,000 and not exceeding \$ 25,000	125.00
Over \$ 25,000 and not exceeding \$ 30,000	140.00
Over \$ 30,000 and not exceeding \$ 35,000	155.00
Over \$ 35,000 and not exceeding \$ 40,000	170.00
Over \$ 40,000 and not exceeding \$ 50,000	185.00
Over \$ 50,000 and not exceeding \$ 60,000	200.00
Over \$ 60,000 and not exceeding \$ 70,000	215.00
Over \$ 70,000 and not exceeding \$ 80,000	230.00
Over \$ 80,000 and not exceeding \$ 90,000	250.00
Over \$ 90,000 and not exceeding \$100,000	270.00
Over \$100,000 and not exceeding \$120,000	295.00
Over \$120,000 and not exceeding \$140,000	320.00
Over \$140,000 and not exceeding \$160,000	335.00
Over \$160,000 and not exceeding \$200,000	355.00
Over \$200,000 and not exceeding \$400,000	435.00
Over \$400,000 and not exceeding \$500,000	500.00
500,000 and over	

*\$500.00 plus 0.10% of the estimated value of work in excess of \$500,000.

In any dispute the Engineer shall determine the value of the work in accordance with Clause 2.13.

The above scale of fees shall also apply to the issue of a chimney permit or permission to erect an advertising hoarding or a sky-sign and to any other work requiring a permit under this chapter of this Bylaw whether the permit is issued in the form of a building permit or otherwise.

On each occasion that amendments other than those required by Council are lodged before completion of plan processing, there shall be paid a further 10% of the building permit fee.

Where amendments to the plans are lodged after plan processing has been completed, these shall be treated as a new permit application. In this case, a new permit fee shall be paid and a refund may be claimed of half of the total of the building permit fee and other fees paid on the previous application.

SECOND SCHEDULE

FEES PAYABLE FOR SPECIAL DUTIES

Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before drawings and other documents are submitted for approval	Such fee as Council may by resolution from time to time prescribe.
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	Such fee as Council may by resolution from time to time prescribe.

NOTES

1. **ROAD AND FOOTPATH DEPOSIT.** This is compulsory on all work over the value of \$2000 at the following rates and must be paid at the time of application, where the road frontage adjoining the property has:
 - (a) A metal surface — Amount of deposit: \$ 50.00
 - (b) A sealed surface — Amount of deposit: \$100.00
2. **A REGISTERED VEHICLE CROSSING** must be installed before any vehicle may cross from any road to any private property and application for such crossing should be made when applying for a building permit, unless such a crossing already exists.
3. **SIGNATURE OF APPLICANT.** Application must be signed (see space below builder's name on page one).
4. **LEGAL DESCRIPTION OF PROPERTY** (page one). This may be obtained from Rate Demand, Title Deeds, or Valuation Advice (i.e. Lot D.P. of Allot Parish of). If the property has been purchased in the last 12 months, please indicate in the space provided, the previous owner's name.
5. **FLOOR AREA OF PROPOSED BUILDING.** Please give accurate details in space provided on page one.
6. **PLANS & CROSS-SECTION OF PROPOSED BUILDING.** For simple sheds, garages, etc, all that is necessary is a floor plan and two elevations, but for baches, dwellings and additions where conventional building construction is to be employed, more detailed plans must be submitted including foundation and basement plans, floor plan, four elevations and cross sections. For more elaborate structures, or any building involving special design for retaining walls, steel fabrication, etc, complete detailed plans must be submitted together with calculations and a Design Certificate. The office will be pleased to make available on request a full schedule of particulars required in respect of such buildings.

IN ALL CASES PLANS MUST BE DRAWN TO SCALE, AND PENCIL SKETCHES CANNOT BE ACCEPTED, AND UNLESS DIRECTED OTHERWISE BY THE INSPECTOR THE APPLICATION INCLUDING PLANS, SPECIFICATIONS AND SITE PLANS MUST BE SUBMITTED IN DUPLICATE.
7. **SITE PLAN.** A scale-drawn site plan must be provided and show all existing and proposed buildings (see page three). As Town Planning Ordinances as well as By-laws must be met, it is advisable to confer with the Building Inspector and Planning Department to ascertain minimum permissible distances from boundaries.
8. **LOCATION SKETCH.** Please illustrate in the space provided on page two a brief locality plan showing location of the property concerned in the application.
9. Applications for Plumbing and/or Drainage Permit are required (where applicable) to be made at the time of application for a Building Permit. Plumbing or Drainage Permit will only be issued to Craftsman Plumbers or Registered Drainlayers.

The heater and flue shall be installed in strict accordance with the Manufacturer's instructions NZS 7421: 1972 and NZSS 1900 Chapter 7. NZSS 4603 1976.

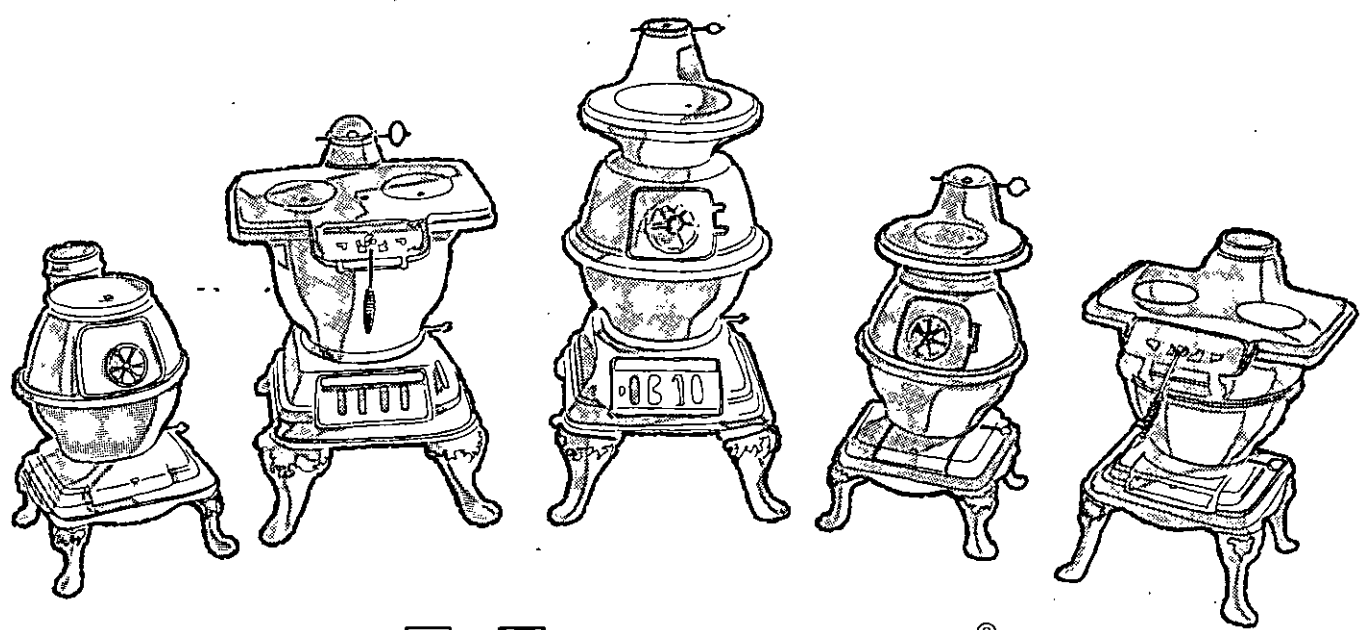
If a wet back is installed a permit is required to be uplifted by a Craftsman Plumber and an inspection called for.

Maximum height for a brick wall on a timber floor is 1200 mm.
Clearances to be maintained to drapes and other combustible fittings.

RECEIVED
18 MAY 1982
Waitemata
City Council
Inspectors Dept.

MASPORT PORTABLE STOVES

INSTALLATION INSTRUCTIONS



Masport®

Masport Pot Belly Stoves Installation Instructions

For Pittsburgh, Klondike, Yukon, Fatso and Oregon Models

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These installation instructions are based on New Zealand Standard 7421:1972. The Insurance Council of New Zealand have confirmed their satisfaction that the Pittsburgh Stove meets insurance requirements when installed in accordance with these instructions. Since the Insurance Council no longer tests these appliances, the other stoves have been checked by an independent Telarc Registered Testing Laboratory which reported that they meet the requirements of N.Z.S. 7421:1972 when installed as follows.

We recommend that you check with your Building Inspector for Local Body requirements in your

district and that the installation of your Masport stove be carried out by a Craftsman plumber or other suitably qualified specialist. The use of components which are not genuine Masport parts could affect the performance of the stove and might nullify its compliance with the New Zealand Standard.

Note: For installation outside New Zealand please check Local Authority requirements. These instructions are Copyright to Mason and Porter and must not be reproduced in part or full without permission. December 1980.

Introduction

Pot Belly Stoves generate the bulk of their energy in the form of radiant heat and, ideally, should be placed in the centre of a room. However, if this is not possible, the position of the stove should be decided after considering the natural flow of air, space requiring heating, seating arrangements, roof construction, living areas and plumbing requirements if the stove is fitted with a water

heating coil. The use of a Pot Belly Stove in a room having an open fireplace is quite acceptable, although it is best sited away from the fireplace to achieve the best possible heat distribution.

Assembling the Stove.

In order to reduce cartage costs, the top half of the stove is in some cases rotated before shipping.

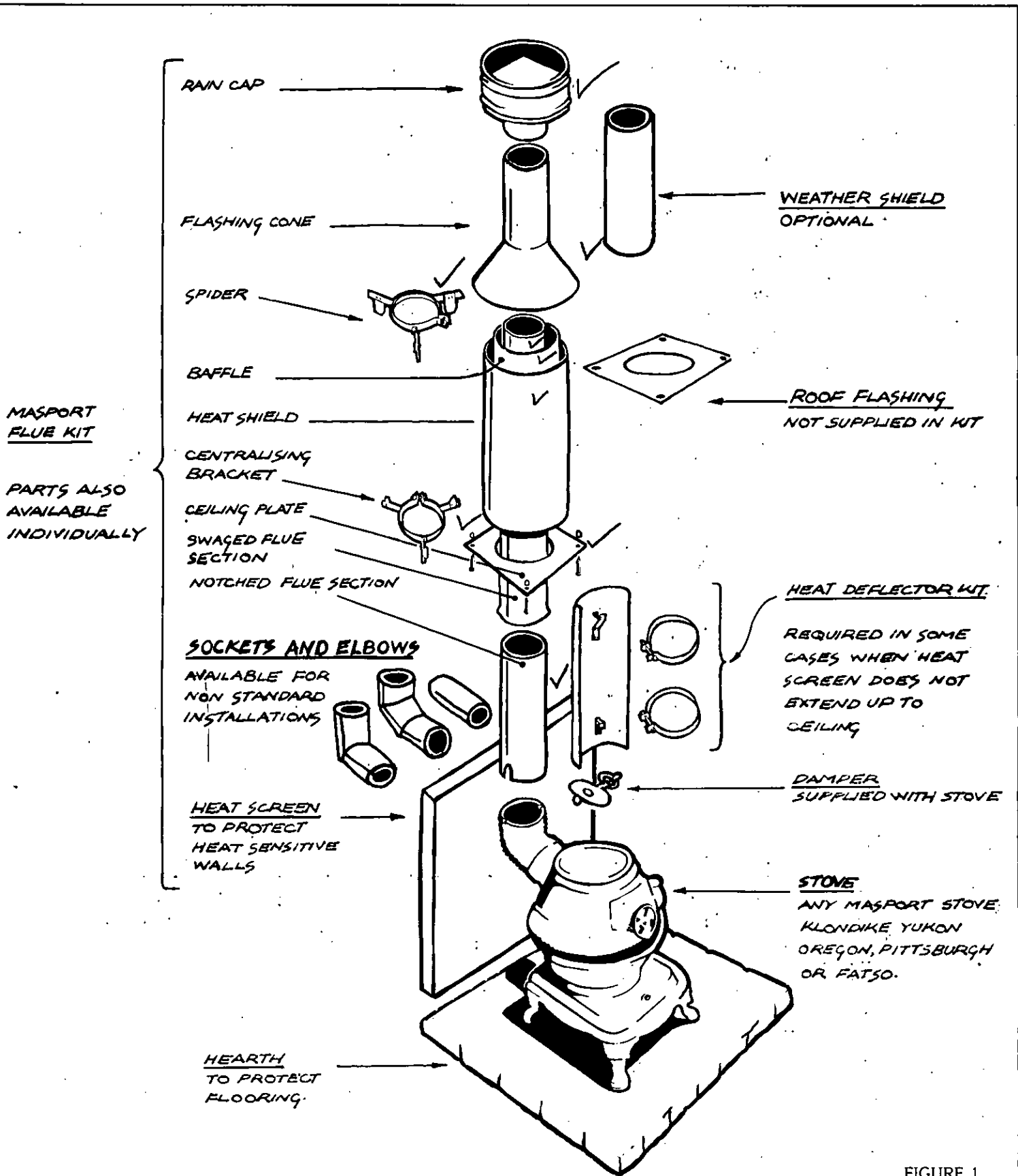


FIGURE 1

Before installing, check that the top bowl is in its correct position. Lift the bowl before rotating if this is necessary.

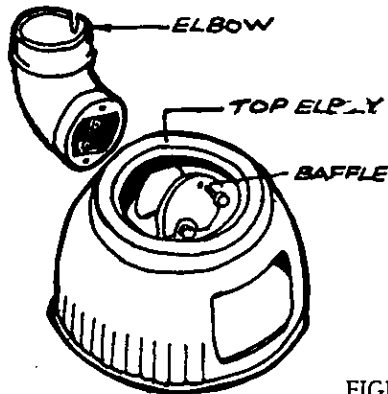


FIGURE 2

The Yukon Stove has a circular baffle which is loosely held in the correct position by two bolts inside the upper belly. Remove the nuts from the bolts and position the Elbow/Socket over the outlet holes, Figure 2. Replace the nuts and tighten. The Baffle must be in place whether the standard Fluted Elbow or the optional Straight Flue Socket is used.

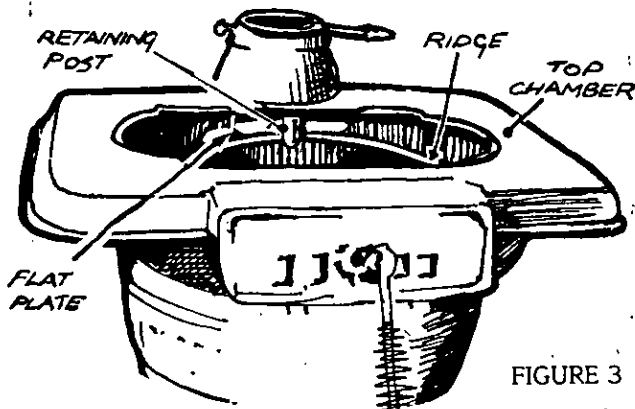


FIGURE 3

A flat Baffle Plate is supplied with Fatso and Oregon Stoves. Insert the Plate against the inside of the Top Chamber, with the curved edge downward and the word 'Front' facing inward. Slide the Plate around on the ridge in the Top Chamber until the notch in the top edge of the Plate engages behind the retaining post, Figure 3.

1. Installing the stove

This section covers all models, with or without water heating coils, except for a Yukon Stove fireplace installation (refer to Section 3).

1.1 Unprotected walls

The following minimum clearances from stoves to unprotected walls must be observed. Measurements to the rear of the stove are taken from the back of the flue. Clearances to the side are measured from the nearest point on the ring around the belly of the stove, Figure 4.

Where a Yukon Stove is fitted with the optional straight Flue Socket (for use when the flue discharges into a chimney), the rear clearance is measured from the belly and 80 mm should be added to the figures shown on the following page.

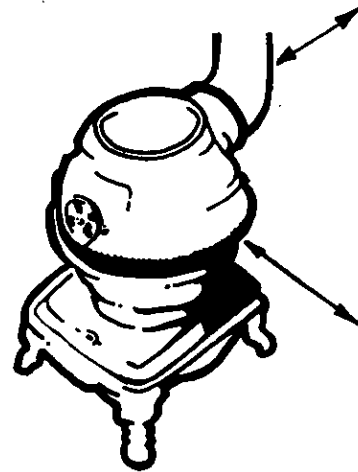


FIGURE 4

1.2 Protecting the walls

A heat sensitive wall can be protected by the erection of a single or double heat screen, or by a brick screen, thus enabling the stove-to-wall distance to be reduced greatly.

1.2.1 Heat Screen Material

The material must be capable of withstanding 180°C without damage. Sheetmetal and certain heat resistant materials, (e.g., 12 mm Harditherm), are obvious choices. If they are to be painted, only fire resistant paints should be used and the colours should be kept light, as dark finishes will raise the panel temperatures significantly. Allowances for expansion must be made when fastening. Note: An information sheet on the use of Rocboard insulating panels for protecting walls and insulating hearths is available from New Zealand Forest Products Limited or their agents. Rocboard should be used only in accordance with that information.

* SUGGESTED POSITIONING ONLY.

THERE ARE OTHER WAYS OF PERMITTING AIRFLOW BEHIND SCREEN E.G. DRILLING HOLES, RAISING HEARTH ETC.

IF HEAT SCREEN DOES NOT EXTEND BEYOND 1200 MM FROM HEARTH, IN SOME CASES A HEAT DEFLECTOR MUST BE FITTED

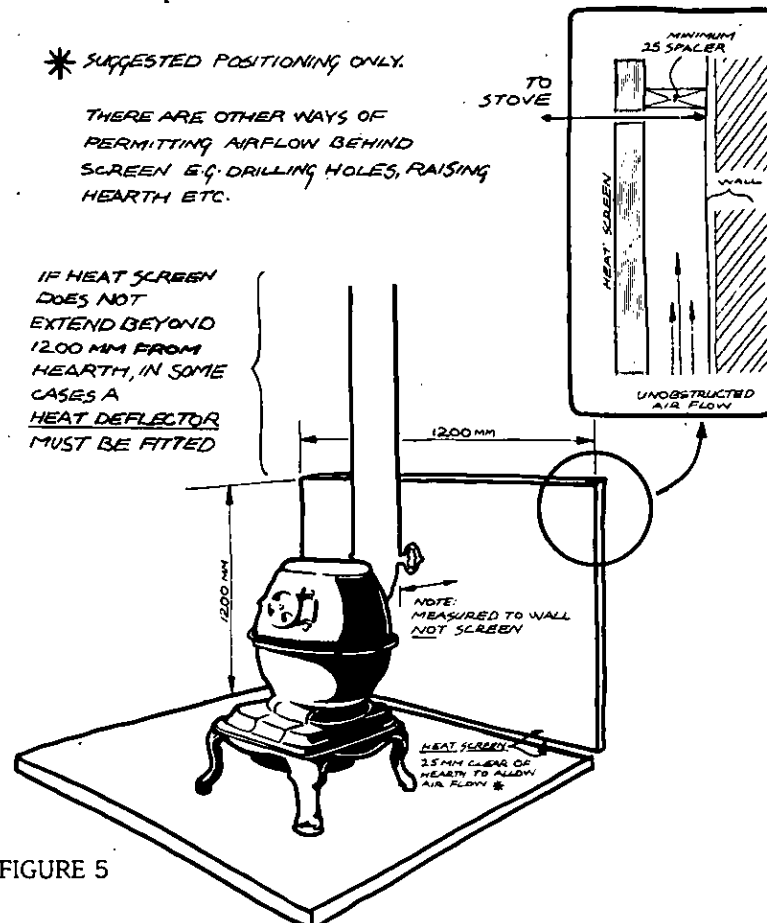


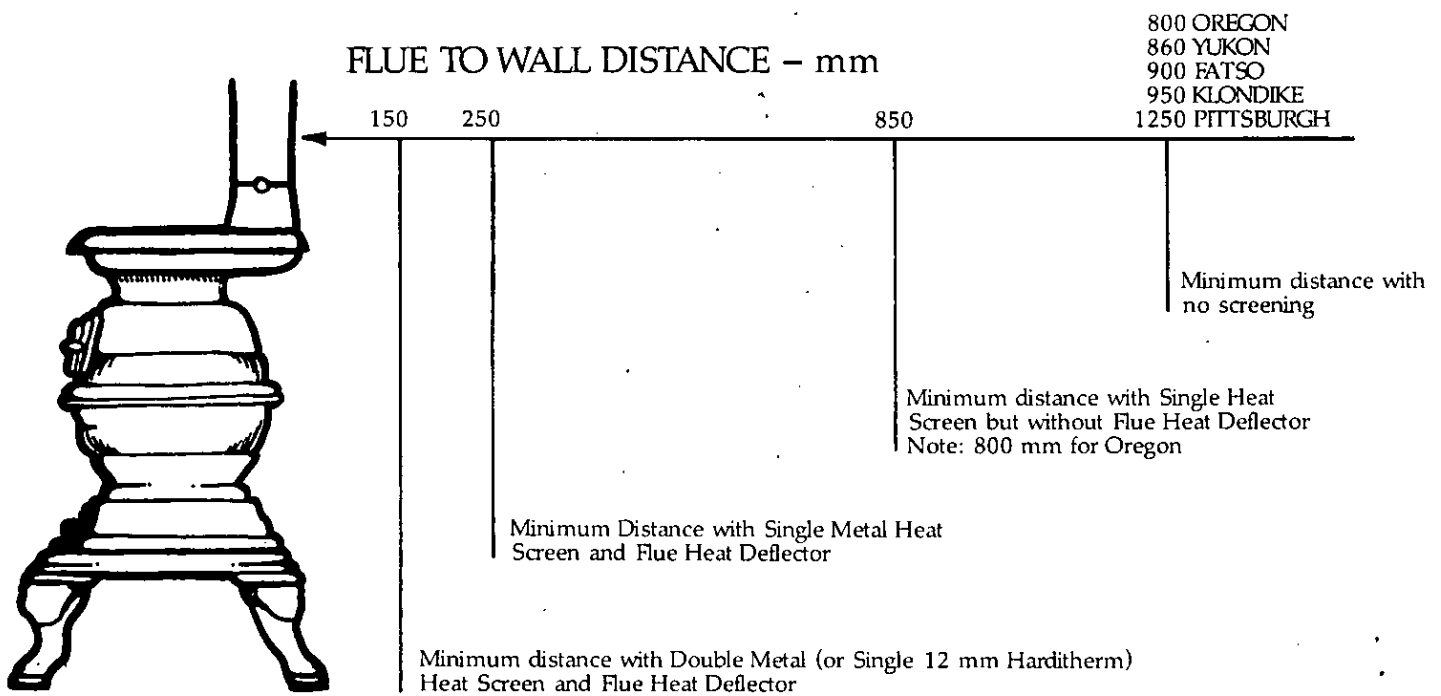
FIGURE 5

TABLE 1

MINIMUM STOVE TO WALL CLEARANCES

	PITTSBURGH mm	KLONDIKE mm	FATSO mm	YUKON mm	OREGON mm
a. Concrete or Concrete Block Walls	200	200	200	200	200
b. Brick Walls					
(i) Cavity brick walls which do not enclose timber framing or other heat sensitive material	150	150	150	150	150
(ii) Brick walls erected in contact with heat sensitive materials (e.g. timber, gibraltar board, etc.)					
- bricks on edge	625	475	450	430	400
- bricks on flat	500	380	360	345	320
(iii) Brick walls which have the spacing and reflective screen requirements detailed under "Brick Screens" below	150	150	150	150	150
c. Heat sensitive walls or other objects, e.g. timber, asbestos cement board, plaster board, gypsum plaster, etc., including sheetmetal in contact with such materials (This distance can be reduced by screening in accordance with 1.2).	1,250	950	900	860	800

STOVE SCREENING REQUIREMENTS FOR HEAT SENSITIVE WALLS



- NOTE: 1. All Heat Screens 1200 mm minimum height and 1200 mm minimum width.
2. Flue Heat Deflector may be omitted if Screen shields full height of wall.
3. Minimum distance when combustible wall is faced with Brick Screen as per Instructions - 150 mm measured to outer face of Brick Screen.
4. See Text for constructional details.

1.2.2 Single Heat Screen

This must be fastened to the wall on non-combustible insulating spacers so that there is an air space of not less than 25 mm between the screen and the wall, Figure 5. There must be a 25 mm gap along the top and bottom of the screen and the spacers must be arranged to permit free vertical air flow between the screen and the wall. The screen should be wide enough to extend at least 600 mm along the wall each side of the stove centreline. Where the stove is fitted in a corner, both walls need to be screened.

The screen must never be less than 1,200 mm high and such a screen is adequate on its own for wall distances not less than 850 mm. (Oregon 800 mm). If the distance is less than 850 mm (Oregon 800 mm) and the screen does not shield the full height of the wall, a flue heat deflector must be fitted, Figure 6.

NOTE: Minimum stove to wall distance when the heat screen is sheetmetal; 250 mm (All models).

If the screen material is 12 mm Harditherm, the distance may be reduced to 150 mm. (All models).

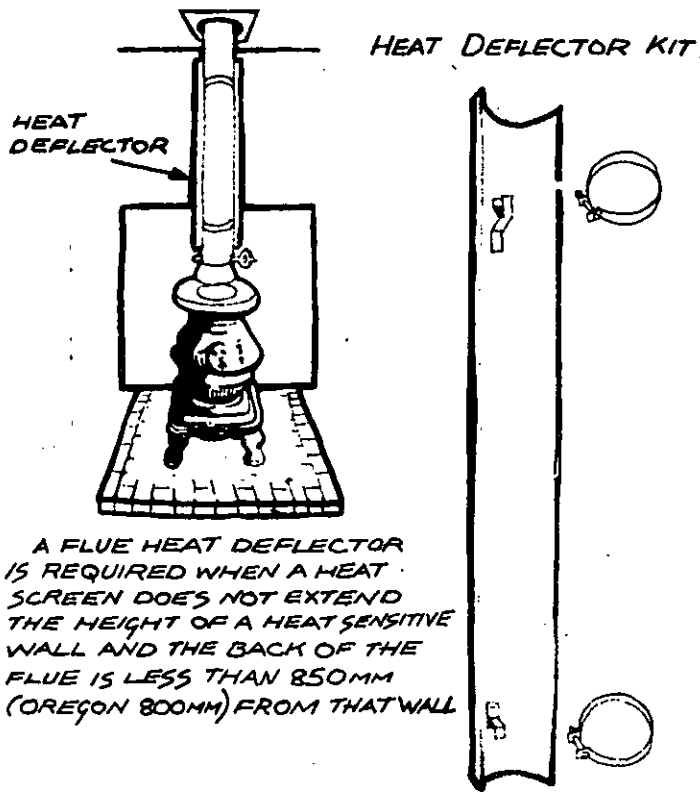


FIGURE 6

1.2.3 Double Heat Screen

The construction is similar to the single heat screen case (see 1.2.2) except that an extra sheetmetal screen is fixed mid-way in the air space, Figure 7. It must be the same size as the heat screen, and the two air spaces must each be not less than 12 mm. A suitable material for this air space divider is 0.5 mm galvanised steel. The spacers behind the double screen must be arranged to allow free air flow from the bottom intake slots to the outlet slots at the top. The width and height requirements for double screens are the same as for single screens, refer Figure 5. Again, if the flue to wall distance is less

than 850 mm (Oregon 800 mm) and the screen does not shield the full height of the wall, a flue heat deflector must be fitted, refer Figure 6.

Minimum stove to wall distance when a double sheetmetal heat screen is fitted, 150 mm, all models.

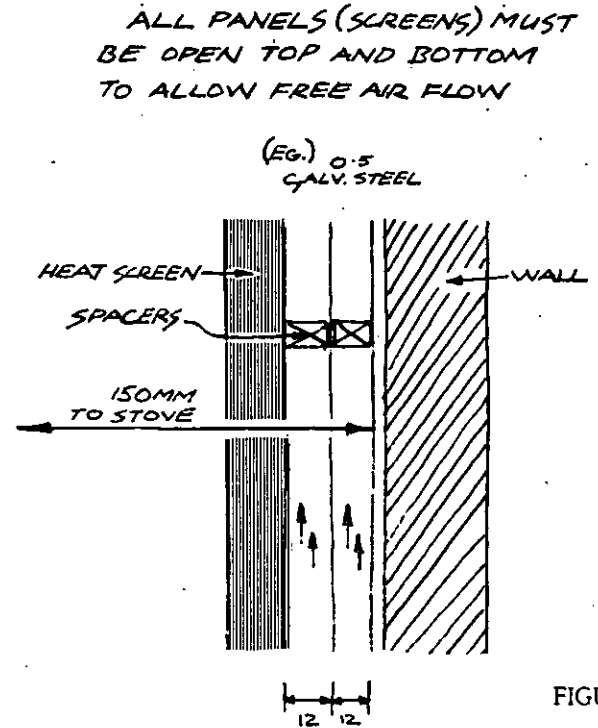


FIGURE 7

1.2.4 Brick Screens

Heat sensitive walls can be faced with brick provided that the bricks are laid flat and spaced not less than 25 mm from the wall, Figure 8. A layer of reflective building paper must be secured to the face of the wall (reflective side facing the bricks) in such a manner that it will not inhibit the air flow in the space. Alternatively, the building paper may be

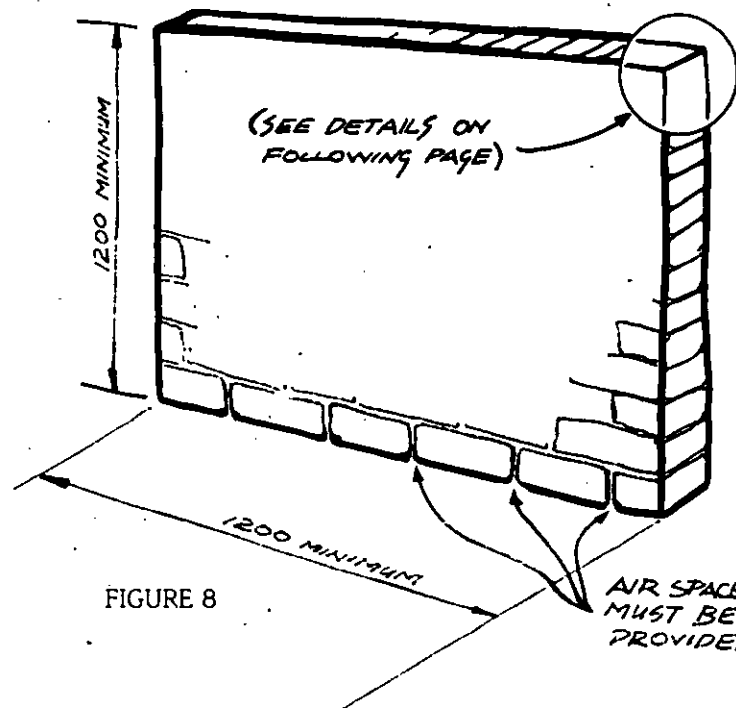


FIGURE 8

replaced by a sheetmetal air space divider as specified for a double heat screen, refer Figure 7. The top of the air space must be left open and gaps must be provided between the bricks in the bottom rows, to allow adequate air entry.

The brick facing must extend at least 600 mm each side of the stove centreline and should be at least 1200 mm high. If the flue to wall distance is less than 850 mm (Oregon 800 mm) and the brick screen does not shield the full height of the wall, a flue heat deflector must be fitted, refer Figure 6.

Minimum distance between stove and outer face of brick screen 150 mm, all Models. (This will give a minimum stove to wall distance of 285 mm.)

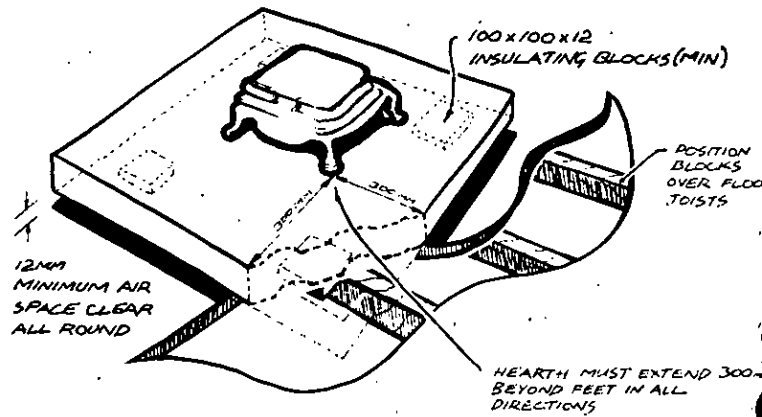


FIGURE 10

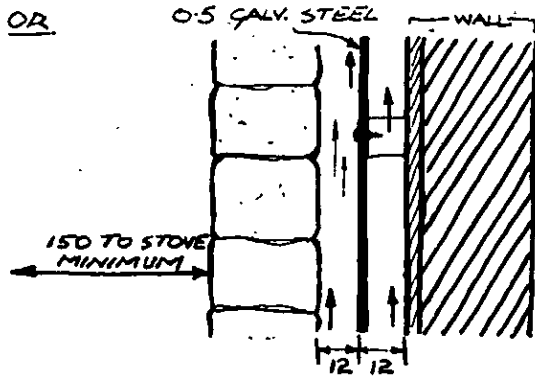
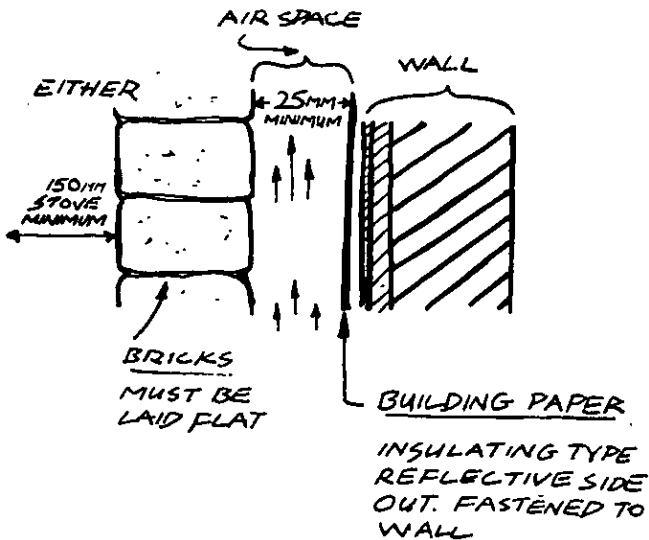


FIGURE 9

1.3 Protecting the floor

The Stove must stand on a fire-proof floor or hearth extending to the wall(s) or at least 300 mm beyond the feet in all directions, Figure-10. Hearths of solid material can conduct heat through to the floor and should be raised on insulating blocks to provide an air space beneath. This air space should be not less than 12 mm and the blocks (about 100 mm square) should be positioned directly over the floor joists. Access to the air space should be unobstructed to permit the free flow of air. As long as the air space is not impeded, the hearth may be installed as above directly onto existing carpet coverings.

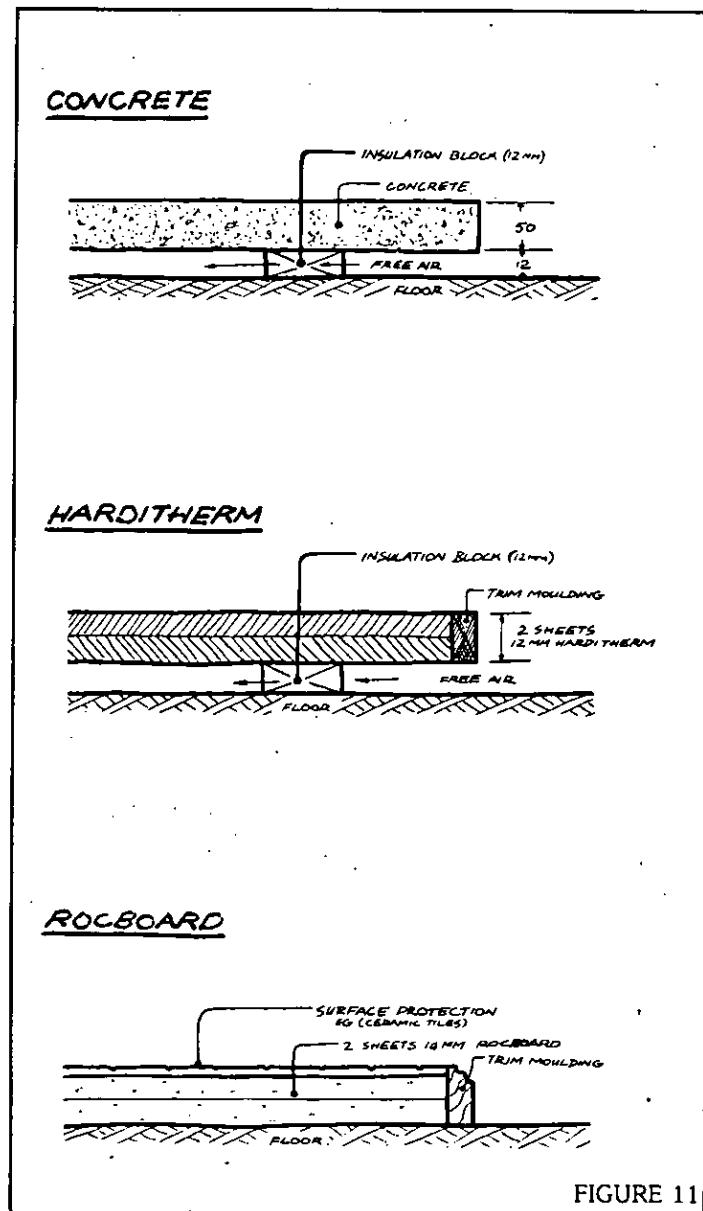


FIGURE 11

2. Installing the flue

Flue installations are covered in three sections: Section 2.1 covers installations where the stud height is 2400 mm and the roof pitch is low to normal. In these cases a standard Masport Flue Kit should be all that is required.

Section 2.2 deals with cases where extra components may be needed because:

- a) the stud height is greater than 2,400 mm;
- b) there is a high pitched roof and the standard flue would not project 600 mm above the ridge;
- c) the Heat Shield would not protrude 400 mm above the roof;
- d) the ceiling is sloping.

Section 3 explains the special requirements needed when fitting a Yukon stove into an existing fireplace.

2.1 Installations with the standard flue kit

2.1.1 Place the stove in position, satisfying all clearances noted in Section 1. Take care that the flue will not pass through ceiling joists, rafters, valleys or ridges. Drop a plumb bob from the ceiling to the centre of the flue outlet flange of the stove to locate the position where the flue will pass through the ceiling.

Cut a 275 mm square hole through the ceiling on this centre-line. Secure suitable nogs to the ceiling timbers forming a 275 mm square opening to which the bottom of the Heat Shield will be secured, Figure 13. Care should be taken that the hole is square and is no greater than 275 mm so that the Ceiling Plate will cover the opening.

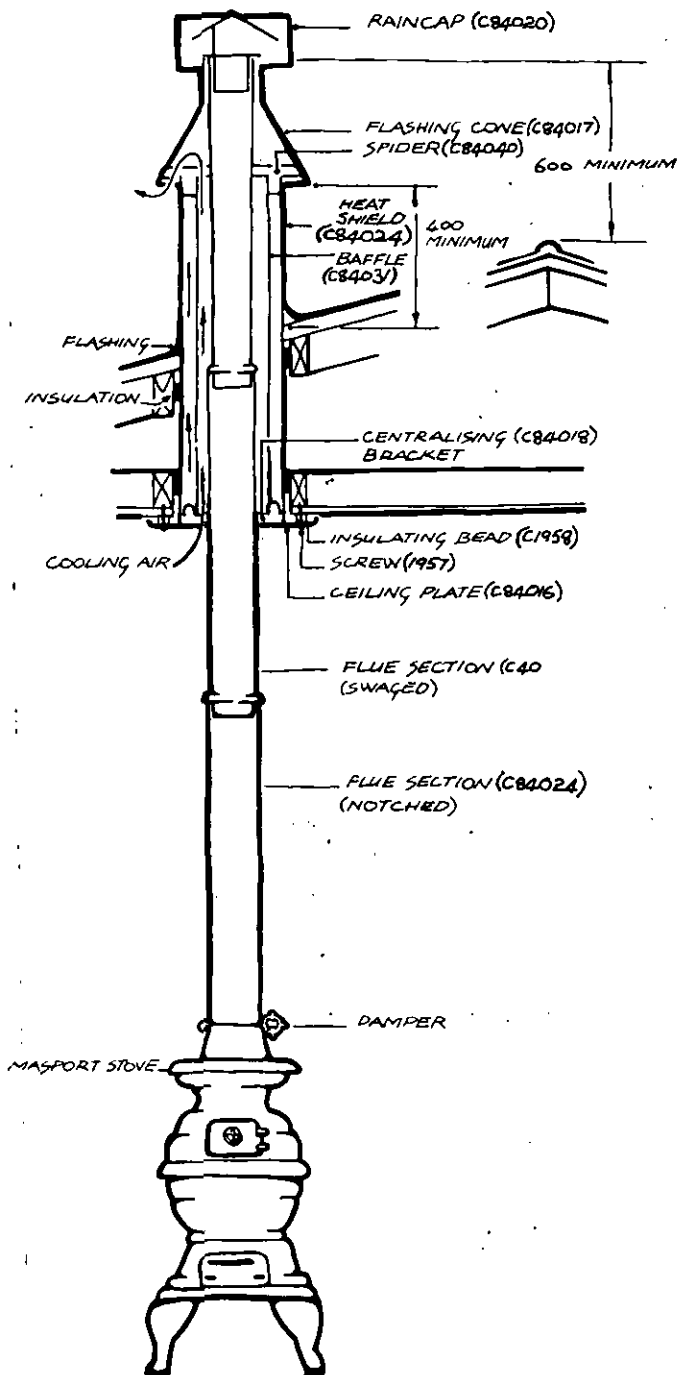


FIGURE 12

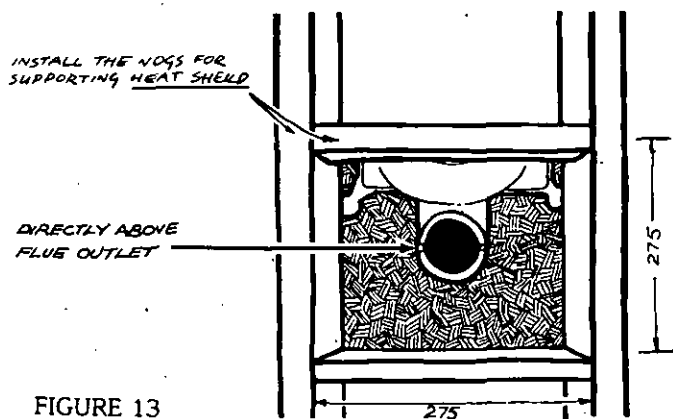


FIGURE 13

2.1.2 On the same centre-line cut a 250 mm diameter hole through the roof and secure suitable nogs to the roofing timbers forming a 275 mm square opening to which the top of Heat Shield may be secured. With the crinkled or swaged end uppermost and the lower end protruding 12 mm below the ceiling, nail or screw the Heat Shield in place using four 12 mm thick insulating spacers at each end, Figure 14.

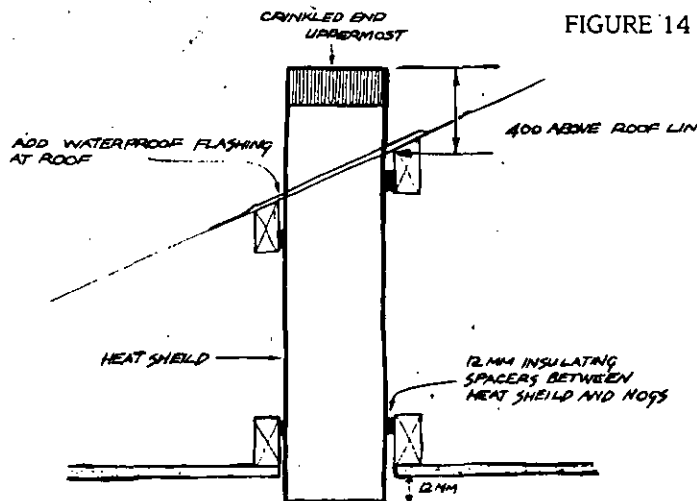


FIGURE 14

The top of the Heat Shield must be at least 400 mm above the roof as shown in Figure 14. If more than 400 mm of the Heat Shield protrudes above the roof, the Shield may, but need not, be trimmed. The Heat Shield should now be flashed to waterproof the joint.

2.1.3 Assemble the two Flue Sections and fit the notched Flue Section to the lower (swaged) end, Figure 15. All flue seams should be in line. The bottom flue is notched to accommodate the Damper.

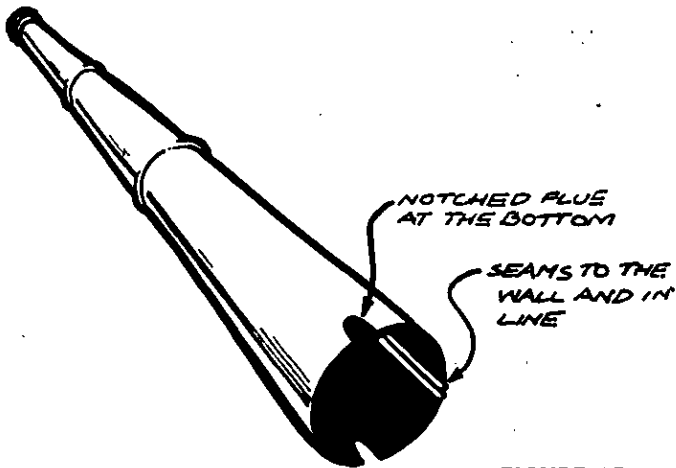


FIGURE 15

2.1.4 Clamp the Centralising Bracket with the lugs upwards, to the assembled Flue Sections so that the bottom of the bracket will be flush with the bottom of the Heat Shield when the flue is in place, Figure 16. Move the flue up and down to ensure that the Centralising Bracket is a free sliding fit within the Heat Shield. This is to accommodate expansion and contraction of the flue. If the bracket is tight, bend the ends of the arm's slightly to achieve the desired fit.

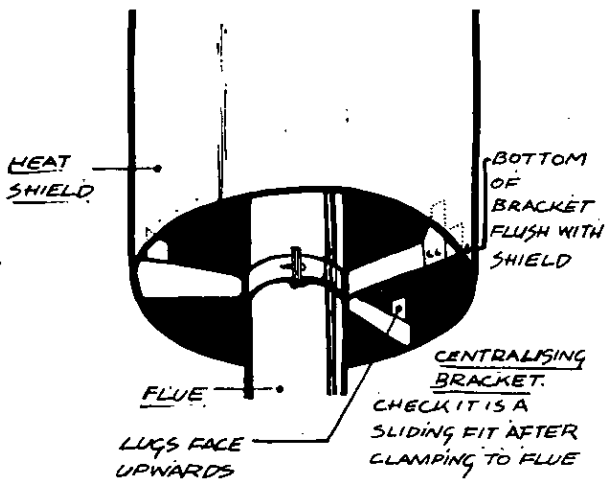


FIGURE 16

2.1.5 To ensure that the tops of the Baffle and Heat Shield are level with each other when finally installed, measure the length of the Heat Shield and subtract 19 mm (the height of the Centralising Bracket). Trim the Baffle to this dimension, Figure 17.

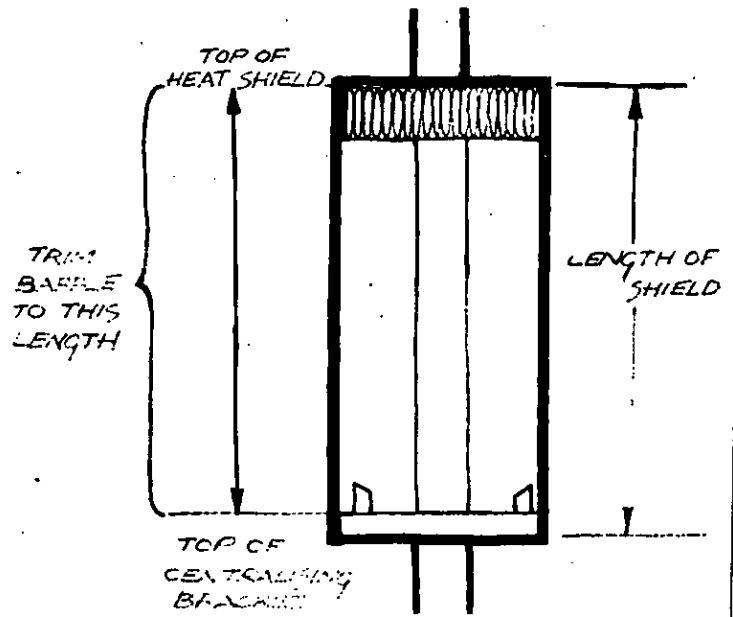


FIGURE 17

2.1.6 Ensure that the Damper is in position and place the Ceiling Plate, with the plastic coated side down over the flue outlet flange on the stove, Figure 18.

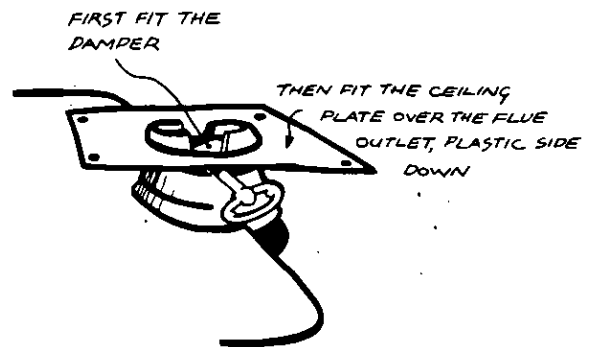


FIGURE 18

2.1.7 Insert the assembled flue upwards through the Heat Shield and fit the notched flue onto the outlet flange, making sure that the flue seam is towards the wall. Slide the Ceiling Plate up and screw it to the ceiling, using the spacers provided to keep the Ceiling Plate clear of the ceiling, Figure 19, making sure that the gap between the Ceiling Plate and flue is even all around. The protective plastic coating may now be peeled from the Ceiling Plate.

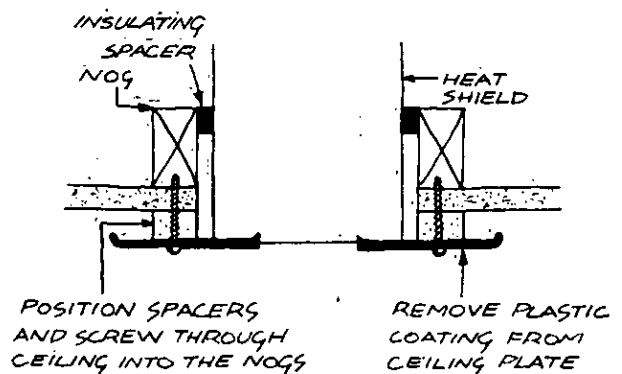


FIGURE 19

2.1.8 Lower the Baffle down through the Heat Shield and centralise it on the lugs on the Centralising Bracket, Figure 20.

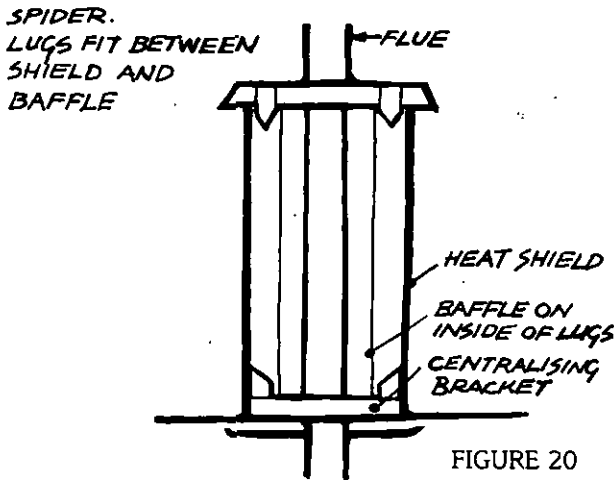


FIGURE 20

2.1.9 The Spider may now be placed over the top of the assembled flue. The lugs on the Spider arms should pass down between the Baffle and the Heat Shield, Figure 20. Clamp the Spider in place.

Since the flue will expand and contract, the Spider must be able to slide freely between the Heat Shield and Baffle. If necessary, distort the top of the Heat Shield to allow this free movement.

2.1.10 The Flashing Cone can now be placed over the top of the flue to rest on the Spider. If the top of the flue and Flashing Cone are level, and at least 600 mm above the roof ridge, the Raincap may be slipped into place inside the flue to complete the installation, Figure 21. The Raincap should not be fastened to the top flue section, although it should be a firm sliding fit. If it is loose, distort the flue slightly to obtain the required fit.

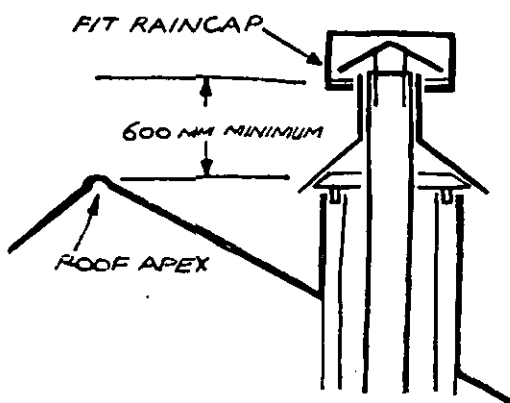
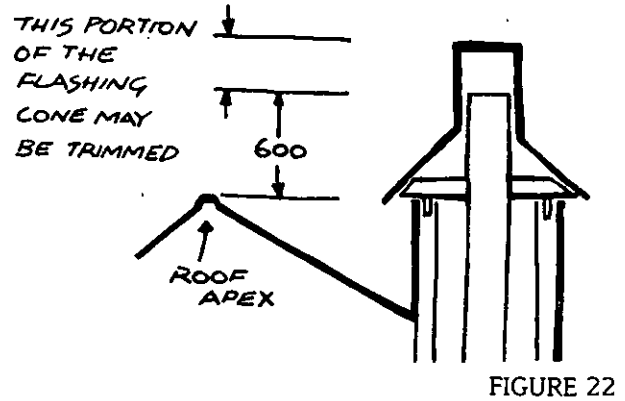


FIGURE 21

If the Flashing Cone is above the flue as in Figure 22, the Flashing Cone may be trimmed to suit, or, if the flue projects above the Flashing Cone as in Figure 24, a Weather Sleeve will be required as detailed in Non Standard Installations, Section 2.2.2 below.

2.1.11 If a Flue Heat Deflector is required, this may now be fitted to complete the installation, Figure 6. The bottom of the Flue Heat Deflector should not be less than 150 mm below the top of the heat screen on the wall. Assembly instructions accompany each Flue Heat Deflector Kit.



2.2 Non Standard installations

Installations should proceed as in 2.1. When extra Flue Sections, Heat Shields, Baffles and Weather Sleeves are required to achieve the necessary heights above the roof, additional components are available from your retailer. Refer to Figure 10 for part numbers.

2.2.1 On sloping ceilings, the bottom end of the Heat Shield and Baffle must be trimmed to the appropriate angle, Figure 23. The Baffle will have to be slotted to fit over the arms of the Centralising Bracket.

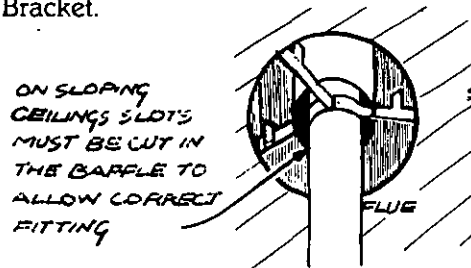


FIGURE 23

2.2.2 The Flashing Cone and Spider may now be installed on top of the Heat Shield as in 2.1.9. If the flue protrudes above the Flashing Cone, up to 300 mm of the flue may be trimmed off to bring the top of the flue and Flashing Cone level. When more than 300 mm of the flue protrudes above the Flashing Cone, a Weather Sleeve must be added, Figure 21, with swaged end uppermost. The bottom end of this sleeve should be trimmed so that the top is level with the top of the flue.

More than one Weather Sleeve may be used if the height of the installation requires it, but if more than two Sleeves are required, they must be stabilised with wire stays.

2.2.3 The Raincap may now be slipped into place inside the top flue to complete the installation.

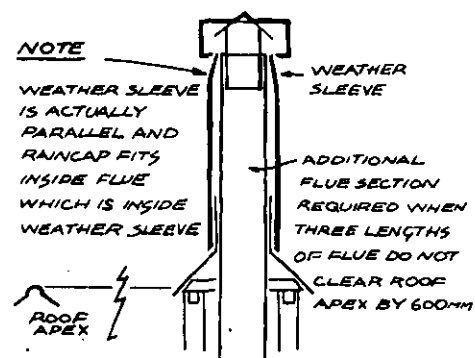


FIGURE 24

3. Installing a stove in a fireplace

Only the Yukon Stove is suitable for this type of installation and may be installed in most existing fireplaces.

3.1 Stove installation

Before installing the stove, the chimney should be swept and inspected for soundness, the joint of the fireplace with the chimney face should be examined for separation, and all timber work near the fireplace should be checked to ensure that it is at least 50 mm clear of the brickwork to prevent overheating.

A straight Flue Socket will usually be required and this is bolted to the back of the stove in place of the Elbow supplied as standard. Your stove stockist will supply you with a straight Socket in exchange for the standard Elbow at no charge. The Baffle Plate must be reinstalled when the straight Socket is fitted, Figure 2. With the straight Socket, the Damper is fully open when the Damper Handle is in line with the flue, not vertical as it is when used with the standard Elbow.

When installed in a fireplace opening, the following requirements must be met.

A) Exposed heat sensitive materials within 860 mm

of the stove should be screened in an approved manner, refer 1.2 Protecting the Walls. This includes mantelpieces and heat sensitive walls.

B) The hearth should extend at least 300 mm beyond the legs in all directions, refer 1.3 Protecting the Floor.

C) The stove should not discharge into a chimney common with another fireplace.

D) Provision should be made for sweeping the flue without requiring dismantling or reinstatement work by tradesmen other than the chimney sweep.

3.2 Flue installation

Two methods of Installation are possible, Full Height Flue and, Short Flue installations.

3.2.1 Full Height Flue Installation:

This method of installation is recommended as it gives a more positive draught which yields the best stove combustion efficiency, Figure 25. A full height flue should always be used if there is any doubt regarding the soundness of the mortared chimney joints and their ability to withstand the increased flue gas temperatures.

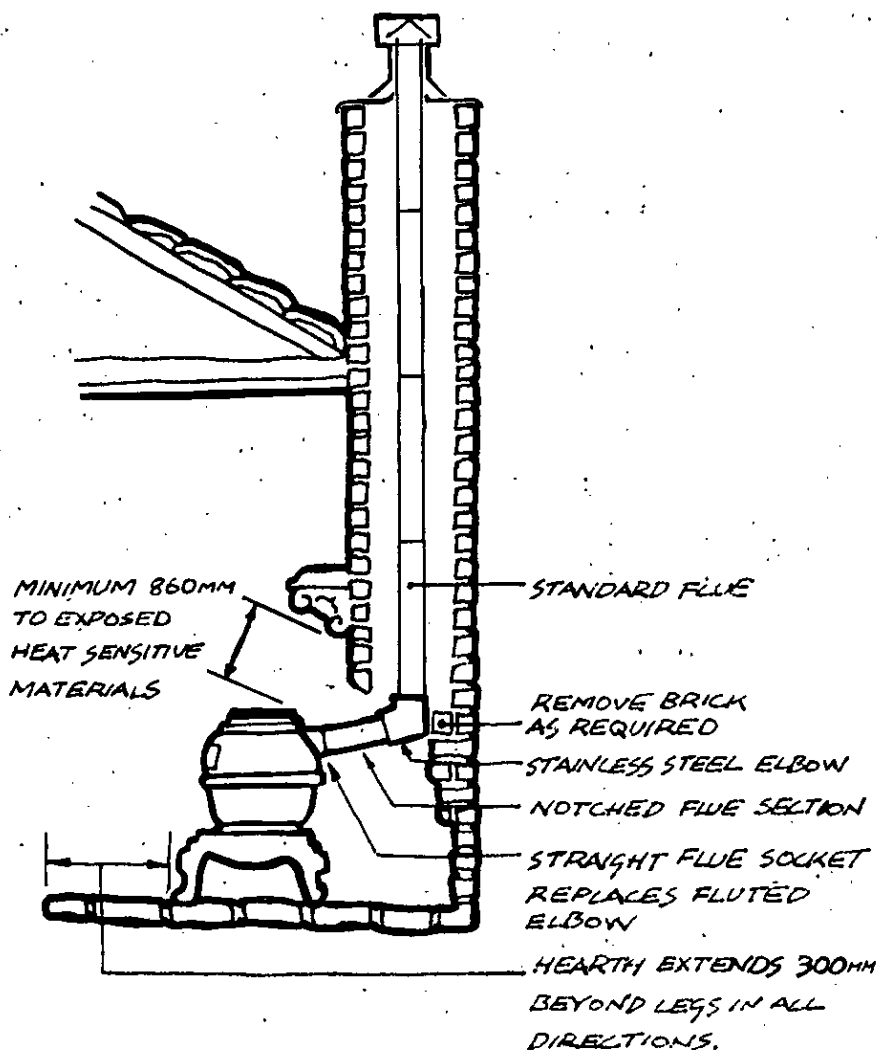


FIGURE 25

Assemble the Swaged Flue Sections, swaged end downward, in the chimney using sufficient lengths to ensure that the top will protrude at least 300 mm above the top of the chimney.

The flue may now be connected to the stove using a Notched Flue Section cut to the required length, and a stainless steel Elbow. The flue should be supported as described in Section 3.2.3.

Fabricate a chimney flashing sheet of galvanised steel with a hole which accepts the flue with an easy sliding fit. The hole should be flanged upward to stop water running down the chimney. Place a Flashing Cone over the flue and slide a Rain Cap into the top to rainproof and prevent draught.

3.2.2 Short Flue Installation:

The second installation method requires a register plate to be secured in the chimney at the roof of the fireplace opening; Figure 26. The flue is attached to the stove as in 3.2.1 above, and passes through a close fitting hole in the register plate, extending above it by at least 1200 mm.

The register plate must fit snugly against the masonry to prevent air loss up the chimney. It must have a removable cover or other means of allowing the chimney to be swept.

3.2.3 Supporting the Flue

It may be necessary, especially where a full height flue is used, to use some additional form of flue support. This may be done by fastening a bracket to the masonry, or by constructing a support or tripod which can stand in the fireplace, Figure 27.

A strap (Centralising Bracket) or similar may be clamped around the flue to transfer the weight of the flue to the support.

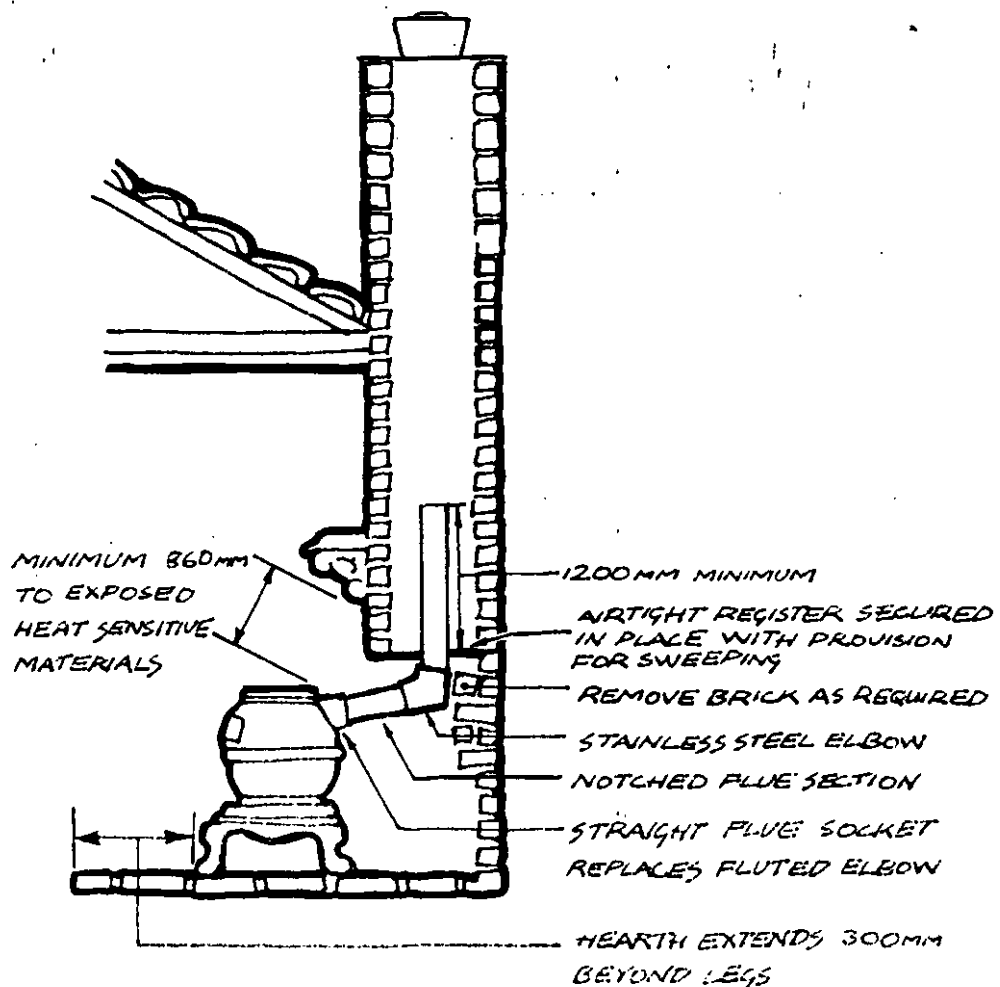
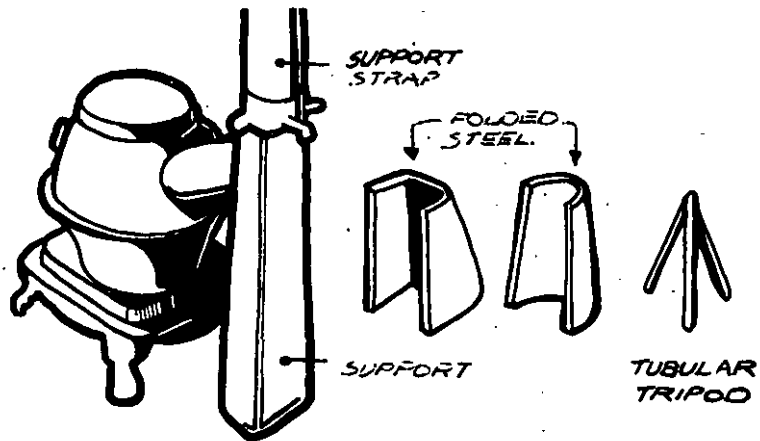


FIGURE 26

4. Installing a stove fitted with a water heating coil.

Plumbing work should meet the requirements of N.Z.S. 4603:1976 unless Local By-Laws rule otherwise, and it should be carried out by a qualified tradesman.

A stove fitted with a Coil should not be fired unless connected to the cylinder with water free to circulate. The external pipe connections are located at the rear of the stove: the outlet at the top, inlet at the bottom, Figure 28.

Check that the Water Heating Coil is correctly positioned inside the Stove. The Coil should rise steadily from the lower inlet to the top outlet without any down hill section which could cause an air-trap and give poor circulation.

Ideally, the following conditions should be fulfilled when connecting the Coil to a hot water cylinder, Figure 28.

The piping methods suggested are designed to prevent hot water circulating back through the stove when it is not in use. It will normally be necessary to modify an existing cylinder by adding an outlet leading to the Coil and providing an inlet with an internal riser. Alternatively, a new dual purpose cylinder may be installed.

4.1 The bottom of the cylinder should be above the outlet of the Coil. Some Electrical Authorities specify a minimum height difference. Check in your area.

The further the Stove is from the Cylinder the higher the cylinder should be above the coil. It is

recommended that the cylinder be 200 mm above the coil for every metre it is away from the stove.

4.2 The cylinder should be within three metres of the coil. The unit will operate at greater distances but the water circulation rate will be reduced as the length of pipe increases.

4.3 The pipe returning to the cylinder should not fall below the level of the coil outlet and should preferably rise continuously from the coil to the cylinder. Both pipes between the Coil and the cylinder should be lagged separately to minimise heat loss. They should not be run immediately adjacent to each other as this will minimise the heat differential and reduce the flow rate.

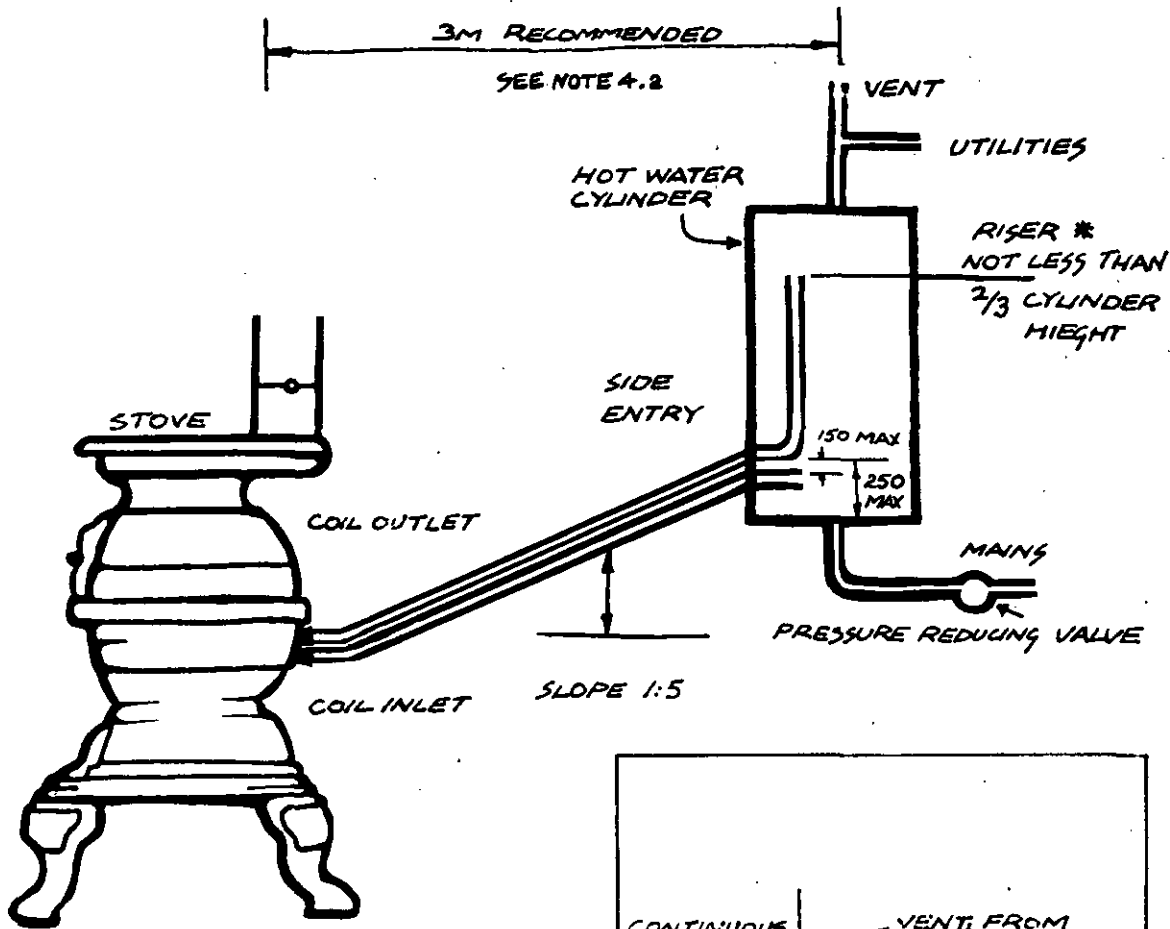
4.4 The changes in direction in pipes should be through bends rather than elbows to minimise frictional losses.

4.5 All pipe work between Coil and cylinder should be at least 25 mm diameter.

4.6 If the return pipe rises above the point of re-entry into the cylinder, a vent pipe must be provided at the highest point in the return pipe, Figure 29.

Note: Shut-off or non-return valves must not be fitted in the pipes between the cylinder and the Coil. A drain valve may be fitted at the low point in the system.

	PITTSBURGH mm.	KLONDIKE mm	FATSO mm	YUKON mm	OREGON mm
a. Pipe Connections					
Height above					
hearth (i) inlet	445	335	445	285	335
(ii) outlet	495	435	495	385	435
b. Connection Thread	1" BSP	¾" BSP	1" BSP	¾" BSP	¾" BSP



*
NOTE: RISER INSIDE CYLINDER
ELIMINATES BACK CIRCULATION
THROUGH COLD STOVE AND
DEPOSITS HOT WATER AT THE
TOP FOR QUICK RECOVERY

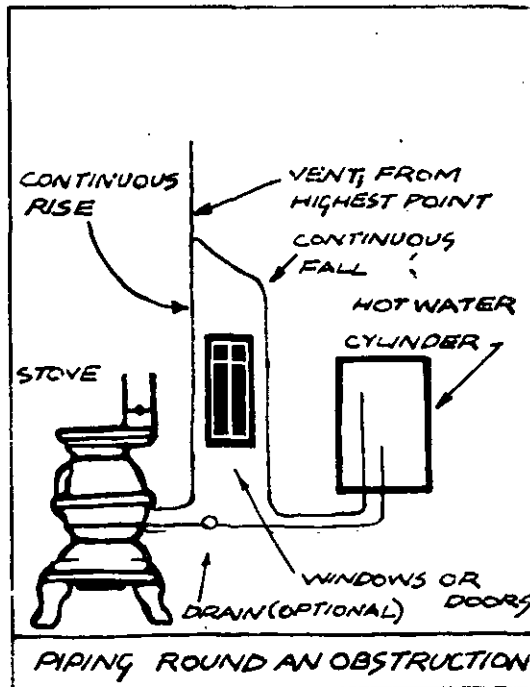


FIGURE 28

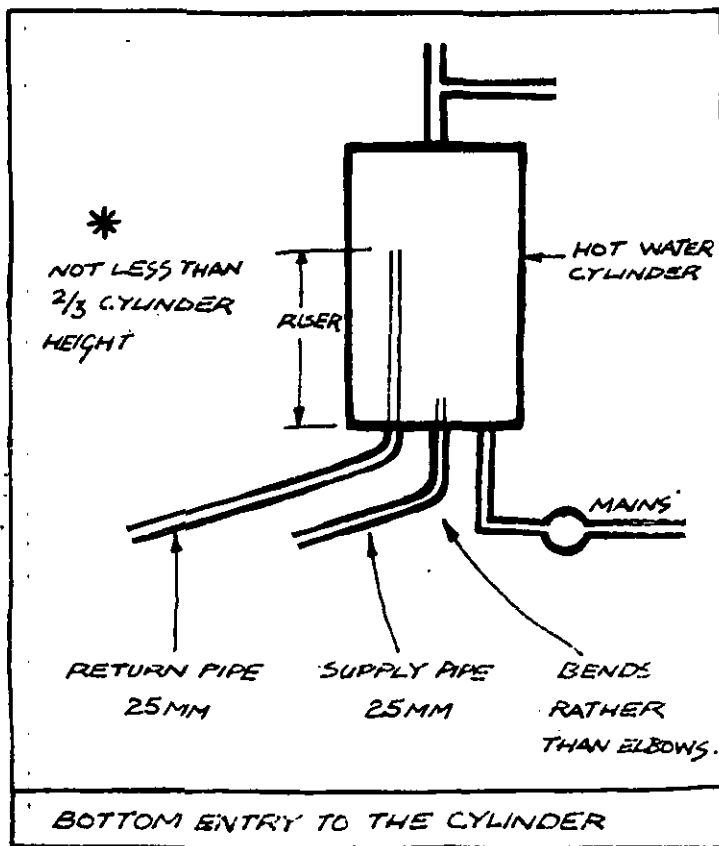


FIGURE 27

These diagrams are manufacturer's recommendations only and may not necessarily comply with Local Body requirements regarding water coil installations. Please check with your local authority before proceeding.

33800/31

CITY OF WAITEMATA

1123/1

Roll No. / /

Nº 22314

BUILDING PERMIT

Owner of Section

S G GRIFFITHS

Date 30 March 1983

Address

31 Victory Road, Laingholm

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. 644 DP 32446

on 31 VICTORY ROAD, LAINGHOLM in accordance with the plans lodged and

subject to the following conditions:

Nature of proposed work

GARAGE

Western Garaging Ltd
PO Box 57113
AUCKLAND

Value of work, \$ 1,950

Fee \$ 18 0 0 Rec. No. T056 18.3.83.

For the Waitemata City Council


Duly Authorised Officer.

FOR FURTHER CONDITIONS SEE OVER

Building Inspected. Date

Insp. Intls.

Final Inspection

Inspector

Register Noted. - Date

22.4.86
33800/91

CITY OF WAITEMATA

1123/1

Roll No. / /

No 22314

BUILDING PERMIT

Owner of Section

S G GRIFFITHS

Date 30 March 1983

Address

31 Victory Road, Laingholm

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. 644 DP 32446

or

31 VICTORY ROAD, LAINGHOLM

in accordance with the plans lodged and

subject to the following conditions:

Nature of proposed work

GARAGE

Western Garaging Ltd
PO Box 57113
AUCKLAND

Value of work, \$ 1,950

Fee \$ 18 : 0 : 0 Rec. No. T056 18.3.83.

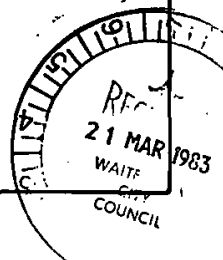
For the Waitemata City Council



Duly Authorised Officer.

APPLICATION No. 1123 / 1
 FINAL CHECK Initials ca
 * Date 31/3/83

PERMIT No. 22314
 DATE ISSUED 31/3/83
 Authorised Officer

25/3
 HEAD OFFICE DATE STAMP


CITY OF WAITEMATA
 JOHN HENRY CENTRE, 6-8 PIONEER STREET, HENDERSON
 POSTAL ADDRESS: PRIVATE BAG, HENDERSON 8 — PHONE: HSN 61-195 and 61-119
 INSPECTORS DEPARTMENT ON GROUND FLOOR

BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME S S Scripps PHONE No. 8174206
(BLOCK CAPITALS)
 PRESENT POSTAL ADDRESS 31 Victory Rd Laingholm
 BUILDER: NAME Western Grouping PHONE No. 886522
 POSTAL ADDRESS Box 57113 Auckland 3
(Permit will be posted to builder unless otherwise requested)
 SIGNATURE OF APPLICANT T. Koyro

NATURE OF PROPOSED BUILDING WORK
erect a new Garage

VALUE OF WORK

Building (including the materials for Plumbing & Drainage)	\$ 1950.00
† Building Permit Fee	\$ 18.00
* Drainage (excluding materials)	\$
* Plumbing (excluding materials)	\$

* Separate permits to be obtained by Drainlayer and Plumber.
 * Refer Note 9 page 5.
 * Fee to be assessed on value of work excluding amount upon which Drainage and Plumbing Fees payable and may be paid at time of lodging application.
 † A further 25% is payable on this fee where structural check is required.

FLOOR AREA OF PROPOSED WORK

Basement	.....
Ground Floor	.....
First Floor	.....
Others	.....
Total	<u>32.6 m²</u>

VALUATION ROLL NO. 33800 / 31
 FULL LEGAL DESCRIPTION OF THE PROPERTY (as per Rate Demand or Title Deeds)
 LOT 644
 D.P. 32446

Building Research Act 1969
 LEVY ON TOTAL VALUE OF \$3,000 OR MORE INCLUDING DRAINAGE AND PLUMBING WORK
 Fee: \$1.00 per \$1000 or part thereof
 Amount of Levy

NAME OF PREVIOUS OWNER OF SECTION

AREA OF SECTION: 993.9 square metres FRONTAGE: 24.58 metres
(Show large sites in hectares)

ROAD NAME 31 Victory Rd LOCALITY Laingholm
 IMPORTANT — SEE INSTRUCTIONS ON PAGE FIVE

FOR OFFICE USE ONLY

REMARKS

Permit issued subject to the following conditions

Approved by [Signature] Building Inspector 25/3/83 Date
 Approved by [Signature] Plumbing/Drainage Inspector 29.3.83 Date
 Approved by Health Inspector Date
 Town Planning Zoning Residential Date and Officer Proposed Non Urban Reg 1
 Approved by [Signature] Town Planning Officer 24/3/83 Date

Building Permit Fee	\$ 18.00	Receipt No. <u>T056</u>	Date <u>18.3.83</u>
Structural Checking Fee	\$	Receipt No.	Date
Road Damage Deposit Fee	\$	Receipt No.	Date
Road Damage Deposit Refund	\$	To	Date
Cost of Vehicular Crossing	\$ Existing	.....	Date

Electricity Transmission Lines: Present /Not present over property Initials <u>sd</u> Date <u>29.3.83</u>	WCC Sanitary and Stormwater Sewers checked — Release/ Hold Initials <u>N/A</u> Date	Location of ARA Trunk Sewers checked — Release/ Hold Initials <u>N/A</u> Date
--	---	---

PLEASE REFER TO NOTES ON PAGE FIVE

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY
(Full specifications are required for all other work)

FOUNDATIONS

Type of Foundations..... e.g. Solid concrete, Blocks, Timber, Piles, etc.
Size of footings..... Walls..... Reinforcing.....
Size..... Spacing.....

N.B.—All blocks must be at least 450mm into ground and set on a 300mm x 300mm x 100mm concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size.....			Top Plates Size.....
Noggins	Size.....		Number of rows of noggins.....	

N.B. (a) Minimum stud height for dwellings is 2.4m.
(b) Top window trimmers must be checked 15mm or otherwise supported.

ROOF

Covering.....	Ridges	Size.....	Purlins	Size.....
	Sarking	Size.....	Under Purlins	.....
	Size	Spacing	Span	Timber
Rafters	.....	.....	.....	.....

MISCELLANEOUS

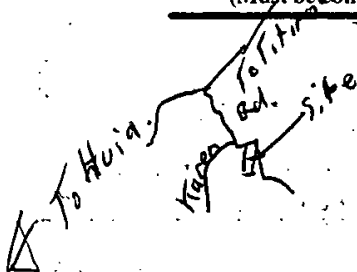
Flooring Size..... Exterior Sheathing.....
Inside Lining.....

Is any second-hand material to be used in the proposed Construction?..... If YES, then a separate application must accompany this form.

INSULATION

Floor..... Walls..... Ceilings.....

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE.
(Must be completed)



DRAINAGE AND PLUMBING

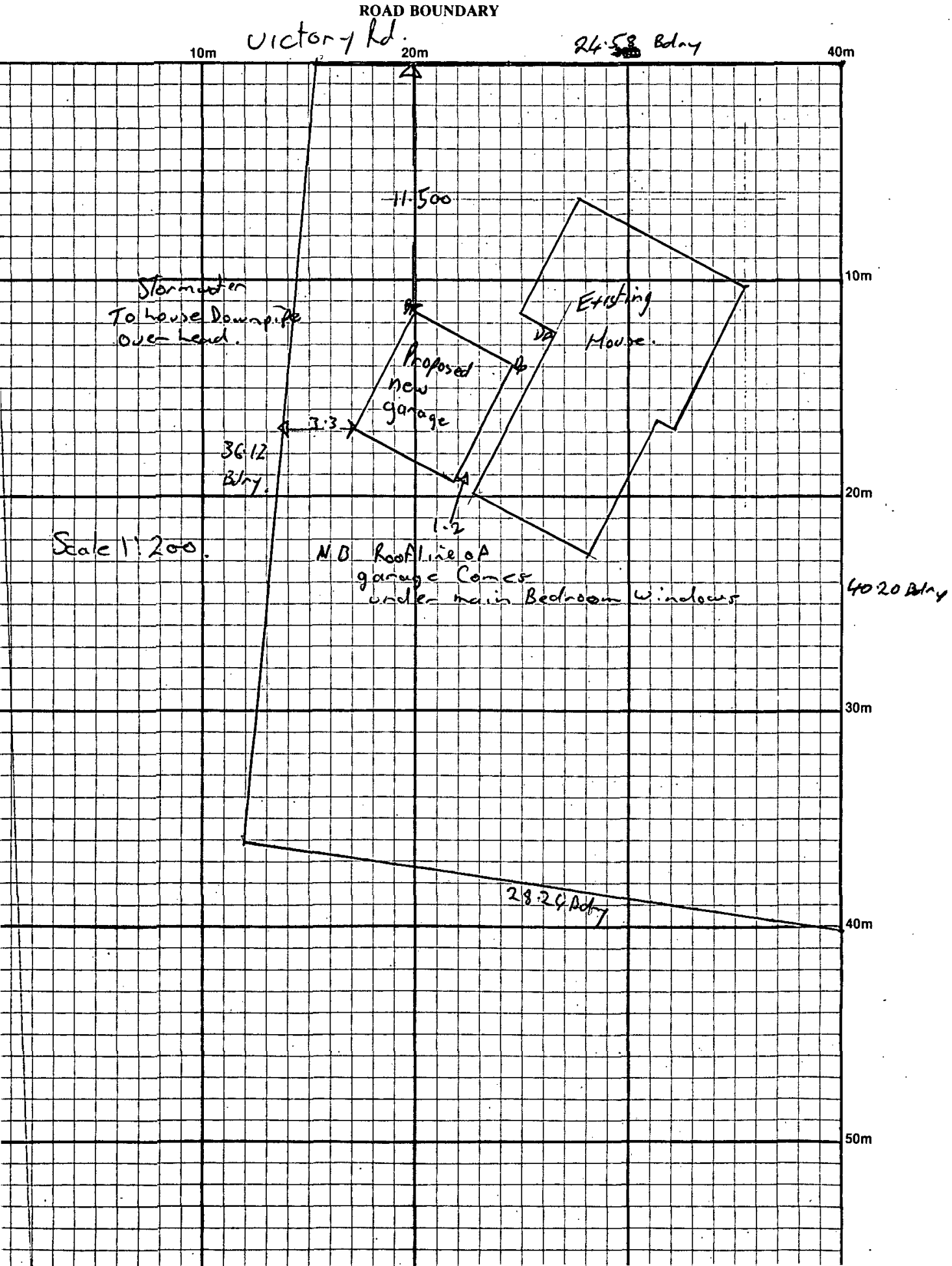
ALL DRAINAGE AND PLUMBING MUST BE CARRIED OUT BY REGISTERED TRADESMEN. IF IT IS INTENDED TO INSTALL A SEPTIC TANK, NOW OR IN THE FUTURE, THE SITE MUST BE INSPECTED BY THE INSPECTOR BEFORE BUILDING IS COMMENCED.

IT IS MOST IMPORTANT THAT BUILDINGS SHOULD NOT BE OCCUPIED BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND OFFICIALLY APPROVED.

PLUMBING AND DRAINAGE PERMITS MUST BE OBTAINED BEFORE ANY PLUMBING OR DRAINAGE WORK IS COMMENCED.

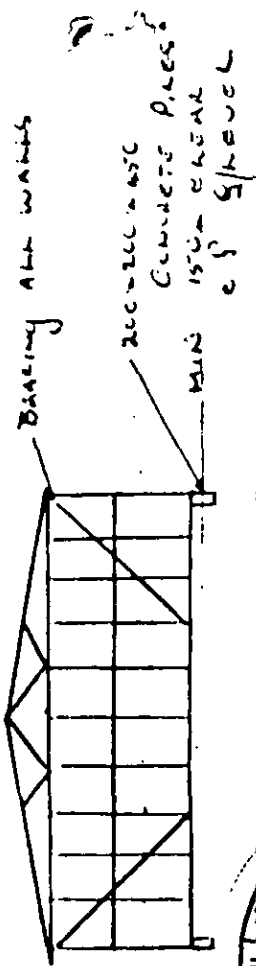
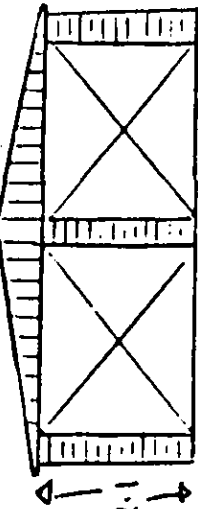
PLEASE REFER TO INSTRUCTIONS ON PAGE FIVE

- SITE PLAN: (a) All existing buildings are to be shown in black ink and new buildings in red.
(b) For residential sections the site plan must be accurately drawn to the scale provided. 1:200 (i.e., one square equals one metre).
(c) All other sections (including farms, etc), please state scale used.
(d) All dimensions MUST be specified.



pitched roof

~~Garage~~ TRUSSES
 7/00



FRONT

CROSS SEC.



FOUNDATION PILES
 AT 1200 CAS OR ALTERNATIVE
 AS PER FIG A

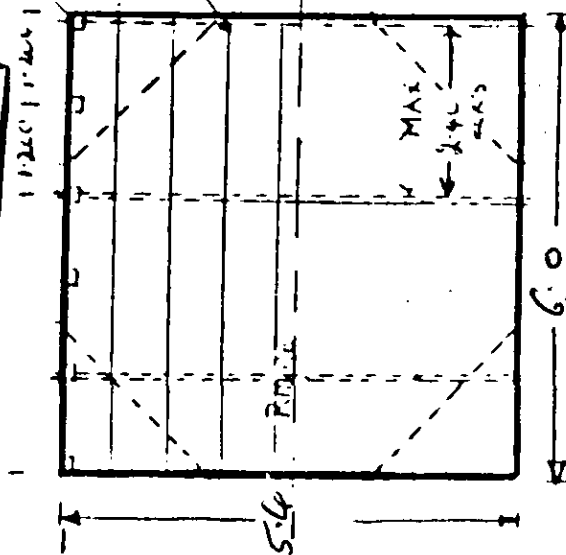
SCHEDULE

FOUNDATIONS 200x200 CIRCLE PILES
 AT 1200 CAS OR ALTERNATIVE
 AS PER FIG A

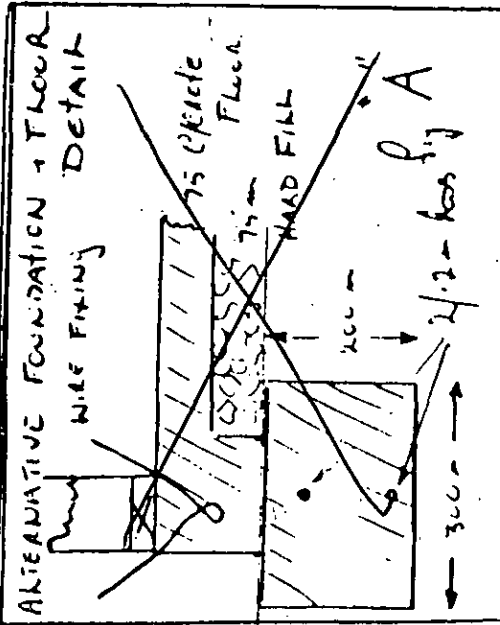
FRAMING

BT KAD. PINE ALL 100x50
 STUDS 600 CAS
 JOISTS 1 x ROW
 CHAIR TIES ALL CAS
 END BRACE 45
 CURTENS ON EDGE 7500
 WALL BRACING AS ALL
 WALLS METAL C/S BRID
 145 9 C. 1200 LONG RUN
 MAY 240 C.R'S

ROOF
 WALL CLADDING GALV W/B/D
 SPACING DOWN PILES 310 FLASHINGS
 TRUSSES GANG WALL SER NUT/LOC 90/38.



PLAN



PROPOSED GARAGE for

Mr S G Griffiths
 31 Victoria Rd
 Leigh

SCALE 1:100

APPROVED
 SUBJECT TO SUCH
 CONDITIONS AS ARE TO
 BE IMPOSED BY OR
 APPLIED TO
 BUILDING PERMIT
 SIGNED
 25/3/83

CITY OF WAITEMATA

33800/031/00

418/6

Roll No. / /

BUILDING PERMIT

29581

Date **27 NOV 1985**

Owner of Section **S.G. & K.J. GRIFFITHS**

Address **31 VICTORY ROAD, LAINGHOLM**

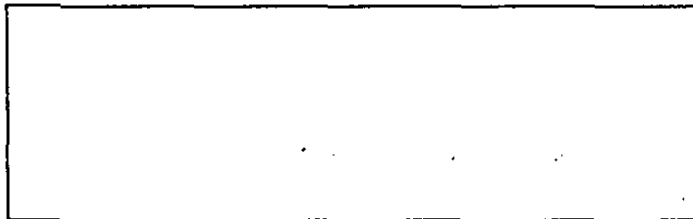
THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. **644 DP 32446**

on **31 VICTORY ROAD, LAINGHOLM**

in accordance with the plans lodged and

subject to the following conditions:

Nature of proposed work **ADDITION TO DWELLING**



Value of Work, \$ **10,154**

Fee \$ **125 00**: Rec. No. **2/62 18/10/85**

For the Waitemata City Council

1/20 27.11.85

A. Frost
.....
Duly Authorised Officer.

FOR FURTHER CONDITIONS SEE OVER

Building Inspected. Date Insp. Intls.

*Both \$6125 x 50 against exist house
Both to poles & ledgers.*

Final Inspection

18/4/86
[Signature]

Inspector

18 4 1986

Register Noted. Date

CITY OF WAITEMATA

33800/031/00

418/6

Roll No. / /

BUILDING PERMIT

29581

Owner of Section **S.G. & K.J. GRIFFITHS**

Date **27 NOV 1985**

Address **31 VICTORY ROAD, LAINGHOLM**

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. **644 DP 32446**

on **31 VICTORY ROAD, LAINGHOLM**

in accordance with the plans lodged and

subject to the following conditions:

Nature of proposed work **ADDITION TO DWELLING**

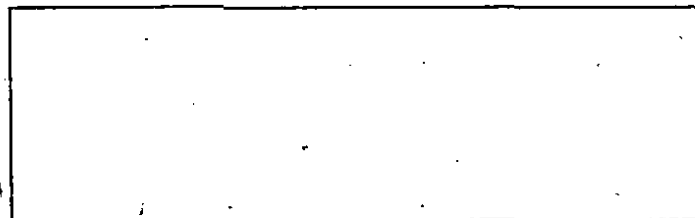
Value of Work, \$ **10,154**

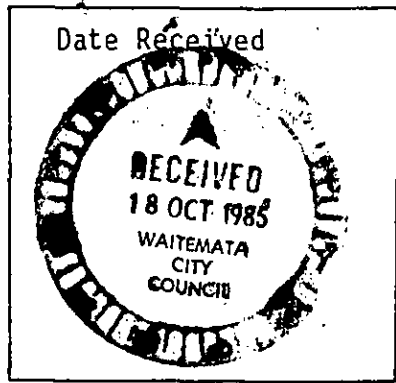
Fee \$**125.00**: Rec. No. **2/62 18/10/85**

1/20 27.11.85

For the Waitemata City Council

a: J.S.
Duly Authorised Officer.





CITY OF WAITEMATA

CIVIC CENTRE, 6 WAIPAREIRA AVENUE, LINCOLN
 Postal Address: PRIVATE BAG, EDMONTON POST OFFICE,
 WAITEMATA CITY,
 Telephones: 836-1195 and 836-1119

BUILDING PERMIT APPLICATION

IMPORTANT - Please Read Notes On Reverse And Complete The Following Information

OWNER OF SECTION S.G. & K.S. GRIFFITHS.....PHONE NO. 817 4206
 PRESENT POSTAL ADDRESS 31 VICTORY ROAD LAINGHOLM AUCKLAND
 BUILDER TO BE DECIDED.....PHONE NO. 817 4206 (owner)
 POSTAL ADDRESS

PARTICULARS OF PROPERTY

LOT: 644..... D.P. 32446..... VALUATION ROLL NO. 33800.1031.100..
 FRONTAGE: 24.58..... Metres AREA: 1010..... Square Metres
 ROAD NAME: 31 VICTORY ROAD..... LOCALITY: LAINGHOLM..
 PREVIOUS OWNER:

FOOTPATH CONDITION: METAL GRATE.....
 NATURE OF GROUND ON WHICH BUILDING WILL BE PLACED NATURAL CLAY..
 NATURE OF PROPOSED BUILDING WORK RETRA BE PROOF Add to Dwelling

FLOOR AREA OF PROPOSED WORK	VALUE OF WORK (REFER NOTE 5)	PLAN REVIEW FEE
Basement	Building \$ <u>10,154</u>	\$ <u>62.50</u>
Ground Floor <u>3600 x 6095</u>	Drainage \$ <u>NIL</u>	0062A002 18/10/85SUBT 62.50
First Floor	Plumbing \$ <u>NIL</u>	Receipt No:.....
Other floors		
Total <u>21m²</u>	TOTAL VALUE \$ <u>10,154</u>	Date:.....

WILL ANY SECOND-HAND MATERIALS BE USED? YES / NO
 ARE THERE HIGH TENSION ELECTRICITY LINES OVER PROPERTY YES / NO

SIGNATURE OF APPLICANT

S.G. Griffiths

NOTES

- 1 OWNER OF SECTION - Enter surname and initials.
 - 2 PARTICULARS OF PROPERTY - May be obtained from Rate Notice or Valuation Notice. If the property has been purchased within the last 12 months please give the previous owner's name in the space provided.
 - 3 FOOTPATH CONDITION - Any damage to footpath, grass verge or kerb in front of property (both frontages if a corner site) to be indicated in space provided.
 - 4 NATURE OF GROUND ON WHICH BUILDING WILL BE PLACED - e.g. natural clay, fill, certified compacted fill, peat, rock etc.

Where it is proposed to build on uncompacted fill, peat or other forms of doubtful bearing ground or in an area noted as stability sensitive in the District Scheme a soils report, together with details of structural design, shall be prepared by a Registered Engineer and shall be included with the application.
 - 5 VALUE OF WORK - (a) Building. Include the value of materials for plumbing and drainage.

(b) Plumbing and Drainage. Enter labour values only.
 - 6 A plan review fee must be paid at the time of lodging this application. This fee is non-refundable once processing has commenced. A further fee is payable prior to the issue of the building permit.
 - 7 PLUMBING AND DRAINAGE PERMITS - Applications for Plumbing and/or Drainage Permits are required (where applicable) to be made at the time of application for a Building Permit. Plumbing or Drainage Permits will only be issued to Craftsmen Plumbers or Registered Drainlayers.
 - 8 ROAD DAMAGE DEPOSIT - A Road Damage Deposit is compulsory on all work over the value of \$2,000. Where the road in front of the property has a sealed surface the deposit is \$100 and \$50 where the surface is metal.
 - 9 SECOND-HAND MATERIALS - If second-hand materials will be used in the proposed work an application for a Second-hand Materials Inspection must be lodged with the Building Permit Application.
 - 10 ELECTRICITY LINES - If Waitemata Electric Power Board or New Zealand Electricity Department high tension transmission lines cross any part of the property the building permit application must be accompanied by a clearance from the relevant authorities.
 - 11 SIGNATURE OF APPLICANT - Application must be signed by either the owner, builder or authorised agent.
-

APPLICATION NO. 41816..... PERMIT NO

CITY OF WAITEMATA

CIVIC CENTRE, 6 WAIPAREIRA AVENUE, LINCOLN
Postal Address: PRIVATE BAG, EDMONTON POST OFFICE,
WAITEMATA CITY,
Telephones: 836-1195 and 836-1119



BUILDING PERMIT APPLICATION

IMPORTANT - Please Read Notes On Reverse And Complete The Following Information

OWNER OF SECTION ... S.G. & K.J. GRIFFITHS PHONE NO. 817 4206
PRESENT POSTAL ADDRESS ... 31 VICTORY ROAD LAINSHALM AUCKL
BUILDER TO BE DECIDED PHONE NO. OWNER 817 4206
POSTAL ADDRESS

PARTICULARS OF PROPERTY

LOT: 644..... D.P. 32446..... VALUATION ROLL NO. 33800 / 031 / 00..
FRONTAGE: 24.58..... Metres AREA: 1010..... Square Metres
ROAD NAME: 31 VICTORY ROAD..... LOCALITY: LAINSHALM
PREVIOUS OWNER:

FOOTPATH CONDITION: METAL.....
NATURE OF GROUND ON WHICH BUILDING WILL BE PLACED NATURAL CLAY.....
NATURE OF PROPOSED BUILDING WORK EXTRA BEDROOM.....

FLOOR AREA OF PROPOSED WORK	VALUE OF WORK (REFER NOTE 5)	PLAN REVIEW FEE
Basement	Building \$10,154	\$.....
Ground Floor 3600 x 6095	Drainage \$...NIL...	
First Floor	Plumbing \$...NIL...	Receipt No:.....
Other floors		
Total	TOTAL VALUE \$.....	Date:.....

WILL ANY SECOND-HAND MATERIALS BE USED? YES/NO
ARE THERE HIGH TENSION ELECTRICITY LINES OVER PROPERTY YES/NO

SIGNATURE OF APPLICANT *S.G. Griffiths*.....

APPLICATION NO. 41816.....

BUILDING PERMIT PROCESSING SHEET

Town Planning Zoning N.U.R.1..... Date & Officer 21.10.85 Graham.....

Complies with district scheme.....

Approved by M.H. Taylor..... Building Inspector 22.10.85 Date

Approved by W.J. Wilson..... Plumbing/Drainage Inspector 23.10.85 Date

Approved by Health Inspector Date

Approved by Dangerous Goods Inspector Date

REMARKS
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Permit Issued subject to the following conditions
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.....
.....

INITIALS

Planning Consent Resolution File
Second-hand Materials Report Attached
Electricity Transmission Line Clearance Received	.....
WCC Sanitary Sewers Checked: Release/ Hold	<u>N/A</u>
ARA Sewers Checked: Release/ Hold	<u>N/A</u>
WCC Stormwater Sewers Checked: Release/ Hold	<u>N/A</u>
Programmers Certificate Attached	.....
Plans Checked by Fire Officer	.....
Fire Officer's Report Received	.....

FINAL CHECK Initials WBE.....
Date 25/10/85.....

PERMIT NO. 29581.....
DATE ISSUED 27 NOV 1985.....

2-
\$

Building Permit Fee 62-50

Building Research Levy 11-00

Water Meter Connection -

Drainage Permit Fee -

Plumbing Permit Fee -

Road Damage Deposit 100-00

.....

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.....

.....

Sub Total 173-50

Vehicle Crossing Fee *
 Vehicle Crossing Bond * N/A

* Cross out amount not applicable and add either Fee or Bond to Sub-total.

Total Fees Payable \$ 173-50

Road Damage Deposit Refund \$ 100

Receipt No 1120 Date 27.11.85

To Owner Date 22/4/86

BUILDING PERMIT APPLICATION - PROGRESS SHEET

Application No 418.16

To	Date Received	Date Handed on	Handed on to	Remarks
Town Planning	18.10.85	21.10.85	QI	
Building Inspector	22.10.85	22.10.85	P+D	
Plumbing & Drainage Inspector	23.10.85 WH			Bill. please check existing irrigation. <i>ED</i>
Structural Checking Engineer				
Final Check				
Others: (Specify)				

CHECK LIST - BUILDING PERMIT APPLICATIONS

To be completed by the Counter Duty Officer and attached to the Council set of plans.

CHECK ALL ITEMS: ✓ OR "N.A.", OR "X" INCOMPLETE

Applications which do not meet requirements are NOT TO BE ACCEPTED FOR PROCESSING.

OWNER: _____

APPLICATION NO. _____ / _____

1(a) Permit Application Form:

Two application forms are to be completed by the applicant and signed by the owner or his authorised agent, i.e. architect, draughtsman, builder. All items on the application form are to be completed.

(b) Plumbing and Drainage Application Form:

A separate application form is required for Plumbing/Drainage Permits. The tradesmen's name, address and registration number must be supplied, either at time of application OR PRIOR TO ISSUE OF THE BUILDING PERMIT.

For buildings requiring a septic tank a Septic Tank Application is to be completed and signed by the OWNER.

Percolation Test results are to be lodged with the application.

(c) Water Connection Application Form:

For new buildings on a reticulated water supply a Water Connection Form will be required. For household units or where an additional household unit is to be erected, separate water meters will be required for each of the household units.

(d) Footpath Condition:

Any damage to footpath, crossing or kerb must be recorded on application form. (Refer space provided under particulars of property).

All applications where total value of work exceeds \$2,000 a Road Damage Deposit form is to be completed by the applicant.

(e) Building Projects Registration Certificate must be supplied for all non-residential work over the value of \$60,000, either at time of application or prior to the issue of the Building Permit.

2. Site and Drainage Plans:

Two copies of site plans are to be submitted with all building permit applications and shall clearly show the following (min. scale 1:100, or 1:200 for sections larger than 1500 m², drawn in ink).

- (a) The position of all survey pegs relating to the lot or lots involved.
- (b) All legal boundaries are to be clearly shown with dimensions.
- (c) Any existing buildings on the site to be clearly defined and dimensioned from boundaries.
- (d) Position of proposed building to be clearly defined and dimensioned from boundaries and any other buildings on site.
- (e) Details of land contours required:-
 - (i) A contour plan with 500 mm increment lines;
 - OR
 - (ii) Spot levels at building corners, site corners and on side boundaries opposite building corner (minimum 12 points).

The ground floor level must be defined with a R.L. or datum when using spot levels or contours.

- (f) N/A Excavation and site development and/or retention proposals. If a building platform is required, details of benching and fill compaction will be necessary.
- (g) N/A Position of sanitary and stormwater public sewers to be shown on site plan. Distances to boundaries to be stated when sewers are outside site.
- (h) Layout of proposed private drains to approved connections to be shown. *Stormwater to Exist Spout: NS*
- (i) Layout of existing private drains to be shown. *Note D.P.*
- (j) N/A Proposed method of collecting and disposing of ground water and seepage to be shown, e.g. behind retaining walls.
- (k) Locality sketch showing location of property in relation to nearest major road.

3 Working drawings and specifications (min. scales 1:100 and 1:10 drawn in ink)

- (a) Working drawings showing proposed use of all parts of the proposed building. No permit application shall be received unless the whole floor is shown with existing layout and use, proposed work and final complete floor layout and use.
- (b) Elevations of ALL exterior walls showing ground levels, both existing and final development.
- (c) N/A Two sets engineering drawings, where applicable, fully dimensioned in metric, together with calculations, and Design Certificate from the designer.
- (d) N/A Two sets of specifications, with section headings. All irrelevant information is to be deleted.
- (e) Foundation plans detailing each element used, and bracing required.
- (f) N/A Roof plan showing members used and bracing required. Truss nos. to be supplied.
- (g) Details of wall bracing to be shown and bracing calculations provided.
- (h) Cross section of proposed building, showing existing and proposed adjacent ground levels.
- (i) Details of thermal insulation to be shown. If not complying with accepted practice of B.R.A.N.Z. C.1 publication, calculations will be required.
- (j) N/A Details of terraces/steps, showing construction
- (k) Drawings and calculations for firewalls with details of soffit blocking, etc.
- (l) Schematic plumbing layout to be included on working drawings for Commercial/Industrial applications.

4(a) Swimming Pools:

Capacity of pool to overflow level is to be stated and depth into the ground indicated. Some pools, due to their siting or depth, may need additional support such as retaining walls and these shall be included in the application.

(b) Heater Installations:

2 copies of manufacturer's installation instructions and 2 copies of plan of room showing position of proposed heater are required. For a brick screen over 1.2m in height on a timber floor an Engineer's Calculations and Design Certificate proving floor can withstand loading will need to be included with the application.

Show window
To Existing
Bedrooms

N/A

OFFICE USE ONLY

- (a) All the preceding requirements are included in the plans submitted.

Signature: _____ Date: _____

- (b) The following requirements are to be incorporated before plans will be accepted for processing:-

Items Nos. 2(C,d,I)

Signature: *R. Leff* Date: 16/10/85

- (c) Additional requirements as in (b) submitted with plans.

Signature: *R. Leff* Date: 18/10/85



City of Waitemata

TELEPHONE 836 1195, 836 1119
STD 09

IF CALLING ASK FOR Mrs. Rutt:PAB.....

IN REPLY PLEASE QUOTE.....

ADDRESS ALL CORRESPONDENCE TO:

THE TOWN CLERK
WAITEMATA CITY COUNCIL
PRIVATE BAG
EDMONTON POST OFFICE
WAITEMATA CITY

29 October 1985

S G & K J Griffiths
31 Victory Road
LAINGHOLM 7

Dear Sir & Madam

BUILDING PERMIT APPLICATION 418/6.
LOT 644 : DP 32444 31 VICTORY ROAD

With reference to the above application we are pleased to advise that this permit is now ready to be uplifted on payment of the following fees:

Building Permit Fee	\$ 62.50
Building Research Levy	\$ 11.00
Road Damage Deposit	\$100.00

TOTAL FEES PAYABLE	\$173.50
	=====

These fees are those payable until the end of the month following the date of this letter.

PLEASE PRESENT THIS LETTER TOGETHER WITH YOUR REMITTANCE FOR THE TOTAL AMOUNT TO THE CASHIERS BETWEEN THE HOURS OF 8.45AM AND 4.15PM ANY WEEKDAY.

The permit and plans can be collected from the Building Inspectors' Department on presentation of your receipted letter.

Your early attention to this matter would be appreciated.

Yours faithfully

Ann Rutt (Mrs)
for SENIOR BUILDING INSPECTOR

Rec No 1/205
27/11/85
\$173.50
SA

CODE COMPLIANCE CERTIFICATE NO:

COUNCIL FILE COPY

Section 43(3), Building Act 1991

J.G. & K.J. GRIFFITHS

ISSUED BY *WATAKER City Council*

BUILDING CONSENT NO: *97/1684*

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT		PROJECT LOCATION	
All	<input checked="" type="checkbox"/>	Street Number: <i>31</i>	
Stage No of: _____ of an intended _____ stages		<i>VICTORY RD</i>	
New or relocated building	<input checked="" type="checkbox"/>	<i>Langholm</i>	
Alteration	<input checked="" type="checkbox"/>		
Intended use(s) (in detail):		LEGAL DESCRIPTION	
<i>SEWAGE CONNECTION</i>		Property Number:	
Intended Life:		Valuation Roll Number:	
Indefinite, but not less than 50 years	<input checked="" type="checkbox"/>	Lot: <i>644</i>	DP: <i>32446</i>
Specified as _____ years		Section:	Block:
Demolition	<input checked="" type="checkbox"/>	Survey District:	

This is:

- A final code compliance certificate issued in respect of all of the building work under the above building consent
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent
- This certificate is issued subject to the conditions specified in the attached _____ page(s) headed "Conditions of Code Compliance Certificate No. _____" (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$

Receipt No: *286315*

Signed for and on behalf of the Council:

Name: *[Signature]*

Position: *Plumbing & Drainage Supervisor* Date: *20/6/97*

BUILDING CONSENT NO:

97/1684

Project Information Memorandum No:

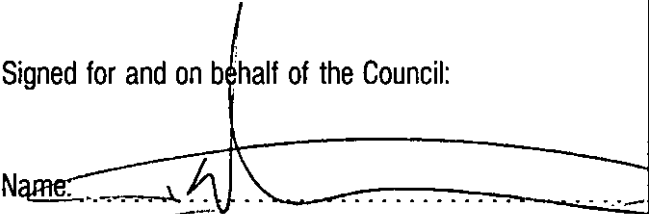
97/1684

Section 35, Building Act 1991

ISSUED BY

WAITAKERE CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
<p>Name: S G & K J GRIFFITHS Mailing Address: 31 VICTORY RD LAINGHOLM WAITAKERE CITY</p>	<p>All <input checked="" type="checkbox"/></p> <p>Stage No <input checked="" type="checkbox"/> of an intended stages of:</p> <p>New Building <input type="checkbox"/></p>
<p>PROJECT LOCATION</p> <p>Street Address: 31 VICTORY RD LAINGHOLM</p>	<p>Alteration <input checked="" type="checkbox"/></p> <p>Intended Use(s) (in detail): SEWAGE CONNECTION</p> <p>Intended Life:</p>
<p>LEGAL DESCRIPTION</p> <p>Property Number: Valuation Roll Number: 33800-031-00 Lot: 644 DP: 32446 Section: Block: Survey District:</p>	<p>Indefinite, but not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as years</p> <p>Demolition <input type="checkbox"/></p> <p>Estimated Value: \$ 1,300.00</p>
<p>COUNCIL CHARGES</p> <p>The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:</p> <p>Total: <u>2863.55</u> \$ 0.00 <u>50-</u></p> <p>ALL FEES ARE G.S.T. INCLUSIVE</p>	<p>Signed for and on behalf of the Council:</p> <p>Name: </p> <p>Position: TECHNICAL CLERK BUILDING CONTROL</p> <p>Date: 27 MAY 1997</p>

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

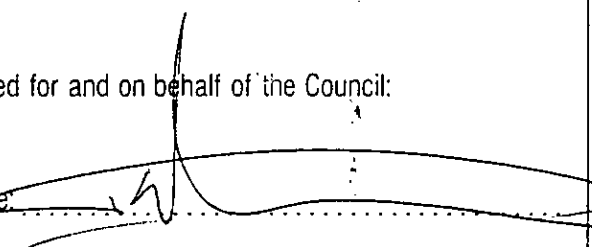
This building consent is issued subject to the conditions specified in the attached pages, headed "Conditions of Building Consent No 97/1684"

Section 35, Building Act 1991

ISSUED BY

WAITAKERE CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: S. G & K J GRIFFITHS Mailing Address: 31 VICTORY RD LAINGHOLM WAITAKERE CITY	All <input checked="" type="checkbox"/> Stage No. X of an intended stages of: New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>
PROJECT LOCATION Street Address: 31 VICTORY RD LAINGHOLM	Intended Use(s) (in detail): SEWAGE CONNECTION Intended Life:
LEGAL DESCRIPTION Property Number: Valuation Roll Number: 33800-031-00 Lot: 644 DP: 32446 Section: Block: Survey District:	Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/> Estimated Value: \$ 1,300.00
COUNCIL CHARGES The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: 286315 \$ 0.00 50/- ALL FEES ARE G.S.T. INCLUSIVE	Signed for and on behalf of the Council: Name:  Position: TECHNICAL CLERK BUILDING CONTROL Date: 27 MAY 1997

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached 1 pages, headed "Conditions of Building Consent No. 97/1684"

FIELD INSPECTIONS

BUILDING		BUILDER PHONE:		MASON REG NO. (if applicable):	
Type	Date	Comments	OK	Signature	
Foundation					
Prefloor					
Bond Beam					
Preline					
Misc					
Misc					
Final					

PLUMBING		PLUMBERS NAME		PLUMBERS REG. NO:	
Type	Date	Comments	OK	Signature	
Conc. Floor					
Preline					
Cylinder					
Misc					
Final					

DRAINAGE		DRAINLAYERS NAME <i>James Slay</i>		DRAINLAYERS REG. NO:	
Type	Date	Comments	OK	Signature	
Sewer/ SAWater	17.6.97	<i>James Slay</i> James Slay Co.	✓	<i>[Signature]</i>	
Septic Tank					
Eng Cert					
Drain Plan	17.6.97	confirm as built plan received	✓	<i>[Signature]</i>	
Misc					
Final	17.6.97				

CONDITIONS OF BUILDING CONSENT 97/1684

The above Building Consent has been approved today subject to the following conditions:-

1. To notations on plans.
2. The owner shall take all steps necessary to avoid damaging the street, footpath or verge area and shall reinstate any damage to those areas to the satisfaction of Council. In the event that any underground services are damaged during building operations the cost of any repairs will be charged to the owner.
3. Where one is not already constructed, the owner shall construct to a standard satisfactory to Council a vehicle crossing between the carriageway and the owner's land.

When excavating for the crossing the owner shall take all steps necessary to avoid damaging Council's watermain, which is generally located in the berm area with 450mm minimum cover. Where more than 250mm is being excavated the depth and location of the watermain should be confirmed by hand digging prior to commencement of excavation. (For further information please contact Council on phone 836-8045). In the event of any damage to the watermain the cost of any repairs will be charged to the owner.

WAITAKERE CITY COUNCIL

PRIVATE BAG 93109 HENDERSON
WAITAKERE CITY
PH 836-8000

APPLICATION FOR BUILDING CONSENT MINOR PLUMBING/DRAINAGE WORK

(Attach all relevant documents in duplicate)

APPLICATION NUMBER 97/1684

OWNER Name: <u>SG & VJ GRIFFITHS</u> Postal Address: <u>31 VICTORY RD</u> <u>LAIWQHOLM</u> Phone Number: <u>817 4206</u> Fax Number: _____	CONTACT (if not owner) Contact Name/Company: _____ Postal Address: _____ Phone Number: _____ Fax Number: _____
PROJECT LOCATION Number: <u>31</u> Street: <u>VICTORY RD</u> Locality: <u>LAIWQHOLM</u>	
LEGAL DESCRIPTION Valuation Number: <u>33800-031-00</u> Lot: <u>644</u> DP: <u>32446</u>	
PROJECT Proposed Work: <u>SEWAGE CONNECTION</u> Estimated Value: \$ <u>1,300,000</u> (GST Incl) Intended Life: Indefinite but not less than 50 years <input checked="" type="checkbox"/> or specified as _____ Years. Do high-tension electricity transmission lines cross the property? <input checked="" type="checkbox"/> No	
<p>The information collected in this form is required under provisions of the Building Act 1991 to process this application for Building Consent.</p> <p>This information forms part of the Council's records relating to the property and will be held for at least the life of the building to which it relates. The information is freely available upon request to any person who so wishes to inspect Council's record except for those plans marked confidential pursuant to S.27 of the Building Act 1991.</p> <p>Personal information relating to the applicant/owner, the project and the property contained in this form will be used as part of statistical information produced by Council which is provided to Valuation NZ and Statistics New Zealand and is also available, for a fee, to any person upon request from the Council.</p>	
Signed by or for and on behalf of owner: <u>[Signature]</u> Position: <u>OWNER</u> Date: <u>12.5.97</u>	

NOTES

Application for Building Consent:

This application form can be used to apply for a building consent to carry out plumbing and/or drainage work including septic tanks or soak holes not associated with other construction work involving a building consent. All applicable parts of the form should be completed

Note: In the case of septic tanks or soak holes the designing engineer is required to supervise the installation of his design and certify the same to Council on completion.

Supporting Documentation:

With your application it will be necessary to provide (in duplicate) a floor plan or plan of the room showing the position of the proposed appliance or site plan showing the proposed drainage.

High-Tension Electricity Transmission Lines:

If high-tension electricity transmission lines cross your property and are in the vicinity of your building and you are installing a hot water cylinder exhaust pipe, proof will be required from the line owner that the pipe complies with the conductor clearances prescribed in the New Zealand Electrical Code of Practice. This approval will need to be included with your application for building consent.

Note: The above requirement does not refer to the power lines that are on the street frontage or the domestic supply from the street to the house.

Further Help:

Should you have any queries about making your application for a building consent please contact our Customer Services Staff on 836-8080.

<u>ENGINEER</u>	
Name:	Reg. No.
Address:	
<u>DRAINLAYER</u>	
Name: <u>GAVIN SLY</u>	Reg. No. <u>12501</u>
Address: <u>5 EDGEWOOD WAY HENDERSON</u>	
<u>PLUMBER</u>	
Name:	Reg. No.
Address:	

OFFICE USE ONLY											
CHARGES	MINOR CONSENT										
The Council's charges payable on the making of this application are: \$ 50 Receipt No: <u>286315/3</u> Date: <u>20597</u> This application will not be processed until the Application Fee is paid	<table style="width:100%; border-collapse: collapse;"> <tr> <td>Plan Processing Fee: B1 ^</td> <td style="text-align: right;">\$20.00</td> </tr> <tr> <td>Code Compliance Certificate: B8</td> <td style="text-align: right;">5.00</td> </tr> <tr> <td>Inspection Fee: B1</td> <td style="text-align: right;">45.00</td> </tr> <tr> <td>.....</td> <td style="text-align: right;">.....</td> </tr> <tr> <td style="text-align: right;">TOTAL</td> <td style="text-align: right;">\$70.00 <u>\$50 =</u></td> </tr> </table>	Plan Processing Fee: B1 ^	\$20.00	Code Compliance Certificate: B8	5.00	Inspection Fee: B1	45.00	TOTAL	\$70.00 <u>\$50 =</u>
Plan Processing Fee: B1 ^	\$20.00										
Code Compliance Certificate: B8	5.00										
Inspection Fee: B1	45.00										
.....										
TOTAL	\$70.00 <u>\$50 =</u>										

31 Victory Rd.
BUILDING CONSENT APPLICATION
PROGRESS SHEET

1 October 1994

APPL NO: 97, 1684

DATE RECEIVED: 20/5/97

TO	DATE IN	DATE OUT	SENT ON TO	REMARKS
Building Surveyor				
Plumbing & Drainage Surveyor (Reticulated Site)	21 MAY 1997	21 MAY 1997	FC	OK
Plumbing & Drainage Surveyor (Septic Tanks)				
Design Engineer				
Drainage Engineer				
Environmental Health Officer				
Dangerous Goods Surveyor				
Development Engineer				
Parks Manager				
Property Manager				
Roading & Traffic Manager				
Planning Officer				
Final Check	22 MAY 1997	26/5	Doc Prep	OIC

APPLICATION NO 97, 1684

BUILDING CONSENT PROCESSING SHEET - MINOR PLUMBING/DRAINAGE ONLY

Approved by: E. R. Grewler Plumbing/Drainage Surveyor 21 MAY 1997 ✓ Date

Approved by: N/A Environmental Health Officer ✓ Date

REMARKS

.....

PLUMBING AND DRAINAGE CHECKLIST

INITIAL OR N/A

Electricity Transmission Line Clearance Received N/A ✓
 WCC Sanitary Sewers Checked: Release/Hold ✓
 ARC Sewers Checked: Release/Hold ✓
 WCC Stormwater Sewers Checked: Release/Hold ✓

BUILDING CONSENT CONDITIONS

1-3 standard

FOR OFFICE USE ONLY

FEES PAYABLE ON APPROVAL			\$	£
CODE	FEE DESCRIPTION	MNEMONIC		
1	Plan Processing Fee	B1		
2	Inspection Fee	B1		
21	Code Compliance Certificate	B8		
TOTAL			\$ —	£ —

FINAL CHECK

Initials Am
 Date 26/5/97

BUILDING CONSENT NO 97/1684

DATE ISSUED 26 MAY 1997

CODE COMPLIANCE CERTIFICATE NO: ABA 20040470

COPY

Section 43(3), Building Act 1991

ISSUED BY: WAITAKERE CITY COUNCIL

BUILDING CONSENT NO: ABA 20040470

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT	PROJECT LOCATION
<p>All <input checked="" type="checkbox"/></p> <p>Intended Use(s) in detail:</p> <p>Unknown</p> <p>Proposed Work:</p> <p>heater installation</p> <p>Intended Life:</p> <p>15 Years</p>	<p>Name: HITCHENS, KARL GARRY</p> <p>Street Address: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007</p> <p>Mailing Address: C/- FIREPLACE SERVICES 18 TARANUI PL HENDERSON WAITAKERE CITY 1008</p>
	<p style="text-align: center;">LEGAL DESCRIPTION</p> <p>Property Number: 50144</p> <p>Valuation Roll No: 33800 03100</p> <p>Legal Description: LOT 644 DP 32446</p>

This is:

A final code compliance issued in respect of all of the building work under the above building consent.

An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above consent.

This certificate is issued subject to the conditions specified in the attached ...page(s) headed "Scope and Conditions of Code Compliance Certificate No. ABA 20040470 (being this certificate)"

Signed for and on behalf of the Council:

Name:

Position: Building/Plumbing and Drainage Surveyor

Date: 12/03/2004

Waitakere City Council
(Territorial Authority)

Building Consent Number ABA 20040470
Building Regulation Clause

Producer Statement - Construction

Issued By : Steven Parkes
(N.Z. Home Heating Association Certified Installer)

Installer No: 15

TO: Mr K Hitchings

(Owner)

IN RESPECT OF: Installation of a Solid Fuel Heater

AT: 31 Laingholm Dr

Laingholm, Auckland

(Address)

LOT: 644

DP: 32446

SO:

Steven Parkes has contracted to Mr K Hitchings

(Certified Installer)

(Owner/Developer)

To Perform the above work as described.

I Steven Parkes Certified Installer No:1504 have Sighted Building Consent No ABA 20040470 and believe on reasonable grounds that the solid fuel heating appliance installation has been installed as per the above ground Building Consent and the Heater Manufacturers Instructions.

SIGNATURE OF CERTIFIED INSTALLER: _____



DATE: 28/02/2004

EMPLOYMENT STATUS

EMPLOYER

Fireplace Services 1998 LTD

18 Taranui Place

Henderson AUCKLAND

Ph/Fax 09 836 8586 Mobile 027 523 7662

Waitakere City Council
(Territorial Authority)

Building Consent Number
Building Regulation Clause

Producer Statement - Construction

Issued By : Steven Parkes
(N.Z. Home Heating Association Certified Installer)

Installer No: 15

TO: Mr K Hitchings

(Owner)

IN RESPECT OF: Installation of a Solid Fuel Heater

AT: 31 Laingholm Dr

Laingholm, Auckland

(Address)

LOT: 644

DP: 32446

SO:

Steven Parkes has contracted to Mr K Hitchings

(Certified Installer)

(Owner/Developer)

To Perform the above work as described.

I Steven Parkes Certified Installer No:1504 have Sighted Building Consent No _____
and believe on reasonable grounds that the solid fuel heating appliance installation has been
installed as per the above ground Building Consent and the Heater Manufacturers Instructions.

SIGNATURE OF CERTIFIED INSTALLER: _____



DATE: 16/02/2004

EMPLOYMENT STATUS

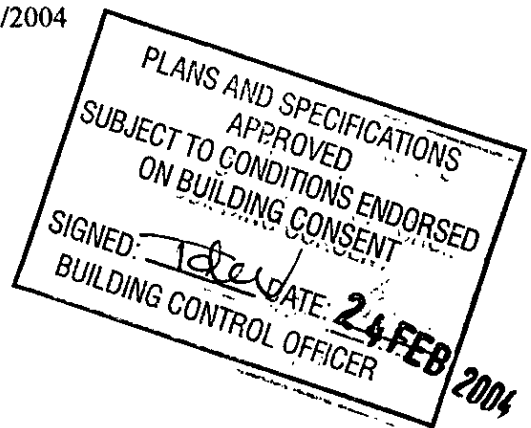
EMPLOYER

Fireplace Services 1998 LTD

18 Taranui Place

Henderson AUCKLAND

Ph/Fax 09 836 8586 Mobile 027 523 7662

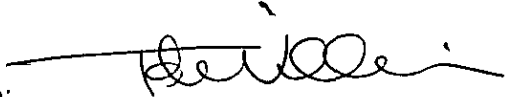


BUILDING CONSENT NO: ABA 20040470

Section 35, Building Act 1991

ISSUED BY: WAITAKERE CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: HITCHENS, KARL GARRY Mailing Address: C/- FIREPLACE SERVICES 18 TARANUI PLACE HENDERSON	All <input checked="" type="checkbox"/> Proposed Work :
PROJECT LOCATION	heater installation
Street Address: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007	Intended Use(s) in detail: Unknown
LEGAL DESCRIPTION	Intended Life:
Property Number: 50144 Valuation Roll No: 33800 03100 Legal Description: LOT 644 DP 32446	15 Years Estimated Value: \$1500
	Signed for and on behalf of the Council:  Name: Position: Clerk - Building Consents Date: 24/02/2004

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached 1 pages headed "Conditions of Building Consent No "

20040470

CONDITIONS OF BUILDING CONSENT ABA 20040470

The above Building Consent has been approved today subject to the following conditions: -

1. Subject to compliance with the maximum building height and the height in relation to boundary controls contained in the Waitakere City District plan. (If you have any concern above this you should apply separately for a planning clearance).
2. Installation to comply with NZS 7421 and the manufacturer's installation instructions.
3. Seismic restraints must be provided.
4. A Producer Statement from the installer is to be forwarded to Council on completion of the installation.

PLEASE NOTE:

If second-hand parts or material are to be incorporated into this installation they should be checked to determine soundness by a suitably qualified person prior to installation.

The inspection carried out after installation in terms of the building consent only covers the installation of the unit to ensure that the installation is in accordance with the manufacturer's installation instructions.

Application for Building Consent



Application number: 20010470

Send to: The Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

WAITAKERE CITY COUNCIL

20 FEB 2004

Attach all relevant documents in duplicate

This application will not be processed until the application fee is paid

Tick (✓) applicable box for the type of consent

19 4 FEB 2004

See Note 1

- | | |
|---|---|
| <input type="checkbox"/> (a) Building Consent and Project Information Memorandum | <input checked="" type="checkbox"/> (d) Solid Fuel Heater |
| <input type="checkbox"/> (b) Project Information Memorandum | <input type="checkbox"/> (e) Minor Plumbing and Drainage |
| <input type="checkbox"/> (c) Building Consent in accordance with PIM Number _____ | <input type="checkbox"/> (f) Fire/ Smoke Alarm Installation |

<p>Owner See Note 2</p> <p>Name: <u>Karl & Erika Hitchens</u></p> <p>Address: <u>31 Victory Rd, Langholm</u></p> <p>Phone number</p> <p>Day: <u>816 8703</u> A/H: _____</p> <p>Fax: _____ Mobile: <u>021 045 0791</u></p>	<p>Contact See Note 3</p> <p>Name: <u>Fireplace Services</u></p> <p>Name: <u>Catherine Stevens</u></p> <p>Address: <u>18 Taranui Place, Henderson</u></p> <p>Phone number</p> <p>Day: _____ A/H: _____</p> <p>Fax: _____ Mobile: _____</p>
---	--

<p>Project Location</p> <p>Street number: <u>31</u></p> <p>Street address: <u>Victory Rd</u></p> <p>Locality: <u>Langholm</u></p>	<p>Legal Description See Note 4</p> <p>Valuation: _____</p> <p>Lot: <u>644</u> DP: <u>37446</u></p> <p>Site area: _____</p>
--	---

<p>Project Information See Note 5</p> <p><input type="checkbox"/> New building <input type="checkbox"/> Relocated building <input type="checkbox"/> Additions/alterations <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> Other</p> <p>Proposed Work: <u>Installation of a solid fuel heater.</u></p> <p>Intended use: _____</p> <p>Estimated value: <u>1500</u> (inc GST) Number of dwelling units: _____</p> <p>Floor area of proposed work: _____ <input type="checkbox"/> N/A Number of storeys: <u>1</u></p> <p>Intended life of project: <input type="checkbox"/> Indefinite but not less than 50 years Specify <u>15</u> years</p> <p>Stages: <input type="checkbox"/> All Stage _____ of _____ intended stages Will second hand materials be used? Yes / <input checked="" type="checkbox"/> No</p>
--

<p>Office use only:</p> <p>The Council charges payable on the making of this application are:</p> <p>Receipt number: _____ Date: _____</p>	<p>Category:</p> <p>Microfilm fee: _____</p> <p>Plan processing fee: _____</p> <p>Planning check fee: _____</p> <p>PIM fee: _____</p> <p>Inspection fee: _____</p> <p>Code Compliance Cert: _____</p> <p>Total: _____</p>
---	---

Project/Building Details

Tick applicable boxes

- (a) Building Consent and Project Information Memorandum (complete (1) & (2) below)
- (b) Project Information Memorandum (complete (1) below)
- (c) **Building Consent in accordance with PIM** (complete (1) & (2) below)
(please ask for assistance from our counter staff re: (3) compliance schedules below)

(1) Project Details

The project involves the following matters (tick each applicable box, and attach information in duplicate):

- Location in relation to legal boundaries and external dimensions of new, relocated or altered buildings (to be shown on site plan).
- Elevations drawn to scale.
- Details of any known or potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.
- Provision to be made for vehicular access, including parking and on-site maneuvering (to be shown on site plan).
- Provision to be made in building over or adjacent to any road or public place.
- Provision to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains/sewers or in close proximity to wells or water mains.
- New connections to public utilities (ie: gas, electricity, water supply, stormwater system & wastewater system).
- Provision to be made in any demolition work for which the protection of the public, suppression of dust and noise disposal of debris and disconnection from public utilities.
- Details of any cultural or heritage significance of the building or building site, including whether it is on a marae.
- Copies of any consents including Land Use (planning) Consents, Subdivision Consents or Air Discharge Permits granted for this project.

(2) Building Details

This application is accompanied by: (tick each applicable box and attach relevant documents in duplicate).

- The drawings, specifications and other documents according to which the building is proposed to be constructed, to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including:
- Building Certificates
- Producer Statements
- References to accreditation certificates issued by the Building Industry Authority
- References to determinations issued by the Building Industry Authority
- Proposed procedures, if any, for inspections during construction

(3) Compliance Schedules (Please discuss with our counter staff)

- Systems necessitating a Compliance Schedule Yes No
- Other systems and features to be included in the Compliance Schedule Yes No

General Note

1. Vehicle Crossing Application and Street Damage Deposit / Inspection / Fees

If a vehicle crossing is to be built an application form must be completed.

A Street Damage Deposit will be required on all applications with a value of work of \$5000 (incl GST) or more.

2. Electricity Transmission Lines and Towers

If there are high-tension electricity transmission lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property the applicant must ensure that the proposed building complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances.

It is the responsibility of the applicant to ensure compliance and if necessary to contact the line owner to determine whether the proposed building will comply prior to commencing construction.

Consultants

See Note 6

Complete as far as possible in all cases. Give names, addresses and telephone numbers.

(Give professional registration numbers if known)

Designer: _____ Phone: _____

Builder: _____ Phone: _____

Plumber: _____ Phone: _____

Reg Number: _____

Drainlayer: _____ Phone: _____

Reg Number: _____

Other Consultants: Fuze place Services Phone: 836 8586

18 Taranni Place Henderson Reg Number: _____

Confidentiality

Under certain circumstances you may have the option to request confidentiality for reasons of building security and copyright.

Requests of this nature are to be applied for separately in writing.

Please ask the counter staff for further information.

Correspondence

I/We, the applicant, acknowledge that all correspondence is to be directed to:

myself / ourselves

my / our agent whose responsibility it is to forward all Council documentation received where appropriate.

Note: Pursuant to S32 and S33 of the Building Act 1991, a building consent must be uplifted prior to commencement of any work proposed in this application for building consent. A Building Consent cannot be issued retrospectively for any work that has been carried out prior to the issue of the building consent.

I have taken note that this application must not include any construction work that has commenced or has already been carried out at the date of this application. Please tick

The information collected in this form is required under provisions of the Building Act 1991. This information forms part of the Councils records relating to the property and will be held for at least the life of the building to which it relates. The information is available to any person who wishes to inspect Councils records except for those plans marked confidential under S27 of the Building Act 1991.

Information relating to the applicant/owner, the project and the property contained in this form will be used as part of statistical information produced by the Council which is provided to Valuation NZ and Statistics New Zealand and is also available, for a fee, to any person upon request from the Council.

Payment Details

A fee is required on lodgement of all applications.

All fees (other than the base fee) shall be paid in full without set-off or deduction of any kind within 14 days of the date of the invoice or prior to the issue of the Building Consent, whichever is the sooner.

The applicant shall further pay to Waitakere City Council, all costs and expenses (including costs on a solicitor/client basis and debt collector's costs) incurred in the enforcing or attempting to enforce these terms and conditions or in seeking payment of all fees.

Where you fail to make payment of any amount on the due date, Waitakere City Council may in addition require you to compensate it by making payment of interest as liquidated damages on the amount due from the due date for payment until the date of actual payment at a rate equal to the current overdraft interest rate Waitakere City Council has with its principal registered bank.

Name and Address for Accounts: _____

Phone number: Business: _____ Home: _____

Mobile: _____ Fax: _____

GST Number: _____

Signature of Applicant / Authorised agent _____

Print name of Applicant / Authorised agent _____

If the named Applicant is a Company or Trust, please state your position / title and contact details: _____

I have the authority to bind the Company / Trust _____
(please attach a copy of the authorising documents for the Company / Trust)

This application will not be accepted by the Council unless all the above required and appropriate information is provided.

Declaration

See Note 7

Signed by / for and on behalf of owner: ~~_____~~ Name: (print) Catherine _____

Position: ~~_____~~ ✓ Contractor Date: 15-2-04 _____

If you have any enquiries about any part of the building consent process please contact our Customer Services line: 839-0400 or fax 836-8001 or our Counter Services Staff, Waitakere City Council, 6 Waipareira Avenue, Henderson.

Consent Services
Thank you for your time



ABA NO: 20040470

1 July 97

HEATER INSTALLATION PROCESSING SHEET

Approved by [Signature] Building Surveyor Date **24 FEB 2004**

Approved by Plumbing & Drainage Surveyor Date

REMARKS

BUILDING SURVEYORS CHECKLIST

INITIAL OR N/A

Electricity Transmission Line Clearance Received

N/A

BUILDING CONSENT CONDITIONS

1. Subject to compliance with the maximum building height and the height in relation to the boundary controls contained in the Waitakere City District Plan. (If you have any concern about this you should apply separately for a planning clearance.)
2. Installation to comply with NZS 7421 and the manufacturers installation instructions.
3. Seismic restraints must be provided.
4. A producer statement from the installer is to be forwarded to Council on completion of the installation.

INSPECTIONS REQUIRED : $\frac{1}{4}$ Final CCC Bldg

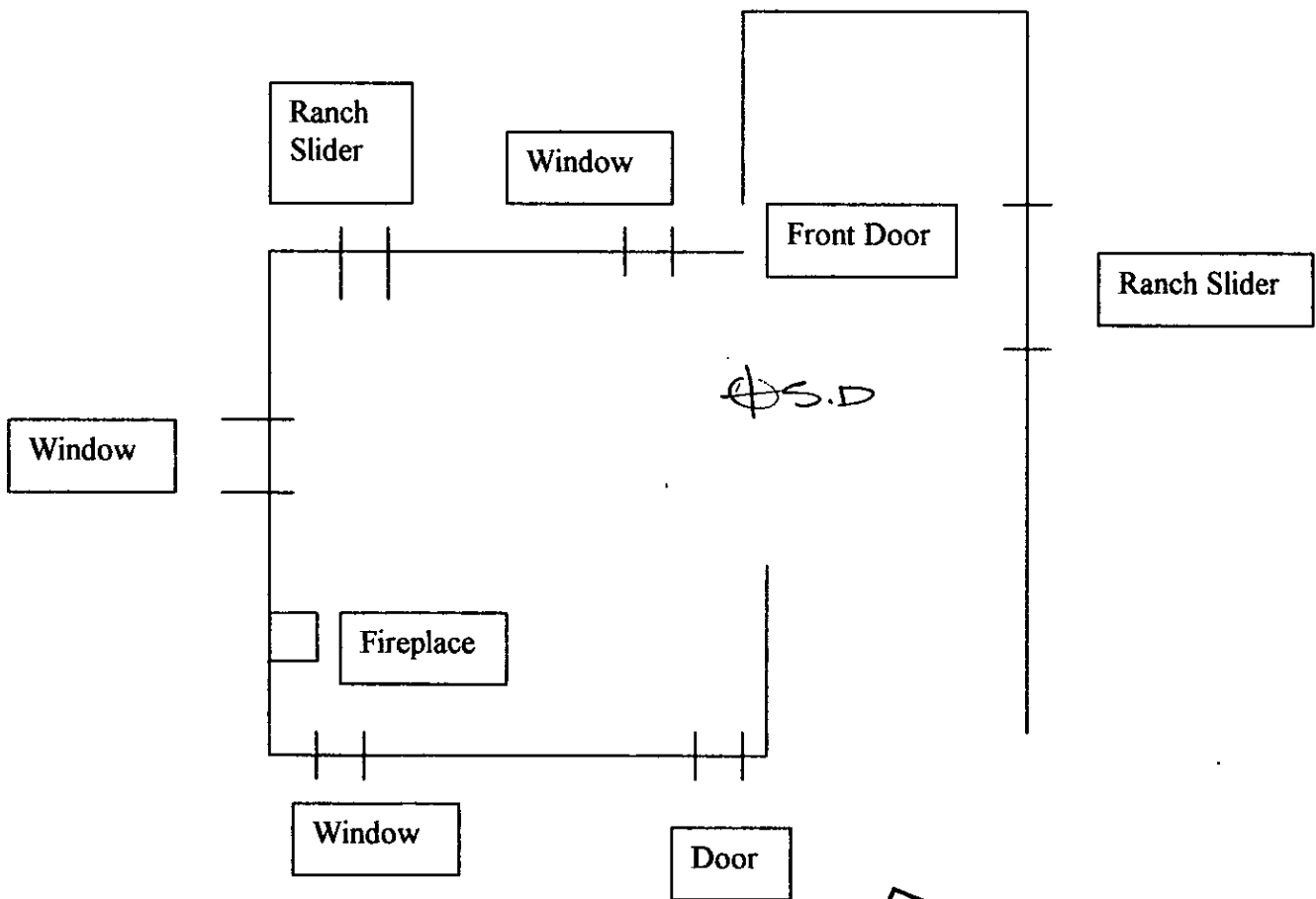
$\frac{1}{4}$ Final CCC P&D

CODE	FEE DESCRIPTION	\$	c
101	Plan Processing Fee	12	00
144	Records	9	00
105	Code Compliance Certificate	26	00
152	Admin	16	00
	TOTAL	\$ 93	00

FINAL CHECK

initials [Signature]

Date **24 FEB 2004**



PLANS AND SPECIFICATIONS
APPROVED
SUBJECT TO CONDITIONS ENDORSED
ON BUILDING CONSENT
SIGNED: [Signature] DATE: 24 FEB 2004
BUILDING CONTROL OFFICER

ACCREDITATION CERTIFICATE

COPY



PLANS AND SPECIFICATIONS
APPROVED
SUBJECT TO CONDITIONS ENDORSED
ON BUILDING CONSENT
SIGNED: *[Signature]* DATE: **24 FEB 2003**
BUILDING CONTROL OFFICER

This is to Certify that

STEVEN PARKES

of

Fireplace Services (1998) Limited

*has attended the New Zealand Home Heating Association
Stage I Theory Course in Solid Fuel Heating Appliances
and has qualified as an Accredited Technician.*

Date **November 2002**

President

COPY

Accreditation • Installer's No **1504**

Secretary



FREESTANDING WOOD HEATER INSTALLATION INSTRUCTIONS

Note that these instructions are in a short-form format, to provide information suitable for Building Consent applications. They are not a replacement for the full Owner's Installation and Operation manual.

General Information

1. The **KENT Signature** Freestanding Wood Heater, when installed according to these instructions, complies with the provisions of AS/NZS 2918-2001 Appendix B - "Thermal Testing of Installation Clearances".
2. You must obtain a Building Consent from your Local Authority before installing this heater, and we suggest that your Insurance Company be advised of the installation.
3. Do not allow any makeshift compromise installation methods. This could result in a house fire. The **Signature** must be installed according to these instructions. We suggest that a New Zealand Home Heating Association-registered installer be used for installing the appliance.
4. The clearances given in these instructions are necessary to prevent overheating of nearby combustibles and drying out of the house structure. They may not be reduced without authorisation.
5. There must be a clearance of at least 1 metre between the front of the **Signature** and any building structure or other substantial immovable object in front of the heater.

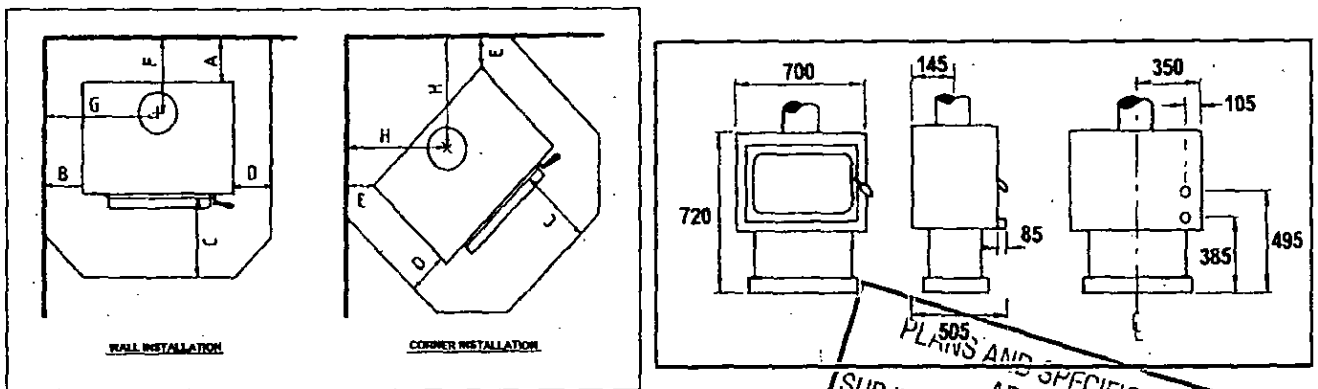
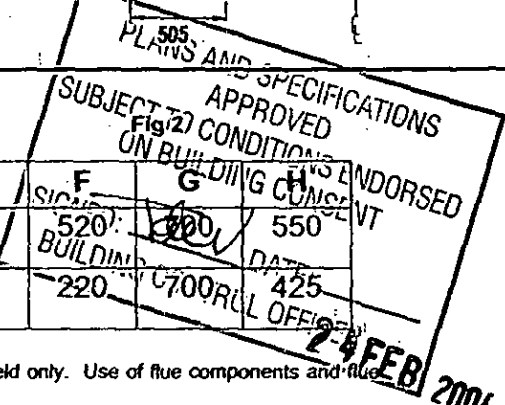


Fig 1

	A	B	C	D	E	F	G
Without flue shield	375	350	300	115	200	520	550
With flue shield	100	350	300	115	75	220	425

Table 1

Note: The clearances given are for use with a Kent flue kit and flue shield only. Use of flue components and flue shields from other manufacturers may void these clearances. Specified clearances must be maintained from the flue pipe to combustible materials within the room.



FLOOR PROTECTOR

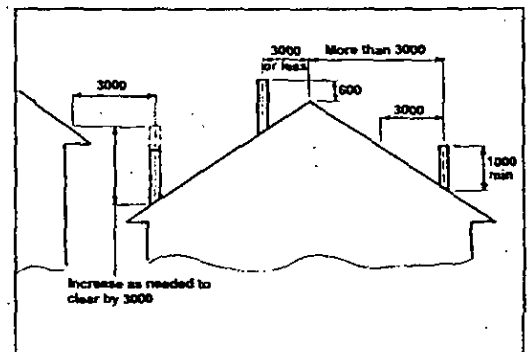
An insulating floor protector is not required for the **Signature** heater, but a floor protector of non-combustible material **must** be used. The floor protector must extend under the heater, a minimum of 300mm in front of the door opening, and 115mm to either side of the heater. The *minimum* floor protector size for a wall installation is 930mm wide and 820mm front to back, excluding trim. For a corner installation the *minimum* length along the wall is 1080 mm and diagonally from the corner to the front edge is 1175mm, also excluding trim.

FLUE SYSTEMS

The flue system should be vertical and without bends. If an offset is required, it should be as close to the heater as practicable and should not be offset more than 500mm from the centerline of the flue stub. Clearances from the flue pipe to combustible materials must be maintained (see Table 1). Restrictions or leaks in the flue system may reduce the draught, and, in severe conditions, could cause smoke to enter the room.

The flue pipe shall extend not less than 4.6m above the top of the floor protector.

The flue cowl must be at least 600mm above the highest point of the roof if within 3 meters of it, or 1000mm above the roof penetration if more than 3 meters from the ridge - see Fig 3.



'AS BUILT' DRAINAGE PLAN

Drainage plans are necessary for all new work and extensions to drains, including septic tank effluent disposal systems. The plan is to be completed accurately to scale in ink, and must show clearly street boundary, property boundaries, outline of buildings as well as layout of ALL drains and inspection fillings.

1. Please ensure that this 'As Built' Plan is completed prior to the inspection of the drainage work by the Inspector.
Failure to comply may delay the approval of your work.

BUILDING CONSENT NO: 97/1684

Owners Name: GRIFFITHS

The scale of the 'As Built' Plan is to be 1:200. Please indicate on the 'As Built' plan if any other scale is used. Please refer to additional notes.

Address of Property: (No.) 31 (Street) Victoria Rd.

Lot: 644 DP: 32466

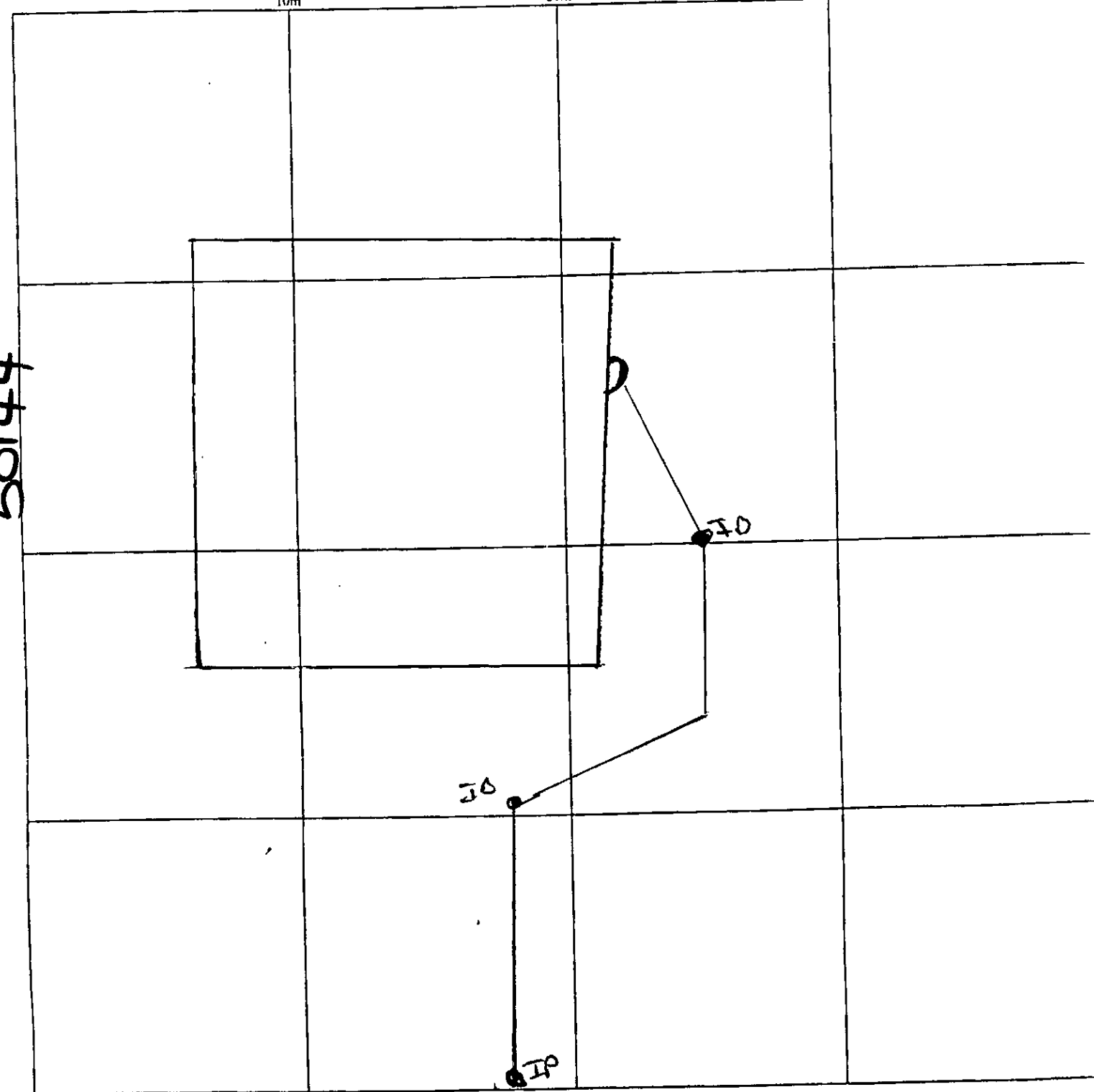
Drainlayers Name: CAVIN SLY Date Inspected: 17.6.99 Inspector: [Signature]

ROAD BOUNDARY

Sewer 30m Connection

10m

20m



50144

31 VICTORY ROAD,
LAINSHOLM

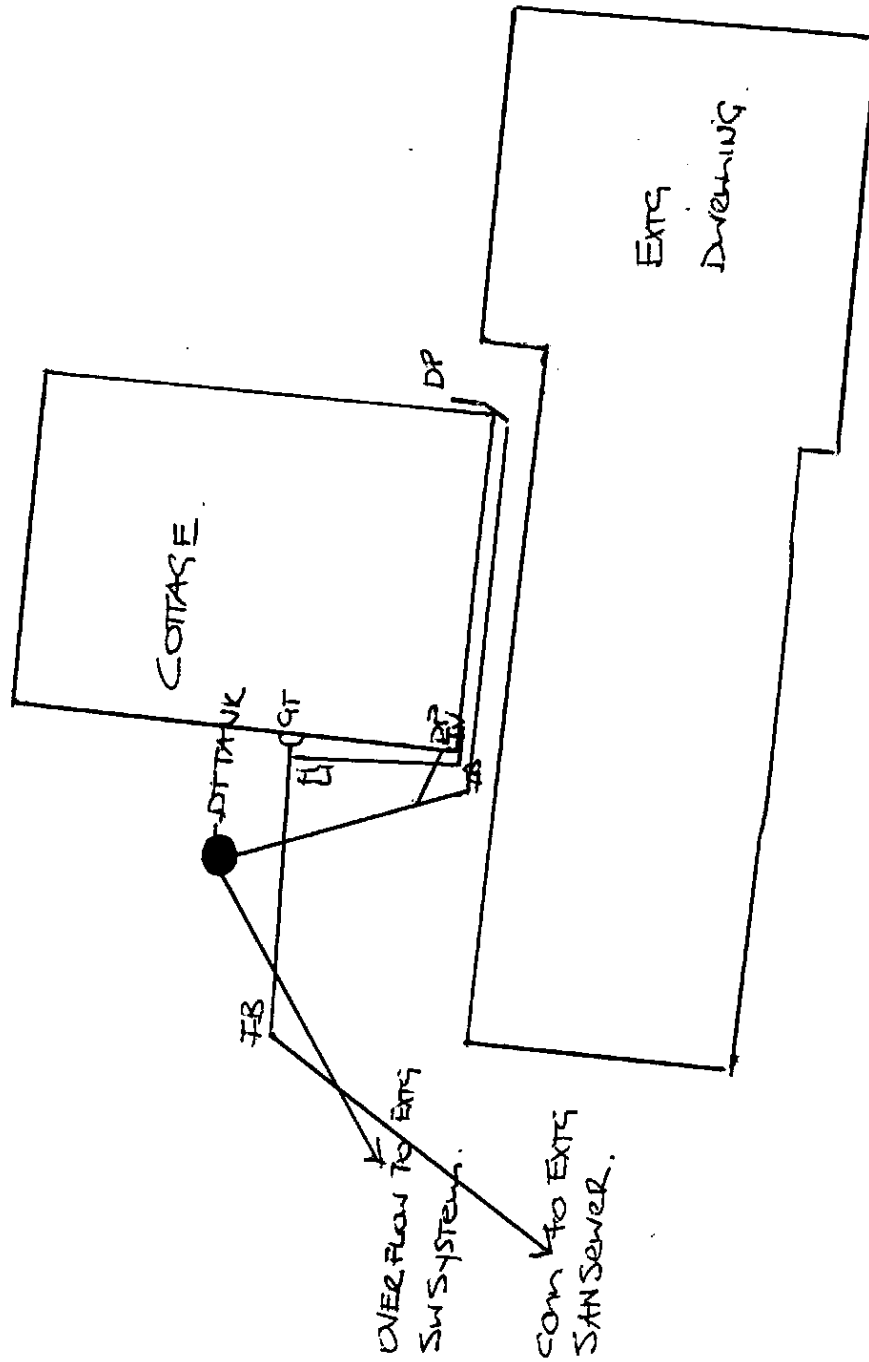
Consent no 20041782

CHRIS BAKER - 11608

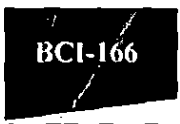
Michael

50144

ENTERED



31 VICTORY RD



Solar Water Heaters or Heat Pump Water Heaters

Application form for Building Consent and/or Project Information Memorandum



Section 33 or section 45 Building Act 2004

1. THE APPLICATION (Please tick appropriately)

I request that you issue
 Building Consent
and/or Project Information Memorandum (PIM)
for the building work described in this application (Section 2).

Office Use Only

Consent Number:
ABA 2009-1617

Date Received:
10.11.09

Has a PIM been issued for the building work described in this application? Yes No

If Yes, please state PIM Number:

Is this a staged consent? Yes No If Yes, what stage is this?

Previous stage building consent numbers:

2. THE PROJECT (Please tick appropriately)

- | | |
|---|--|
| <input type="checkbox"/> Installation of Solar Water Heating System | <input checked="" type="checkbox"/> Installation of Heat Pump Water Heaters |
| <input type="checkbox"/> solar panel fixed to roof | <input type="checkbox"/> retrofitted to existing cylinder (split system) |
| <input type="checkbox"/> solar panel and HWC on roof | <input type="checkbox"/> retrofitted to new cylinder (split system) |
| <input type="checkbox"/> solar panel on elevated frame | <input checked="" type="checkbox"/> combined heat pump/hot water cylinder (externally mounted) |

Other details of work:

Estimated value of work (including the appliance): **5600.00** (GST inclusive)

3. THE BUILDING

Address of building: **31 VICTORY ROAD, LANCHELM**

Legal description: Lot Number: **644** DP (deposited plan) Number: **32446**

Building Name (if applicable): Level/Unit number (if applicable):

Location of building within site/block number: Site Area (m²):

Area (total floor area: indicate area affected by the building work if less than the total area (m²):

Current lawful established use: **RESIDENTIAL FAMILY HOME**

Year first constructed (approx. date is acceptable): **1968**

Number of levels: **1** Number of occupants per level, if more than one level:

4. THE OWNER (Certificate of Title not older than 90 days is required with this application)

Name of owner: **KARL GARY HITCHENS AND ERIKA JANE HITCHENS**
(for company/trust, specify main contact person)

Contact person: **KARL HITCHENS**
(Contact person must have a valid NZ address; insert N/A if applicant is an individual)

I/We hereby confirm that I/we have the authority to bind the owner/agent to the payment of any processing fees and charges (and this is supported by the documentations supplied with this application). Please tick to acknowledge.
NOTE: The owner will be provided with a copy of any letters sent to the agent should the application is placed on hold.

Street address **31 VICTORY ROAD**

Suburb **LANCHELM** Town/City **AUCKLAND** Postcode **0604**

Postal address or registered office

Phone (home): **09 816 8708** (work) **09 829 0550** (mobile) **027447656**

Fax: _____ Website: _____

Email: KALL_HITCHENS@IRCO.COM

5. THE AGENT (Required if application is being made on behalf of the owner)

Name of agent: _____
(for company/trust, specify main contact person)

Contact person: _____
(Contact person must have a valid NZ address, insert N/A if applicant is an individual)

Street address _____

Suburb _____ Town/City _____ Postcode _____

Postal address or registered office _____

Phone (home): _____ (work) _____ (mobile) _____

Fax: _____ Website: _____

Email: _____

6. THE INSTALLER (Registered plumber)

Name of installer: JOYCE PLUMBING AND GAS COMPANY LTD

Registration number: 13792

Street address 440 HUIA ROAD

Suburb LAVENHAM Town/City AUCKLAND Postcode _____

Postal address or registered office _____

Phone (home): 816 9464 (work) _____ (mobile) 021 529 603

Fax: _____ Website: _____

Email: _____

Note: If the system is not installed by a registered plumber, the appropriate inspections and charges will be required. The Plumbing, Gasfitters, and Drainlayers Act 1976 requires that any connection from a potable water supply be carried out by a licensed plumber.

IMPORTANT NOTICES:

Commencement of work
A building consent cannot be issued for any work that has been commenced/ completed prior to the granting of the building consent. Undertaking building work before the consent is granted is an offence under the Building Act 2004 for which the owner and contractors can be prosecuted and fined. I confirm that this application does not relate to building work that has already been commenced.

Availability of Information
The information collected in this form is required under the provisions of the Building Act 2004. This information forms part of the Council's records relating to the property and will be held for at least the life of the building to which it relates. The information is available to any person who wishes to inspect Council's records except for those plans marked confidential under Section 217 of the Building Act 2004. Information relating to the applicant/ owner, the project and the property contained in this form will be used as part of the statistical information produced by the Council which is provided to Statistics New Zealand and Quotable Values and is also available, for a fee, to any person upon request from the Council.

Fees
A fee is required on lodgement of all applications. All base fees and lodgement fees are the minimum operational costs incurred by Council and are therefore non-refundable. All other fees shall be paid in full without set-off or deduction of any kind within 14 days of the date of the invoice or prior to the issue of the Building Consent, whichever is the sooner. The owner shall further pay to Waitakere City Council, all costs and expenses (including costs on a solicitor/ client basis and debt collector's costs) incurred in the enforcing or attempting to enforce these terms and conditions or in seeking payment of all fees. Where you fail to make payment of any amount on the due date, Waitakere City Council may in addition require you to compensate it by making payment of interest as liquidated damages on the amount due from the due date for payment until the date of actual payment at a rate equal to the current overdraft interest rate Waitakere City Council has with its principal registered bank. All development contributions will be billed to the owner(s). Refer to the current Regulatory Fees & Charges Schedule for upfront Building Consent fees.

7. THE BUILDING CONSENT COMPLIANCE

The building work will comply with the following building code clauses. Independent verification of compliances with relevant documents will need to be provided. Please tick (✓) as appropriate.

Clause (involved in the proposed work)	Means of Compliance (refer to compliance documents(s) or detail of alternative solution in the plans or specifications)	
B1 Structure	<input type="checkbox"/> NZS3604 <input type="checkbox"/> NZS1170	<input type="checkbox"/> Other
B2 Durability	<input type="checkbox"/> B2/AS1 <input type="checkbox"/> NZS3604 <input type="checkbox"/> NZS3602	<input type="checkbox"/> Other
E2 External Moisture	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> Specify design and testing	<input type="checkbox"/> Other
G9 Electricity	<input checked="" type="checkbox"/> G9/AS1	<input type="checkbox"/> Other
G12 Water Supplies	<input type="checkbox"/> G12/AS2 <input checked="" type="checkbox"/> AS/NZS3500.1 <input type="checkbox"/> AS/NZS2712 <input checked="" type="checkbox"/> AS/NZS3500.4	<input type="checkbox"/> Other
If a waiver or modification is required, please state the nature of the waiver or modification:		

8. THE ATTACHMENTS

Check the sample drawings on the examples sheet at the end of this form before completing this section.

The following documents are attached to this application, if required (please tick ✓ as appropriate)

Solar Water Heating System

- site plan roof framing plan
- elevation weatherproofing details
- floor plan plumbing schematic
- material specifications (product specific)
- specific design (PS1)
- copy of registered plumber's licence

Solar water heater make and model:

Heat Pump Water Heaters

- floor plan
- material specifications (product specific)
- manufacturer's specifications / installation instructions
- appraisal certificates
- copy of registered plumber's licence

Heat pump make and model:

HWC make and capacity:

RHEEM 310L AIR SOURCED
HEAT PUMP ASS131007

Detailed guidelines:

All plans must be satisfactorily drawn in black ink. All dimensions must be given in metric terms with all plans drawn to an accurate scale to allow for dimensions to be checked. All plans should have a text that is clear and legible. The text size must be equivalent to Microsoft Word text size 11. Show details on plinth, seismic restraint, smoke detectors.

Two copies of all plans required

- Site plans (minimum scale = 1:100)
- Elevation (minimum scale = 1:100) – show that panels do not break the recession plane (height to boundary restrictions)
- Floor plans (minimum scale = 1:50) – show HWC location, designated spaces, smoke detectors
- Roof framing plans (minimum scale = 1:100) – show location of solar panels, structure of roof and design
- Connection and weatherproofing details (minimum scale = 1:5) – including flashing details
- Plumbing schematic – obtain from plumber or installer

9. DECLARATION

I hereby declare that the given information, to the best of my knowledge, are true and correct. I understand that all plans, documentations, and reports submitted as part of this application are required to be kept available for public record. Therefore the public may view this application once it is submitted.

I have authorisation from my co-owners to sign this application on their behalf. If this application is submitted by an agent, a letter of authorisation from the owner to make the application in their behalf has been provided. The letter outlines alternative billing instructions if the primary contact is not the owner.

Sign over printed name

Date

Building consent application process sheet

Minor plumbing and drainage

Address	31 Victory Rd Laingholm	Lot	644	Account Manager	Jh
ABA/COM	2009.1617	DP	32446	Date received	12.11.09

REQUIRED INSPECTIONS:

Second-hand Building Materials Report Attached: YES / NO

- | | | |
|---|--|--|
| <ul style="list-style-type: none"> <input type="checkbox"/> B1 Siting and Foundations <input type="checkbox"/> B2 Reinforced Concrete and Blockwork <input type="checkbox"/> B3 Tanking <input type="checkbox"/> B4 Floor Slab <input type="checkbox"/> B5 Specialty Slab <input type="checkbox"/> B6 Timber Sub Floor <input type="checkbox"/> B7 Framing <input type="checkbox"/> B8 Building Wrap and Cavity <input type="checkbox"/> B9 Cladding - Plaster | <ul style="list-style-type: none"> <input type="checkbox"/> B10 Cladding – Brick Veneer <input type="checkbox"/> B11 Cladding - Other <input type="checkbox"/> B12 Pre-Line Building <input type="checkbox"/> B13 Waterproof Membranes <input type="checkbox"/> B14 Gibnail <input type="checkbox"/> B15 Final Building <input type="checkbox"/> P1 Pre-Floor Plumbing <input type="checkbox"/> P2 Pre-Line Plumbing <input type="checkbox"/> P3 Drainage | <ul style="list-style-type: none"> <input type="checkbox"/> P4 Pre On-Site Waste Water Disposal <input type="checkbox"/> P5 On- Site Waste Water Installation <input checked="" type="checkbox"/> P6 Final Plumbing <input type="checkbox"/> W1 Weather tightness <input type="checkbox"/> 222 Resource Consent Monitoring <input type="checkbox"/> MISC Miscellaneous <input type="checkbox"/> DEM Demolition <input type="checkbox"/> SFH Solid Fuel Heating <input type="checkbox"/> F2 Pool Fencing |
|---|--|--|

	TO	DATE IN	DATE OUT	SENT TO	PAUSED (P=Paused)	APPROVED BY (F=Final)	STAFF CODE	TIME
	102 Process Support	12.11.09	12.11.09	10M	F	Jh		0.35
	103 Building Surveyor							
	104 Plumbing & Drainage Surveyor (Retic. Site)	16 NOV 2009	6 NOV 2009	10M	F	Jh	PE1	0.25
	10S Plumbing & Drainage Surveyor (Septic Tanks)							
	105 Structural Check							
	10E EcoWater							
	10F Fire & Egress							
224C ISSUED	10L Resource Planner							

Financial contributions	Yes / No	Is a section 37 required?	Yes / No If yes →	<input type="checkbox"/> No building work to commence <input type="checkbox"/> Specific building work to commence
Uplifted		Date:		

	10M Account Manager	12.11.09	16 NOV 2009	16 NOV 2009	10X	F	Jh	PE1	0.2
RMA	10X Final Document Preparation	16 NOV 2009							
		18/11/09	Blop		F	Pam			0.7

BUILDING SURVEYORS PROCESSING SHEET

Structural check report – residential or minor building works

Calculations and Producer Statement check

Each of the items must be checked and the box ticked:

- 1. Site not stability sensitive
- 2. Calculations provided
- 3. Calculations cover all work on drawings requiring design

I recommend that the application be approved subject to the conditions listed below:

Signed by: Building Surveyor: Date:

STRUCTURAL ENGINEER'S PROCESSING SHEET

Commercial/Industrial/Assembly buildings

Residential buildings requiring geotechnical reports

1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

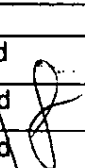
2. I recommend that the application be approved subject to the conditions listed below:

Signed: Structural Engineer Date:

Processing time:

Staff Code	Conditions (incl. 1 to 3 standard conditions)
P31	A4, 5b

Staff Code	Notations

Plumbing and Drainage		Initial or N/A
WCC Sanitary Sewers Checked:	Release/Hold	
ARC Sewers Checked:	Release/Hold	
WCC Stormwater Sewers Checked	Release/Hold	

CODE	FEE DESCRIPTION	\$	C
101	Plan Processing Fee		
102	Planning Check Fee		
103	PIM Fee		
104	Inspection Fee		
105	Code Compliance Certificate		
106	Water Connection		
108	Building Research Levy		
109	Building Industry Authority Levy		
110	Section 37 Certificate		
111	Design Check Fee		
112	Amended Plan Fee		
113	Photocopying		
114	Resource Consent (Minor Addtn)		
115	Sewer Connection		
116	Re-lay Sewer		
117	Engineering Fee-Subdivision		
118	Reserve Contribution (Massey)		
119	Reserve Contribution (Waitakere)		
120	Reserve Contribution (New Lynn)		
121	Reserve Contribution (Henderson)		
122	Performance Bond		
123	Stormwater Upgrading		
124	Road Construction Deposit		
125	Stormwater Connection		
126	Engineering Fees-Development		
127	Legal Processing		
128	Resource Bond		
129	Water Contribution		
130	Sewer Upgrading		
131	Planning Site Visit		
132	Consultancy Fees		
133	Fire Hydrants		
138	Oratia Stream		
139	Planning Resource Consent		
142	Compliance Schedule Base Fee		
143	Compliance Schedule Systems Fee		
144	Records Fee		
145	Drainage Engineer		
150	Extension of Building Consent		
151	Replacement Plans/Document		
152	Administration Fee		
153	Second-hand Building Insp		
154	Second-hand Materials Insp		
BDG	ABA Dangerous Goods		
BEH	ABA Environmental Health		
BFE	ABA Fire & Egress		
BPK	ABA Parks Processing		
T	Time		
	Subtotal		
	Outstanding Amount		
	TOTAL	\$	

FINANCIAL CHECK	Initials	Date:
------------------------	----------------	-------------

Checklist for building consent document preparation

Residential, commercial & minor P & D

Consent Number: 2009-1617

The following should be checked on all consents:

1. **Section 71 (building on land subject to natural hazards)** – will be noted on process sheets - should have been to Legal Services and fees charged;
2. **Section 75 (construction of building on 2 or more allotments)** – will be noted on process sheets - should have been to Legal Services and fees charged;
3. **Second hand materials used** – will be noted on checklist – if report not attached to file, check with Account Manager
4. **Consent for more than one unit** – add urgent memo for call centre.
5. **Swimming / Spa Pool** – check for pool fencing guidelines, F02 inspection, inspection fee & registration fee
6. **Compliance schedule** – Load CERT inspection, generate SPECSYS, fees on fees letter, memo.
7. **If all required fees have been paid the building consent can be issued** – attach post-it note for the counter.

HARDCOPY FILES

- | | | |
|-------------------------------------|----|---|
| <input checked="" type="checkbox"/> | 1. | Check all "Paused" have been "Finalled" and account manager has signed. |
| <input checked="" type="checkbox"/> | 2. | Duplicate Only: Remove process sheet and planning checklist |
| <input type="checkbox"/> | 3. | Duplicate Only: Replace superseded plans. Check all plans signed |
| <input type="checkbox"/> | 4. | Original Only – Place amendment on top of each letter request. |

PATHWAY

- | | | |
|-------------------------------------|----|--|
| <input checked="" type="checkbox"/> | 5. | Location Maintenance – Check against application form |
| <input checked="" type="checkbox"/> | | Names Maintenance - C/- address and owners name should be showing |
| <input checked="" type="checkbox"/> | | Dates - Application & Lodgement - Check against application form and any rejections |
| <input checked="" type="checkbox"/> | | Fees –Are there any outstanding upfront fees? |
| <input checked="" type="checkbox"/> | | Building Categories – Check for BT minor development categories & PIM questions |
| <input checked="" type="checkbox"/> | | NZ Building Stats – Check Project Value, Intended Life, work types, floor area etc |
| <input type="checkbox"/> | | Is a VXG required? – Lodge VXG application if value of work is over \$5000. |
| <input type="checkbox"/> | | Check if Preliminary Street Damage inspection requested. |

Conditions Maintenance

- | | | |
|-------------------------------------|----|---|
| <input checked="" type="checkbox"/> | 6. | Conditions - Check all conditions have been entered including 4 standard conditions. |
| <input checked="" type="checkbox"/> | | Sort by Condition Group & re-order if required. |
| <input type="checkbox"/> | | Section 37 – Is stop scheduling Inspections box ticked? Have planning seen FIR? |
| <input type="checkbox"/> | | Add urgent memo to warn the call centre not to book inspections. |

- | | | |
|--------------------------|----|--|
| <input type="checkbox"/> | 7. | Notations – Check if notations have been entered? |
|--------------------------|----|--|

<input checked="" type="checkbox"/>	8.	Inspections Maintenance – Have all inspections been entered? Is 222 Resource Consent Monitoring inspection required? Are resource consents related?
		Workflow – Continue Document Preparation task
<input checked="" type="checkbox"/>	9.	Related Applications – PIM, LUC, VXG & Water. Check fees have been entered.
<input checked="" type="checkbox"/>	10.	PIM - Generate, Format and print
<input checked="" type="checkbox"/>	11.	Conditions – Check formatting and print
<input checked="" type="checkbox"/>	12.	Inspection Sheets – Check, sort into numerical order by column 2, print
<input checked="" type="checkbox"/>	13.	Application status – Tick required option
<input checked="" type="checkbox"/>	14.	Notations –Manually generate, check and print
<input checked="" type="checkbox"/>	15.	Section 37 Certificate – Check and print
CALCULATE FEES		
<input checked="" type="checkbox"/>	16.	Check the Debtor and Receipt
<input checked="" type="checkbox"/>	17.	Close time recording tasks – check for hours, rate, activity code and billable tick. Doc Prep time entered for Process Support? Enter Records, Issue & Consultant Fees.
<input checked="" type="checkbox"/>	18.	For a Pre-Pathway application – have the additional steps been followed?
<input checked="" type="checkbox"/>	19.	Complete Time Cost Sheet & Compare with base fee.
<input checked="" type="checkbox"/>	20.	Enter Granted Fees.
<input checked="" type="checkbox"/>	21.	Section 37? – Charge fee
<input checked="" type="checkbox"/>	22.	Produce Invoice
<input checked="" type="checkbox"/>	23.	Enter any fees to be paid at issue stage. Do not transfer to Debtors
<input checked="" type="checkbox"/>	24.	Print GTD fees letter(s). Include all fees entered but not yet transferred to Debtors, Inspections, CCC, VXG, Water, Development Contributions, Compliance Schedule
<input checked="" type="checkbox"/>	25.	Double check amount due on letter against time cost sheet. Scan and attach Time cost sheet, time recording report and consultant invoices
<input checked="" type="checkbox"/>	26.	Copying, collating and filing – no staples left in file. Stamp copy of GTD letter with 'Consent Issued'. Is a VXG Bond Receipt Holder form required? E-mail to contact.
<input checked="" type="checkbox"/>	27.	Insert & start Pickup task
<input checked="" type="checkbox"/>	28.	Update Process sheet.
<input checked="" type="checkbox"/>	29.	Complete Clipboard showing consents waiting to be collected by Counter

Signed

P.V.

Dated

18/11/05

Instructions

1. Provide written comments in each section where applicable.
2. Y = complies N = does not comply N/A = not applicable
3. Complete all sections
4. If application includes an Alternative Solution, attach completed checklist AS-01 in accordance with PR-25
5. Record and attach all communications regarding the assessment.

Address										31 VICTORY RD				
Date		16/11/09		Consent number			2009/1617		Checked by:		[Signature]			
Building Cat.		1	2		3		Comp. level		1	2	③	4	5	
Minor P&D only														
Site Issues					Comments (describe how compliance achieved)									
Sewer connections		Y	N	N/A		/								
Stormwater connections		Y	N	N/A										
Drains (bridging & close proximity)		Y	N	N/A										
Scale		Y	N	N/A										
Retaining walls /split levels - cess pits		Y	N	N/A										
Finished floor level		Y	N	N/A										
Existing Drainage		Y	N	N/A										
Drains - public					Comments (describe how compliance achieved)									
Public drains inverts shown		Y	N	N/A		/								
Location of drainage laterals		Y	N	N/A										
Drains - private					Comments (describe how compliance achieved)									
System		Y	N	N/A		G13		AS3500		Other				
Total number of discharge units		Y	N	N/A		/								
TV <10m head of drain size		Y	N	N/A										
GT / ORG	Below floor level and fixtures	Y	N	N/A		/								
Backflow (ools, spa baths, etc)		Y	N	N/A										
On-site disposal					Comments (describe how compliance achieved)									
Septic tank	Effluent design	Y	N	N/A		/								
	Type	Y	N	N/A										
	Size	Y	N	N/A										
	Location plan	Y	N	N/A										
Stormwater soakage (Design / details provided)		Y	N	N/A		/								
Potable water					Comments (describe how compliance achieved)									
Town/tank/bore/other		Y	N	N/A		/								
New - application attached		Y	N	N/A										
Water reuse		Y	N	N/A		/								
Backflow Prevention Device required?		Y	N	N/A										
Compliance Schedule		Y	N	N/A		/								
Water reticulation (Commercial / Industrial Only)					Comments (describe how compliance achieved)									
System		Y	N	N/A		G12		AS3500		Other				
Diagrammatical layout		Y	N	N/A		(including location of plumbing fixtures shown on plans)								

Pipe	Size	Y	N	N/A			
	Material	Y	N	N/A			
HWC Noted in spec.	Size	Y	N	N/A			
	Restraint	Y	N	N/A			
	Valves	Y	N	N/A			
	Type	Y	N	N/A			
Water reticulation (Domestic)					Comments (describe how compliance achieved)		
Wet back – fires (open vented)		Y	N	N/A			
Solar heating		Y	N	N/A			
Cladding – roof					Comments (describe how compliance achieved)		
Type		Y	N	N/A			
Minimum roof pitch		Y	N	N/A			
Material compatibility		Y	N	N/A			
Roof penetrations (flashings detailed)		Y	N	N/A			
Discharge (spreaders)		Y	N	N/A			
Internal gutter / valley (size / capacity / timber treatment / overflow)		Y	N	N/A			
Overflows for internal spouting (Taylor fascia, etc)		Y	N	N/A			
Item checked					Comments (describe how compliance achieved)		
D/P	Size	Y	N	N/A			
	Number	Y	N	N/A			
Plumbing sanitary					Comments (describe how compliance achieved)		
Diagrammatical or schematic layout		Y	N	N/A			
System		Y	N	N/A	G13	AS3500	Other
Individual waste pipes	Discharge units	Y	N	N/A			
	Length	Y	N	N/A			
	Pipe size	Y	N	N/A			
	Venting	Y	N	N/A			
Soil waste & overflow stacks	Discharge units	Y	N	N/A			
	Pipe sizes	Y	N	N/A			
	Venting	Y	N	N/A			
Floor waste gully (recommended 2-storey)		Y	N	N/A			
Slabs					Comments (describe how compliance achieved)		
Finished floor level (shown on plans)		Y	N	N/A			
Plumbing fixtures (shown on plans)		Y	N	N/A			
No pipes running through slab thickenings		Y	N	N/A			
Pipe Layout (shown on plans)		Y	N	N/A			
Wet Areas					Comments (describe how compliance achieved)		
Basin in WC (except where adjacent to bathroom)		Y	N	N/A			
Enclosed Decks / balconies					Comments (describe how compliance achieved)		
Waste / outlet overflow – size (same as outlet)		Y	N	N/A			
Other					Comments (describe how compliance achieved)		

Domestic fire sprinkler system	Y	N	N/A	
Alternative solutions	Y	N	N/A	
ECO-Water approval required	Y	N	N/A	
Time recorded accurately for processing	Y	N	N/A	
Time entered	Y	N	N/A	
Conditions entered into computer	Y	N	N/A	
Inspection requirements identified	Y	N	N/A	
Checklist completed in full standards referenced, etc	Y	N	N/A	

Approval and review			
Approval		State outcome and reasons	
Granted / Refused		DOCUMENT ADEQUATE TO COMPLY WITH NZBC	
Checked by:				Date
Reviewed by:		Date	

Log all communications and advise applicant if further information is required.			
Medium: L = letter E = email T = telephone F = facsimile I = in person			
Date / Time	Medium	Officer's Initials	Summary of dialogue, requests for information, etc
Date / Time	Medium	Officer's Initials	Summary of dialogue, requests for information, etc

PROJECT INFORMATION MEMORANDUM NO: ABA 20041782

**Section 31, Building Act 1991
ISSUED BY: WAITAKERE CITY COUNCIL**

APPLICANT	PROJECT
Name: HITCHENS, KARL GARRY Mailing Address: C/- COLIN BURTON VERSATILE BUILDINGS LTD 18 HENDERSON VALLEY RD HENDERSON WAITAKERE CITY 1008	Proposed Work: NEW COTTAGE Intended Use(s) in detail: Unknown
PROJECT LOCATION	
Street Address: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007	Intended Life: Indefinite, but not less than 50 years This is:
LEGAL DESCRIPTION	<input checked="" type="checkbox"/> Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the Building Consent. Not yet applied for <input type="checkbox"/> No: . attached <input type="checkbox"/> Not yet issued <input checked="" type="checkbox"/> <input type="checkbox"/> Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.
Property Number: 50144 Valuation Roll Number: 33800 03100 Legal Description: LOT 644 DP 32446	

This project information memorandum includes (cross each applicable box, attach relevant document, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):

- Information identifying relevant special features of the land concerned.
- Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.
- Details of relevant utility systems.
- Details of authorisations which have been granted.
- Notification of any other authorisations which must be obtained before the proposed building work may be undertaken.
- Details of authorisations which have been refused.

Signed for and on behalf of the Council:

Name: 
 Position: Clerk - Building Consents

Date: 18/06/2004

- (EWBC1) Pursuant to Section 175 of the Local Government 2002, in the event that there is any damage to any Council asset, or any Council asset is buried and/or access is obstructed, during or on completion of a subdivision or building project, the party responsible will be advised in writing by Council, of such event along with a quote for the cost of the repair/reinstatement from Council's Maintenance Contractor. Council's Maintenance Contractor will carry out the repair/reinstatement to a standard of proper and safe operation of the asset. The party responsible for the damaged/buried asset will be invoiced the amount of the quote on completion of the repair/reinstatement. Council's assets include manholes, drainage lines and connections, fire hydrants and sluice valves. Party responsible includes, but is not limited to, the property owner, developer, builder or sub-contractor.
- (EWBC2) Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
- (EWBC3) Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleed-line staked above ground through the area zoned "protected natural", and draining to the creek. Install a flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.
- (EWBC4) Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with the design by Versatile Buildings drawing dated 18/3/04 Sheet 1A and Council's Countryside and Foothills Stormwater Management Code of Practice. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
- (EWBC5) Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

MISCELLANEOUS REQUIREMENTS

PLANNING

Operative District Plan:

Natural Area: General/protected

Natural Landscape Elements: Sensitive ridge

Human Environment: Bush Living

Heritage, Designation or Scheduled Site Notation: ---

Road Hierarchy: Local

Natural Hazards: ---

Impact on Waahi Tapu?: Unable to be ascertained

Archaeological Site?: In the event of archaeological evidence being uncovered (e.g. shell, middens, hangi or ovens, pit depressions, defensive ditches, artifactual material or human bones) work shall cease in the vicinity of the discovery, the area secured, and the Council (Ph 839-0400) contacted.

Activity on the site will remain halted until the Manager Resource Consents gives approval for operations to recommence.

District Plan:

Site Identified to be potentially or subject to Erosion/Stability or subsidence: YES

Site Identified to be potentially or subject to Flooding : NO

Resource Consent Requirements:

Land Use Consent requirements:

YES / BEING PROCESSED

Await the granting and issue of RMA20041124. After issue please provide letter stating no S357 objection will be lodged or allow for 15 day appeal period to lapse prior to commencement of work on site .

Subject to the certificate attached in respect of the Resource Management Act 1991 issued pursuant to S.35 (1A) of the Building Act 1991.

Subdivision Consent requirements: ---

Any Other Requirements: yes

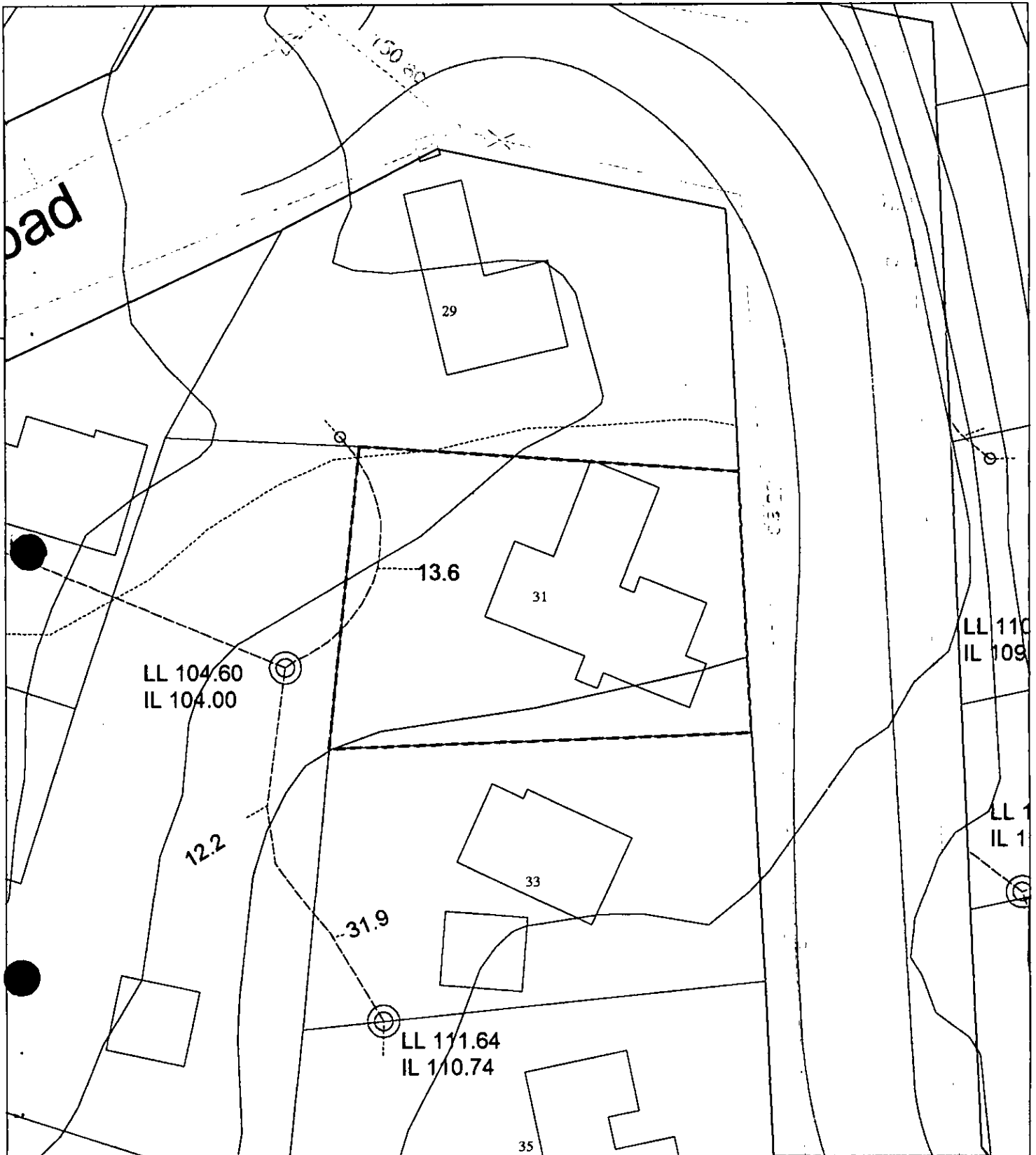
All reticulated services, including power and phone, are to be laid underground.

Before commencement of any works and until completion of exposed earth site-works, adequate sediment and erosion control measures shall be constructed and maintained by the consent holder. The control measures must be maintained until the site has been adequately stabilised against erosion. The construction and maintenance shall be in accordance with Appendix 3, Erosion and Sediment Control Measures Appendix to the Natural Area Rules of the Waitakere City Council District Plan.

No Minor Household Unit to be established on this site except explicitly allowed after Resource Consent

Vehicle Crossing/Street Damage Deposit: REQUIRED

If a vehicle crossing is required or the value of work requires a street damage deposit, pursuant to Waitakere City Council Bylaw No. 22 you are required to complete an application in the prescribed form for a vehicle crossing and street damage deposit with your application for building consent.



Water Main

- Pipe / House Connection
- ▣ Valve Chamber
- ✕ Sluice Valve
- ▣ Reservoir
- ▽ Reducer
- ⊗ Pressure Gauge
- Pump Unit
- ⊞ Pump Station
- ✕ Pressure Reducing Valve
- ▽ Foot Valve
- △ Non Return Valve
- ⊙ Meter
- Fire Hydrant
- ⊞ Blank Cap
- ⊕ Air Valve
- - - Abandoned Service

Wastewater

- Pipe / House Connection
- ▣ Inlet Chamber
- Flush Chamber
- Inspection Chamber
- ⊕ Manhole
- ⊞ Pump Station
- Stormwater
- Pipe / House Connection
- ▣ Cesspit
- ⊕ Cesspit / Manhole
- ▣ Double Cesspit
- ▣ Inlet / Outlet
- Inspection Chamber
- ⊕ Manhole
- ⊞ Open Drain
- ⊞ Pond

A4 PLAN OF SERVICES

31 VICTORY RD

Legal Description: LOT 644 DP 32446

Services shown on public amenity land are not public drains unless used as through drains.

While Council endeavours to provide accurate spatial data no guarantee as to the completeness and accuracy of the data shown on this plan can be given.

All information, including levels and locations, are not of survey grade accuracy and should be verified on site.

For enquiries about the information shown please phone the Call Center (09) 839 0400

Cadastral Information from Land Information New Zealand
Digital Cadastral Database DCDB
Crown Copyright Reserved Digital Licence AK/27470/L

Map Scale 1:500
Print Date 8/6/2004



Waitakere City Council
Te Taiāo o Waitakere

'AS BUILT' DRAINAGE PLAN

Drainage plans are necessary for all new work and extensions to drains, including septic tank effluent disposal systems. The plan is to be completed accurately to scale in ink, and must show clearly street boundary, property boundaries, outline of buildings as well as layout of ALL drains and inspection fillings.

1. Please ensure that this 'As Built' Plan is completed prior to the inspection of the drainage work by the Inspector.

Failure to comply may delay the approval of your work.

BUILDING CONSENT NO: 97/1684

Owners Name: GRIFFITHS

The scale of the 'As Built' Plan is to be 1:200. Please indicate on the 'As Built' plan if any other scale is used. Please refer to additional notes.

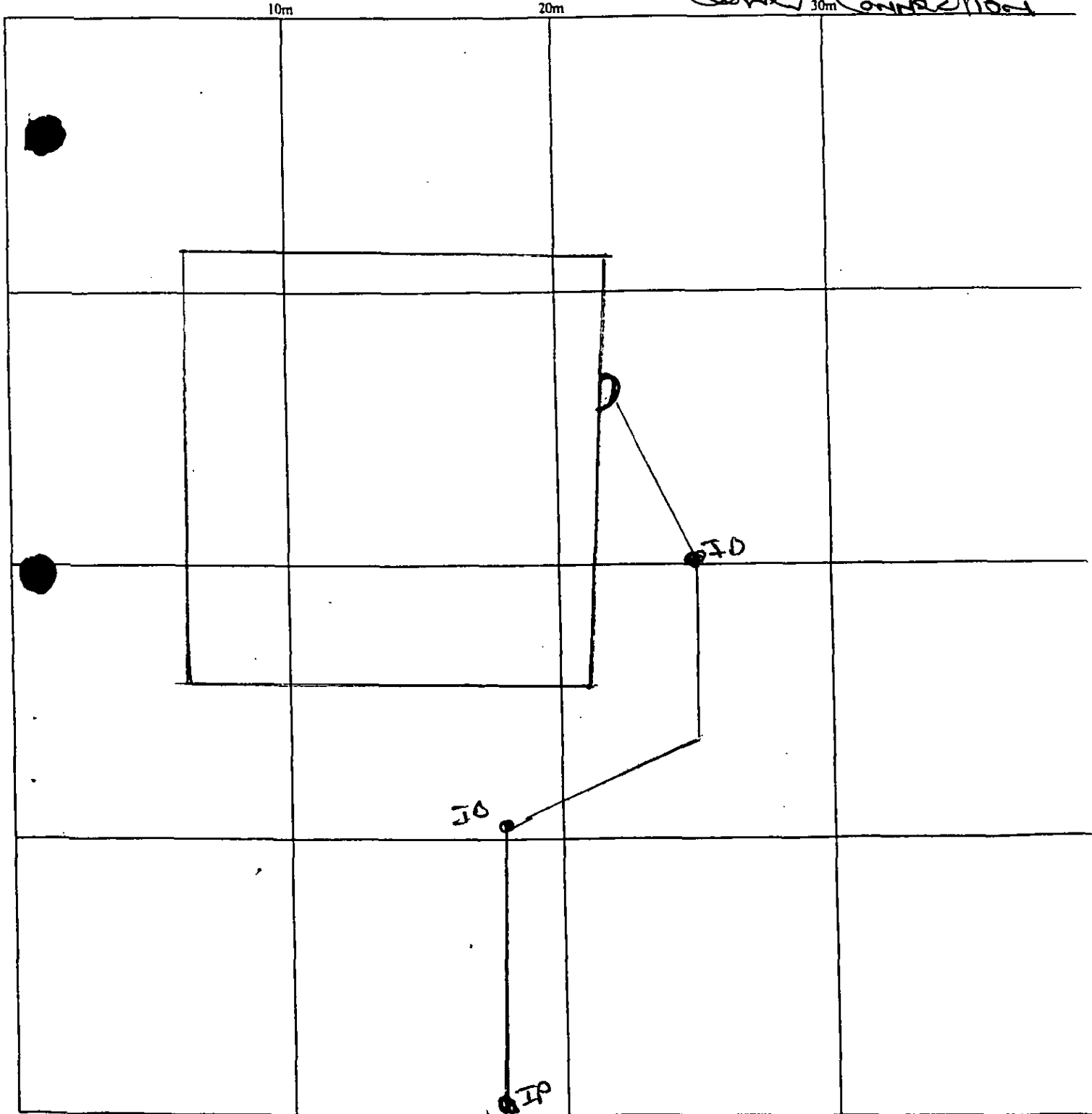
Address of Property: (No.) 31 (Street) Victory Rd.

Lot: 644 DP: 32466

Drainlayers Name: CAVIN SLY Date Inspected: 17.6.97 Inspector: [Signature]

ROAD BOUNDARY

30m Sewer Connection





Waitakere City Council
Te Tatao o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX -10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

18 June 2004

Private Bag 93109
Henderson
Waitakere City

KAV1
Fax # 6310359

KG HITCHENS
C/- COLIN BURTON
VERSATILE BUILDINGS LTD
18 HENDERSON VALLEY RD
HENDERSON

Our Reference: Building Consent Application Number ABA20041782

31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007

Dear Sir/Madam

Your application for building consent has been suspended because further information is required (in duplicate), as indicated on the attached sheet/s. Processing of your application will recommence upon receipt of the required information.

To Enable Council to provide an effective service would you please respond to this request as soon as possible, but no later than one month from the date of this letter. If no reply has been received within this period the application may be cancelled without further reference.

Yours faithfully

PPA
CHRIS OLSEN
ACCOUNT MANAGER
CONSENT SERVICES

18/06/2004

BUILDING CONSENT APPLICATION ABA 20041782

Please provide the following items:

1. Please provide details of how you intend to obtain fire rated protection and lateral stability to the fire rated portion of the north east wall.
2. Two separate dwellings on the site shall have fire rated separation from a notional boundary established between each unit. (Refer NZBC 7.3.14). Please supply this information clarifying what method will be used to achieve this protection..

Enquires regarding these requests should be directed to the staff listed below:

Item/s 1 - 2 Contact: Terry Brown

ext 8650

Building Consent Application No: 2004/1782

Please provide details of how you intend to obtain fire rated protection & lateral stability to the fire rated portion of the north west wall.

Two separate dwellings on site shall have fire rated separation from a notional boundary established between each unit. (refer N.B.C. 7.3.14)

Please supply the information clarifying what method will be used to achieve this protection.

Enquiries regarding the above requests should be directed to Terry Brown

Item/s: 1-2

Contact No 8368000 ext 8650



Waitakere City Council
Te Tatao o Waitakere

MANCO KUNZNERA P17 8380370

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

Refer Donna Malcolm; Customer Services : Ref: Is
Extension No 8697 : Civic Centre

25th May 2004

Versatile Buildings Ltd
18 Henderson valley Road
Henderson

Dear Colin

APPLICATION FOR BUILDING CONSENT
31 VICTORY ROAD, TITIRANGI

Thank you for your building consent application.

When checking your documentation against the checklists, there was information omitted. Please refer to the enclosed checklist (blue & green) for items that need your attention to ensure processing. I have enclosed your application

PLEASE RETURN THIS LETTER, ENCLOSED CHECKLIST AND CHEQUE AT THE TIME OF RESUBMITTING YOUR APPLICATION

If you have any queries please do not hesitate to contact me.

Yours faithfully

Donna Malcolm
Customer Services advisor – Building

Application for Building Consent



Application number: 20041782

Send to: The Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

4C

Attach all relevant documents in duplicate

This application will not be processed until the application fee is paid

Tick (✓) applicable box for the type of consent

See Note 1

- | | |
|---|---|
| <input checked="" type="checkbox"/> (a) Building Consent and Project Information Memorandum | <input type="checkbox"/> (d) Solid Fuel Heater |
| <input type="checkbox"/> (b) Project Information Memorandum | <input type="checkbox"/> (e) Minor Plumbing and Drainage |
| <input type="checkbox"/> (c) Building Consent in accordance with PIM Number _____ | <input type="checkbox"/> (f) Fire/ Smoke Alarm Installation |

Owner See Note 2 Name: <u>Karl Hitchens</u> Address: <u>31 Victory Rd, Titirangi</u> Phone number Day: <u>8168708</u> A/H: _____ Fax: _____ Mobile: _____	Contact <u>Colin Burton</u> See Note 3 Name: <u>Versatile Buildings Ltd</u> Address: <u>18 Henderson Valley Road</u> Phone number Day: <u>8366200</u> A/H: _____ Fax: <u>8366220</u> Mobile: _____
--	---

Project Location 50144 Street number: <u>31</u> Street address: <u>Victory Road</u> Locality: <u>Titirangi</u>	Legal Description See Note 4 Valuation: _____ Lot: <u>644</u> DP: <u>32446</u> Site area: <u>994m²</u>
---	--

Project Information See Note 5 <input checked="" type="checkbox"/> New building <input type="checkbox"/> Relocated building <input type="checkbox"/> Additions/alterations <input type="checkbox"/> Demolition <input type="checkbox"/> Other Proposed Work: <u>Build a new 9.0 x 6.0m cottage</u> Intended use: <u>Cottage</u> Estimated value: <u>\$28488</u> (inc GST) Number of dwelling units: _____ Floor area of proposed work: <u>54m²</u> <input type="checkbox"/> N/A Number of storeys: <u>1</u> Intended life of project: <input checked="" type="checkbox"/> Indefinite but not less than 50 years Specify _____ years Stages: <input checked="" type="checkbox"/> All Stage _____ of _____ intended stages Will second hand materials be used? <u>Yes</u> / No

Office use only: The Council charges payable on the making of this application are: Receipt number: _____ Date: _____	Category: Microfilm fee: _____ Plan processing fee: _____ Planning check fee: _____ PIM fee: _____ Inspection fee: _____ Code Compliance Cert: _____ Total: <u>\$365pd</u>
--	--

Project/Building Details

Tick applicable boxes

- (a) Building Consent and Project Information Memorandum (complete (1) & (2) below)
- (b) Project Information Memorandum (complete (1) below)
- (c) **Building Consent in accordance with PIM** (complete (1) & (2) below)
(please ask for assistance from our counter staff re: (3) compliance schedules below)

(1) Project Details

The project involves the following matters (tick each applicable box, and attach information in duplicate):

- Location in relation to legal boundaries and external dimensions of new, relocated or altered buildings (to be shown on site plan).
- Elevations drawn to scale.
- Details of any known or potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.
- Provision to be made for vehicular access, including parking and on-site maneuvering (to be shown on site plan).
- Provision to be made in building over or adjacent to any road or public place.
- Provision to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains/sewers or in close proximity to wells or watermains.
- New connections to public utilities (ie: gas, electricity, water supply, stormwater system & wastewater system).
- Provision to be made in any demolition work for which the protection of the public, suppression of dust and noise disposal of debris and disconnection from public utilities.
- Details of any cultural or heritage significance of the building or building site, including whether it is on a marae.
- Copies of any consents including Land Use (planning) Consents, Subdivision Consents or Air Discharge Permits granted for this project.

(2) Building Details

This application is accompanied by: (tick each applicable box and attach relevant documents in duplicate).

- The drawings, specifications and other documents according to which the building is proposed to be constructed, to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including:
- Building Certificates
- Producer Statements
- References to accreditation certificates issued by the Building Industry Authority
- References to determinations issued by the Building Industry Authority
- Proposed procedures, if any, for inspections during construction

(3) Compliance Schedules (Please discuss with our counter staff)

- Systems necessitating a Compliance Schedule Yes No
- Other systems and features to be included in the Compliance Schedule Yes No

General Note

1. Vehicle Crossing Application and Street Damage Deposit / Inspection / Fees

If a vehicle crossing is to be built an application form must be completed.

A Street Damage Deposit will be required on all applications with a value of work of \$5000 (incl GST) or more.

2. Electricity Transmission Lines and Towers

If there are high-tension electricity transmission lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property the applicant must ensure that the proposed building complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances.

It is the responsibility of the applicant to ensure compliance and if necessary to contact the line owner to determine whether the proposed building will comply prior to commencing construction.

Consultants

See Note 6

Complete as far as possible in all cases. Give names, addresses and telephone numbers.

(Give professional registration numbers if known)

Designer:	Phone: 836 6200
} Versatile Buildings Ltd	
Builder:	Phone:
Plumber:	Phone:
	Reg Number:
Drainlayer:	Phone:
	Reg Number:
Other Consultants:	Phone:
	Reg Number:

Confidentiality

Under certain circumstances you may have the option to request confidentiality for reasons of building security and copyright.

Requests of this nature are to be applied for separately in writing.

Please ask the counter staff for further information.

Correspondence

I/We, the applicant, acknowledge that all correspondence is to be directed to:

- myself / ourselves
- my / our agent whose responsibility it is to forward all Council documentation received where appropriate.

Note: Pursuant to S32 and S33 of the Building Act 1991, a building consent must be uplifted prior to commencement of any work proposed in this application for building consent. A Building Consent cannot be issued retrospectively for any work that has been carried out prior to the issue of the building consent.

I have taken note that this application must not include any construction work that has commenced or has already been carried out at the date of this application. Please tick

The information collected in this form is required under provisions of the Building Act 1991. This information forms part of the Councils records relating to the property and will be held for at least the life of the building to which it relates. The information is available to any person who wishes to inspect Councils records except for those plans marked confidential under S27 of the Building Act 1991.

Information relating to the applicant/owner, the project and the property contained in this form will be used as part of statistical information produced by the Council which is provided to Valuation NZ and Statistics New Zealand and is also available, for a fee, to any person upon request from the Council.

Payment Details

A fee is required on lodgement of all applications.

All fees (other than the base fee) shall be paid in full without set-off or deduction of any kind within 14 days of the date of the invoice or prior to the issue of the Building Consent, whichever is the sooner.

The applicant shall further pay to Waitakere City Council, all costs and expenses (including costs on a solicitor/client basis and debt collector's costs) incurred in the enforcing or attempting to enforce these terms and conditions or in seeking payment of all fees.

Where you fail to make payment of any amount on the due date, Waitakere City Council may in addition require you to compensate it by making payment of interest as liquidated damages on the amount due from the due date for payment until the date of actual payment at a rate equal to the current overdraft interest rate Waitakere City Council has with its principal registered bank.

Name and Address for Accounts: Mr K Hitchens c/- Versatile Buildings Ltd
18 Henderson Valley Road, Henderson, Auckland

Phone number: Business: 8366200 Home: _____

Mobile: _____ Fax: 8366220

GST Number: _____

Signature of Applicant / ~~Authorised agent~~ [Signature]

Print name of Applicant / ~~Authorised agent~~ KARL HITCHENS

If the named Applicant is a Company or Trust, please state your position / title and contact details: _____

I have the authority to bind the Company / Trust _____
(please attach a copy of the authorising documents for the Company / Trust)

This application will not be accepted by the Council unless all the above required and appropriate information is provided.

Declaration

See Note 7

Signed by / for and on behalf of owner [Signature] Name: (print) C. Blencow

Position: Sales Consultant Date: 24-5-04

If you have any enquiries about any part of the building consent process please contact our Customer Services line: 839-0400 or fax 836-8001 or our Counter Services Staff, Waitakere City Council, 6 Waipareira Avenue, Henderson.

Consent Services
Thank you for your time


Waitakere City Council
Te Tatao o Waitakere
Te Tatao o Waitakere

AMENDED PLANS – UNISSUED CONSENTS

PROCESS SHEET 12/03

ABA:

20041782

ADDRESS: 31 VICTORY RD. LOT: _____

ACCOUNT MANAGER: Tineke DP: _____

Date Rec: - 4 NOV 2004

Required Inspections:	201 Footing	207 Pre-line Building	219 Cladding
	202 Bond Beam	208 Pre-line Plumbing	220 Final Build
Second-hand Building	203 Tanking (Water Barriers)	209 Gib Nail	221 Final P & D
Materials Report Attached	204 Pre-floor Building Concrete only	211 Drainage Test	222 Resource Consent
YES / NO	205 Pre-floor P&D Concrete only	217 Framing	Conditions
	206 Plaster Exterior Cladding	218 Building Wrap	

	TO	DATE IN	DATE OUT	SENT TO	PAUSED	APPROVED BY	STAFF CODE	TIME
	112 Process Support	4-11	4-11	11M	F	JA	BCE	0.2
	113 Building Surveyor							
	114 Plumbing & Drainage Surveyor (Retic. Site)							
	115 Plumbing & Drainage Surveyor (Septic Tanks)							
	115 Structural Check							
	11E EcoWater							
	UPL Fire & Egress	05 Nov 2004	9-11	11M	F	JA	BSZ	0.25 22.75
CADASTRAL								
SPW								
224C ISSUED	11L Resource Planner							

Financial Contributions YES / NO

Is a Section 35 Required? YES / NO UPLIFTED: DATE:
 IF YES No Building work to commence Specific building work to commence

	UIM/Account Manager	4-11						14.20
		9-11.	10/11	UX	F	JA	BSZ	0.2
RMA	UUX/Final Document Preparation	10/11	10/11/04	Pop	F	JA	BSZ	0.2
								28

46.20

CODE	FEE DESCRIPTION	\$	C
101	Plan Processing Fee		
102	Planning Check Fee		
103	PIM Fee		
104	Inspection Fee		
105	Code Compliance Certificate		
106	Water Connection		
108	Building Research Levy		
109	Building Industry Authority Levy		
110	Section 35 Certificate		
111	Design Check Fee		
112	Amended Plan Fee	4620	CF
113	Photocopying		
114	Resource Consent (Minor Addtn)		
115	Sewer Connection		
116	Re-lay Sewer		
117	Engineering Fee-Subdivision		
118	Reserve Contribution (Massey)		
119	Reserve Contribution (Waitakere)		
120	Reserve Contribution (New Lynn)		
121	Reserve Contribution (Henderson)		
122	Performance Bond		
123	Stormwater Upgrading		
124	Road Construction Deposit		
125	Stormwater Connection		
126	Engineering Fees-Development		
127	Legal Processing		
128	Resource Bond		
129	Water Contribution		
130	Sewer Upgrading		
131	Planning Site Visit		
132	Consultancy Fees		
133	Fire Hydrants		
138	Oratia Stream		
139	Planning Resource Consent		
142	Compliance Schedule Base Fee		
143	Compliance Schedule Systems Fee		
144	Records Fee		
145	Drainage Engineer		
150	Extension of Building Consent		
151	Replacement Plans/Document		
152	Administration Fee		
153	Second-hand Building Insp		
154	Second-hand Materials Insp		
BDG	ABA Dangerous Goods		
BEH	ABA Environmental Health		
BFE	ABA Fire & Egress	2275	CF
BPK	ABA Parks Processing		
T	Time		
	Subtotal		
	Outstanding Amount		
	TOTAL	\$	CF

FINANCIAL CHECK

Initials

CF

Date:

10/11/04

STRUCTURAL CHECK REPORT
RESIDENTIAL OR MINOR BUILDING WORKS
BUILDING SURVEYORS PROCESSING SHEET

CALCULATIONS AND PRODUCER STATEMENT CHECK

Each of the items must be checked and the box ticked:

1. Site not stability sensitive
2. Calculations provided
3. Calculations cover all work on drawings requiring design

I recommend that the application be approved subject to the conditions listed below:

Signed by: Building Surveyor: Date:

STRUCTURAL ENGINEER'S PROCESSING SHEET
COMMERCIAL/INDUSTRIAL/ASSEMBLY BUILDINGS
RESIDENTIAL BUILDINGS REQUIRING GEOTECHNICAL REPORTS

1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

2. I recommend that the application be approved subject to the conditions listed below:

Signed: Structural Engineer Date:

Processing time:

Staff Code	Conditions (incl. 1 to 3 standard conditions)

Staff Code	Notations

NOTES/REMARKS:

REQUEST TO PROGRESS AMENDED PLANS

Further Information/Amendment Requested by Council Not Requested by Council

Note:
1 Building Consent approval cannot be obtained for work all ready commenced or completed.
2 Amended plans can only be accepted if within scope of works of original Building Consent Application. New work will require a new Building Consent.
Tick to acknowledge that you have taken note of the above two issues

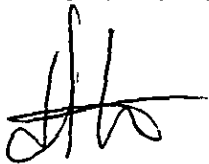
To assist prompt processing please provide the following:

ABA: 20041782 ACCOUNT MANAGER (if known): CHARIS OLSEN

PROPERTY ADDRESS: 31 VICTORY RD LAWINGHOLM

ITEMISE CHANGES: CANCEL HAS REQUESTED A FENC WALL
RATED ON THE END OF THE NEW BUILDING
AS SHOWN ON SITE & FLOOR PLAN

NEW CONTACT ADDRESS IF APPLICABLE: VERSATILE BLAGS



CONTACT PHONE NO:

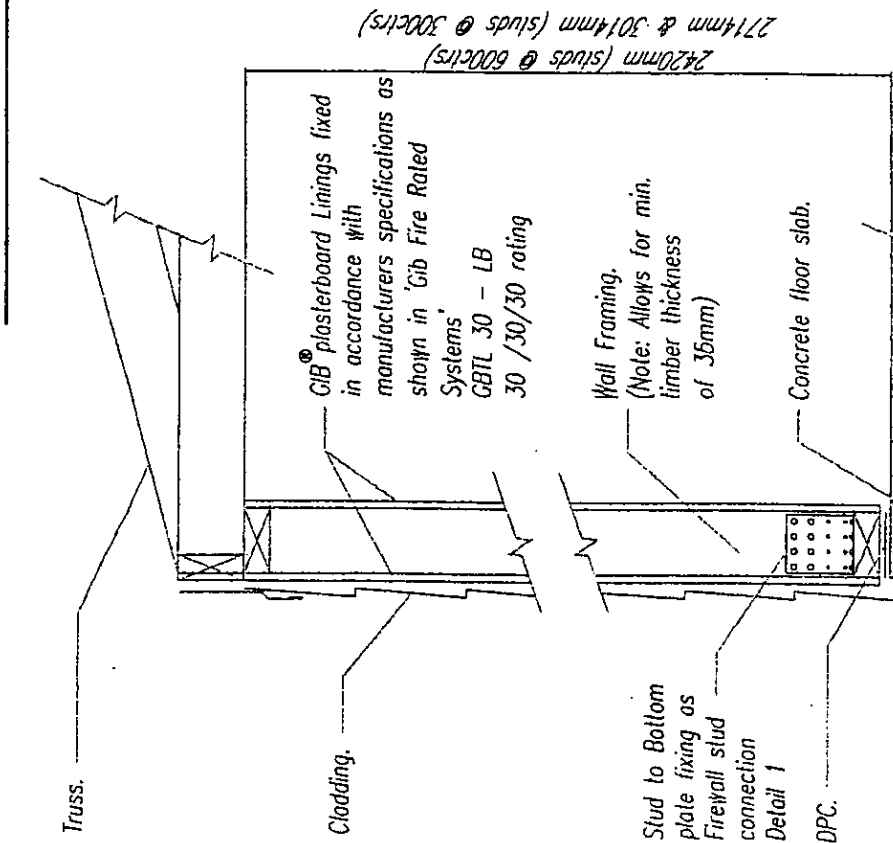
NAME: COLIN BURTON

SIGNED: 8352070

DATE: 3-11-04

Cross section through firewall

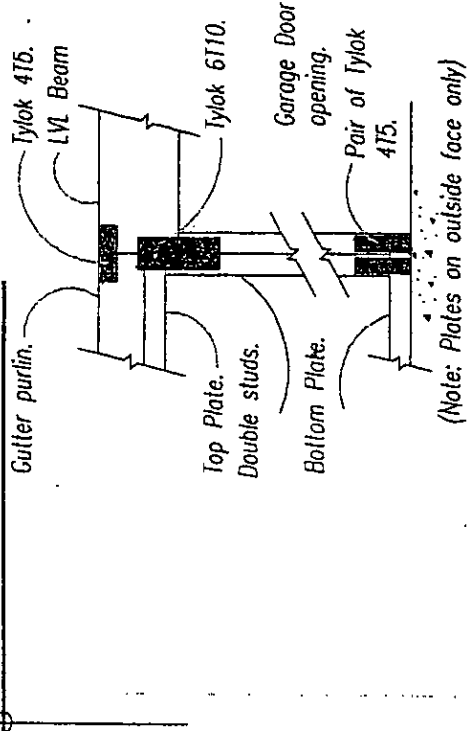
Detail G



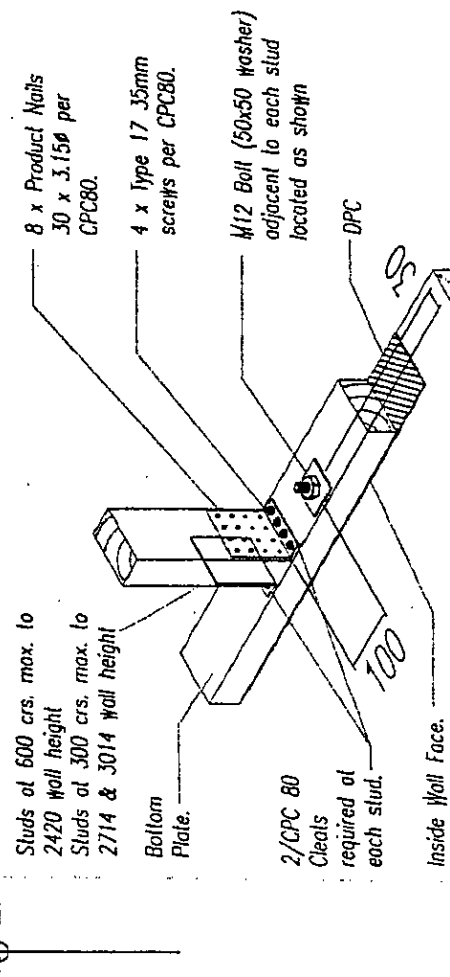
NOTES:

- This detail covers an alternative Stud to Bottom plate connection for a firewall situation.
- Firewalls are applicable for studs @ 300mm & 600mm cirs max.

Detail H LVL Beam Connection



Detail I Firewall stud connection



NOTES:

- Fixing components are available in a pack, including:
2 x CPC80 cleats
16 Product Nails 30 x 3.15 # Galv.
8 x Type 17 35mm Hex head screws Galv.
- Both faces of wall clad in fireproof lining. Not shown for clarity.

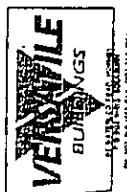
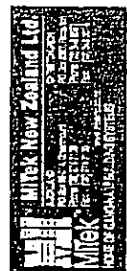
REVISION: 07/05/03 - FIREWALL DETAIL EXPANDED FOR 2714 & 3014 STUD HEIGHTS

DRAWING TITLE:
Fire-Wall & LVL Details

DESIGN: DRAWN:
S.A. Coll VB Ltd VB Ltd

SHEET: 9

OF SHEET: 18



VERSATILE BUILDINGS LTD
Construction Details

COPYRIGHT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF FITTEK NZ LTD OR VERSATILE BUILDINGS LTD.

BUILDING CONSENT APPLICATION

PROCESS SHEET 12/03

ABA:

20041782

ADDRESS: 31 Victory Rd LOT: 644

ACCOUNT MANAGER: Chris DP: 32446 Date Rec: 02.06.04

- | | | | |
|---------------------------|--|-------------------------|----------------------|
| Required Inspections: | 201 Footing ✓ | 207 Pre-line Building ✓ | 219 Cladding ✓ |
| | 202 Bond Beam | 208 Pre-line Plumbing ✓ | 220 Final Build ✓ |
| Second-hand Building | 203 Tanking (Water Barriers) | 209 Gib Wall ✓ | 221 Final P&D ✓ |
| Materials Report Attached | 204 Pre-floor Building Concrete only ✓ | 211 Drainage Test ✓ | 222 Resource Consent |
| YES / NO | 205 Pre-floor P&D Concrete only ✓ | 217 Framing | Conditions |
| <u>WENT HIGH WZ.</u> | 206 Plaster Exterior Cladding | 218 Building Wrap | <u>S/S.</u> |

	TO	DATE IN	DATE OUT	SENT TO	PAUSED	APPROVED BY	STAFF CODE	TIME
	102 Process Support <u>P.L.M.</u>	03-06	03-06	103	F	<u>JS</u>	<u>CHW</u>	.3
	103 Building Surveyor	03-06	4/6	1024	F	<u>Chris</u>	<u>AAA</u>	.4
	104 Plumbing & Drainage Surveyor (Retic. Site)	4/6	08 JUN 2004	105	F	<u>J</u>	<u>PER</u>	.4
	10S Plumbing & Drainage Surveyor (Septic Tanks)							
	105 Structural Check	08 JUN 2004	8/6	10E	F	<u>Cymin</u>	<u>prod</u>	1.0
	10E EcoWater	8/6	11/6	10F	F	<u>DR</u>	<u>EWI</u>	1.5 102-95
	10P Fire & Egress	11/6	17-6	10M	P	<u>letter</u>	<u>BSZ</u>	0.4 153
								28-80
CADASTRAL								
SPW								
224C ISSUED	10L Resource Planner							

Financial Contributions YES / NO Is a Section 35 Required? YES / NO UPLIFTED: DATE:
 IF YES No Building work to commence Specific building work to commence

	10M Account Manager	17-6-04	17 JUN 2004	10X	P	<u>letter</u>	<u>TWO</u>	0.2
RMA	10X Final Document Preparation	17 JUN 2004	18-6	SUS	P	<u>A</u>	<u>BCE</u>	.2

STRUCTURAL CHECK REPORT
RESIDENTIAL/OR MINOR BUILDING WORKS
BUILDING SURVEYORS PROCESSING SHEET
CALCULATIONS AND PRODUCER STATEMENT CHECK

Each of the items must be checked and the box ticked:

1. Site not stability sensitive ✓
2. Calculations provided ✓
3. Calculations cover all work on drawings requiring design ✓

I recommend that the application be approved subject to the conditions listed below:

Signed by: [Signature] Building Surveyor: [Signature] Date: 17/06/04

STRUCTURAL ENGINEER'S PROCESSING SHEET
COMMERCIAL/INDUSTRIAL/ASSEMBLY BUILDINGS
RESIDENTIAL BUILDINGS REQUIRING GEOTECHNICAL REPORTS

1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

2. I recommend that the application be approved subject to the conditions listed below:

Signed: Si Lin Structural Engineer Date: 8/6/04

Processing time: \$ 91.5

Staff Code	Conditions (incl. 1 to 3 standard conditions)
	9
BSA	134, 136, 138, 145, 163, 169, 173, 7
PGI	41, 44, 46, 57, 58, 61, 41, 4
prod	① 150, ② 151, ③ 153, 3
EWI	L. S

Staff Code	Notations

CODE	FEE DESCRIPTION	\$	C
101	Plan Processing Fee		-
102	Planning Check Fee		-
103	PIM Fee		-
104	Inspection Fee	250	-
105	Code Compliance Certificate	47	-
106	Water Connection		-
108	Building Research Levy	29	-
109	Building Industry Authority Levy	18	85
110	Section 35 Certificate	45	-
111	Design Check Fee	102	95
112	Amended Plan Fee	46	20
113	Photocopying		
114	Resource Consent (Minor Addtn)		
115	Sewer Connection		
116	Re-lay Sewer		
117	Engineering Fee-Subdivision		
118	Reserve Contribution (Massey)		
119	Reserve Contribution (Waitakere)		
120	Reserve Contribution (New Lynn)		
121	Reserve Contribution (Henderson)		
122	Performance Bond		
123	Stormwater Upgrading		
124	Road Construction Deposit		
125	Stormwater Connection		
126	Engineering Fees-Development		
127	Legal Processing		
128	Resource Bond		
129	Water Contribution		
130	Sewer Upgrading		
131	Planning Site Visit		
132	Consultancy Fees		
133	Fire Hydrants		
138	Oratia Stream		
139	Planning Resource Consent		
142	Compliance Schedule Base Fee		
143	Compliance Schedule Systems Fee		
144	Records Fee		
145	Drainage Engineer	153	-
146	Roading and Traffic		
150	Extension of Building Consent		
151	Replacement Plans/Document		
152	Administration Fee	21	55
153	Second-hand Building Insp		
154	Second-hand Materials Insp		
BDG	ABA Dangerous Goods		
BEH	ABA Environmental Health		
BFE	ABA Fire & Egress	51	55
BPK	ABA Parks Processing		
T	Time		
	Subtotal	244	85
	Outstanding Amount	420	25
	TOTAL	\$ 1305	10

total 540

FINANCIAL CHECK Initials *de* Date: 10/11/09

NOTES/REMARKS:

BUILDING CONSENT APPLICATION
PROCESS SHEET 12/03

DUPLICATE ABA:

2004 17 82

ADDRESS: 31 Victory Rd LOT: 644

ACCOUNT MANAGER: Chris. DP: 32446

Date Rec: 02.06.04

- | | | | |
|---------------------------|--------------------------------------|-----------------------|-----------------------------|
| Required Inspections: | 201 Footing | 207 Pre-line Building | 219 Cladding |
| | 202 Bond Beam | 208 Pre-line Plumbing | 220 Final Build |
| Second-hand Building | 203 Tanking (Water Barriers) | 209 Gib Nail | 221 Final P & D |
| Materials Report Attached | 204 Pre-floor Building Concrete only | 211 Drainage Test | <u>222</u> Resource Consent |
| YES / NO | 205 Pre-floor P&D Concrete only | 217 Framing | Conditions |
| | 206 Plaster Exterior Cladding | 218 Building Wrap | <u>Rev 20041124</u> |

	TO	DATE IN	DATE OUT	SENT TO	PAUSED	APPROVED BY	STAFF CODE	TIME
	102 Process Support <i>P.L.M</i>	03.06	03.06	103	F	J5	CHA	
	103 Building Surveyor	03.06.						
	104 Plumbing & Drainage Surveyor (Retic. Site)							
	10S Plumbing & Drainage Surveyor (Septic Tanks)							
	105 Structural Check							
	10E EcoWater							
	10F Fire & Egress							
CADAstral								
SPW								
224C ISSUED	10L Resource Planner <i>(NO WEBS)</i>	3/6	8/6	10M	F	S35	PLS	+60

Financial Contributions
YES / NO

Is a Section 35 Required?
IF YES No Building work to commence

YES / NO

UPLIFTED: DATE:

Specific building work to commence

	10M Account Manager	8/6						
RMA	10N Final Document Preparation							

STRUCTURAL CHECK REPORT
RESIDENTIAL OR MINOR BUILDING WORKS
BUILDING SURVEYORS PROCESSING SHEET
CALCULATIONS AND PRODUCER STATEMENT CHECK

Each of the items must be checked and the box ticked:

1. Site not stability sensitive
2. Calculations provided
3. Calculations cover all work on drawings requiring design

I recommend that the application be approved subject to the conditions listed below:

Signed by: Building Surveyor: Date:

STRUCTURAL ENGINEER'S PROCESSING SHEET
COMMERCIAL/INDUSTRIAL/ASSEMBLY BUILDINGS
RESIDENTIAL BUILDINGS REQUIRING GEOTECHNICAL REPORTS

1. The following items are required to further process this application: (see letter attached).

Signed: Structural Engineer Date:

2. I recommend that the application be approved subject to the conditions listed below:

Signed: Structural Engineer Date:

Processing time:

Staff Code	Conditions (incl. 1 to 3 standard conditions)
P25	96 - Kyle Balderston X 8/25
→	94 - JMA 2004/124 - gtd 26/10/04
→	118 ✓

Staff Code	Notations
→	123/7

CODE	FEE DESCRIPTION	\$	C
101	Plan Processing Fee		
102	Planning Check Fee		
103	PIM Fee		
104	Inspection Fee		
105	Code Compliance Certificate		
106	Water Connection		
108	Building Research Levy		
109	Building Industry Authority Levy		
110	Section 35 Certificate	45	0000
111	Design Check Fee		
112	Amended Plan Fee		
113	Photocopying		
114	Resource Consent (Minor Addtn)		
115	Sewer Connection		
116	Re-lay Sewer		
117	Engineering Fee-Subdivision		
118	Reserve Contribution (Massey)		
119	Reserve Contribution (Waitakere)		
121	Reserve Contribution (New Lynn)		
121	Reserve Contribution (Henderson)		
122	Performance Bond		
123	Stormwater Upgrading		
124	Road Construction Deposit		
125	Stormwater Connection		
126	Engineering Fees-Development		
127	Legal Processing		
128	Resource Bond		
129	Water Contribution		
130	Sewer Upgrading		
131	Planning Site Visit		
132	Consultancy Fees		
133	Fire Hydrants		
138	Oratia Stream		
139	Planning Resource Consent		
142	Compliance Schedule Base Fee		
143	Compliance Schedule Systems Fee		
144	Records Fee		
145	Drainage Engineer		
146	Roading and Traffic		
150	Extension of Building Consent		
151	Replacement Plans/Document		
152	Administration Fee		
153	Second-hand Building Insp		
154	Second-hand Materials Insp		
BDG	ABA Dangerous Goods		
BEH	ABA Environmental Health		
BFE	ABA Fire & Egress		
BPK	ABA Parks Processing		
T	Time		
	Subtotal		
	Outstanding Amount		
	TOTAL	\$	CF

FINANCIAL CHECK

Initials

AG

Date:

10/11/09

NOTES/REMARKS:

Checklist: Planning for Building Consent

Note: This Checklist must be returned when re-submitting the application.

Send to: The Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

For applications (a) and (c) only (refer to the application form for types) please refer to this checklist when preparing your application.

1. Resource Consent Requirements

[1.1] Have any consents been applied for/granted specific to this proposal?

No go to 1.2 Yes give details below and go to Section 2.1 on the next page

- | | | | |
|------------------------------------|--------------------------|---|--------------------------|
| (a) Resource Consent - land use | <input type="checkbox"/> | (d) Certificate of Compliance | <input type="checkbox"/> |
| (b) Resource Consent - subdivision | <input type="checkbox"/> | (e) Other eg: Coastal Permit, Air Discharge Permit' | <input type="checkbox"/> |
| (c) Outline Plan of Works | <input type="checkbox"/> | ARC (Earthworks) | |

RMA Number: 2004/1124? SPW number: 224C Issued:

[1.2] Common activities that typically require Resource Consent

If the proposed Building Consent involves any of the following activities it will require a resource consent. Note: It is advised that an application for resource consent be made prior to building consent application.

- | | Yes | No |
|---|--------------------------|--------------------------|
| (a) Any earthworks outside the building platform where:
- the volume exceeds 50 cubic metres.
- plan area exceeds 100m ² (includes new driveways).
- cut or fill depth exceeds 1.5m.
- encroachment is within 1.0m of the boundary of any adjoining site.
- the Waitakere City Erosion/Sediment Control protection standards do not apply.
- it is within the drip-line of native vegetation | <input type="checkbox"/> | <input type="checkbox"/> |
| (b) Development on a net site area of less than 450 m ² in a Living Environment. | <input type="checkbox"/> | <input type="checkbox"/> |
| (c) Relocation of a second hand building onto a site (excluding Working Environment).
Note: a monetary bond may be required (based on the value of the upgrading work). | <input type="checkbox"/> | <input type="checkbox"/> |
| (d) Any proposed "shared driveway" (i.e. shared by two or more dwellings) | <input type="checkbox"/> | <input type="checkbox"/> |
| (e) All development on land identified as a "sensitive ridge" or new buildings/earthworks/piping in any watercourse. | <input type="checkbox"/> | <input type="checkbox"/> |
| (f) Working Environment sites over 2000 m ² . | <input type="checkbox"/> | <input type="checkbox"/> |
| (g) Removal of vegetation protected under Natural Area rules. | <input type="checkbox"/> | <input type="checkbox"/> |
| (h) Building within a Natural Hazards area or on a Contaminated Site. | <input type="checkbox"/> | <input type="checkbox"/> |
| (i) Manufacture, storage, use/disposal, discharge to air, ground or water of hazardous substances in excess of permitted quantities. | <input type="checkbox"/> | <input type="checkbox"/> |
| (j) Construction of more than one vehicle crossing to a site. | <input type="checkbox"/> | <input type="checkbox"/> |

Other activities may also require a resource consent.
For further information please contact the Duty Planner phone: 839-0400

2. General District Plan Requirements

[2.1] The following must be shown/identified on all relevant site plans, plans, elevation and sections:

	Shown	N/A
(a) Site area, including the net site areas for each unit and common area if applicable.	<input type="checkbox"/>	<input type="checkbox"/>
(b) Building coverage area in m ² for new plus all existing buildings.	<input type="checkbox"/>	<input type="checkbox"/>
(c) Location and area (m ²) of impermeable surfaces including all buildings and drives, courtyards, patios and pathways over 1.0m in width.	<input type="checkbox"/>	<input type="checkbox"/>
(d) Position of all driveways (including shared driveways) and vehicle reverse manoeuvring areas. (Provide for on-site turning where the site adjoins a major road or where there is a distance of 20m or more between the road and the carpark space).	<input type="checkbox"/>	<input type="checkbox"/>
(e) Finished driveway levels at 1.0m intervals down the centre line of the drive and manoeuvring area (new driveways only). Driveway not to exceed a gradient of 1 in 5 (20%).	<input type="checkbox"/>	<input type="checkbox"/>
(f) Location and number of vehicle parking spaces, both existing and/or proposed. (Note that each carpark space must have dimensions of at least 2.5 x 5.0m and slope not exceeding 1 in 16 (6.25%)).	<input type="checkbox"/>	<input type="checkbox"/>
(g) Maximum height. Demonstrate compliance by rolling height or mean ground level method. Calculations may be required. (8 metre maximum height in Living Environment).	<input type="checkbox"/>	<input type="checkbox"/>
(h) Recession (height in relation to boundary) plane on elevations. Finished floor level of proposal and existing ground (spot) levels around building and on site boundaries. (If building is within 200mm of envelope controls, confirmation calculations to be provided and a registered Land Surveyor's certificate may be required).	<input type="checkbox"/>	<input type="checkbox"/>
(i) Location, species, height, dripline of all trees or areas of bush on site and details of any tree or bush clearance required.	<input type="checkbox"/>	<input type="checkbox"/>
(j) Details (including volume in m ³ and plan area in m ²) of all fill and/or excavation outside the eavelines of the proposed building. Identify any fill to be removed off site.	<input type="checkbox"/>	<input type="checkbox"/>
(k) Details of materials and height of any proposed retaining walls.	<input type="checkbox"/>	<input type="checkbox"/>
(l) 'Outdoor Space' details.	<input type="checkbox"/>	<input type="checkbox"/>
(m) Dwelling erected adjacent to a 'High Noise Route' (an acoustic report might be required).	<input type="checkbox"/>	<input type="checkbox"/>
(n) Dwelling erected within the "55 dBA" noise contour shown on the Planning Maps (Whenuapai and Hobsonville Airbases). (An acoustic report might be required).	<input type="checkbox"/>	<input type="checkbox"/>

Resource Consent may be required for infringement of any of the above requirements. Further requirements may be applicable. Contact the Duty Planner on ph: 839-0400

3. Building Consent subject to Subdivision

If a current subdivision is in process, but the Section 224 Certificate has not been issued the building consent application may be processed, but may not be able to be released for commencement of work until Section 221 conditions have been identified and any S.221 requirements implemented e.g. geotechnical requirements, minimum floor levels, overland flow paths, legal access, engineering plans, etc (ask for detailed information sheet).

4. Section 35 Certificate

If your project cannot satisfy District Plan requirements, the Building Act 1991 requires the Council to issue a building consent subject to a Section 35 Certificate. This certificate may prevent construction work from commencing until requirements of the District Plan have been met.

Office use only - Customer Services Advisor

(a) Plans and information accepted.

Signature: _____ Advisor Code: _____ Date: _____

(b) The following requirements are to be incorporated before plans will be accepted for processing:

Item Numbers: _____

Signature: _____ Advisor Code: _____ Date: _____

(c) Additional requirements as in (b) submitted with plans.

Signature: _____ Advisor Code: _____ Date: _____

If you have any enquiries, about any part of the building consent process please contact our Customer Services line: 839 0400 or fax 836-8001 or our Counter Services Staff, Waitakere City Council, 6 Waipareira Avenue, Henderson.

Consent Services
Thank you for your time

Office use only

Cadastral reference: _____

(1) Existing Resource Consent? Yes/No (If yes order Planning File from basement for cross-check process with Building Consent Application)

(2) All required planning information provided

(3) Human Environment

(4) Natural Area

(5) Any Designation _____ N/A

(6) Any Heritage Item _____ N/A

(7) Any Natural Hazard _____ N/A Unknown

(8) Identified Hazardous/Contaminated Site _____ N/A Unknown

(9) Any Natural Landscape Element _____ N/A

(10) Road Hierarchy _____ N/A

(11) Natural Areas - Customer Field Advisor on-site check required?

(12) Natural Landscape Elements - Riparian Margins/Headland scarp or cliff. Resource Consent required?

(13) Ministry of Defence land use approval required?

(14) Human Environments

- Maximum height check
- Height to boundaries check
- Yards check
- Building coverage check
- Outdoor space check
- Carparking and maneuvering check

(15) Impact on waahi tapu?

(16) Archaeological Site?

Customer Services Advisor: _____ **Code:** _____ **Date:** _____

Checklist: Building/Plumbing & Drainage



Send to: The Chief Executive
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE CITY 1231

For more information:
Civic Centre, Waipareira Avenue,
Henderson
Telephone (09) 839 0400
Facsimile (09) 836 8001

Please refer to this checklist when preparing your application

1. Application Forms

[1.1] **Building Consent Application:**

An 'Application for Building Consent' form must be completed by the applicant and signed by the owner or authorised agent. All items on the application form are to be completed.

[1.2] **Application for Water Supply:**

For new buildings on a reticulated water supply an 'Application for Water Supply' form must be completed, signed and the appropriate fee paid. Unless otherwise approved by the Water Assets Engineer a separate water meter is required for each household unit, factory unit or shop. Where an alternative arrangement is agreed, evidence of that approval will need to be provided with your application.

[1.3] **Second-hand Buildings/Materials:**

Where it is proposed to relocate a second-hand building, or incorporate second-hand materials into a building an 'Inspection of Second-hand Buildings or Materials' form must be completed and signed by the owner or authorised agent and included (together with the specified fee) with your application for building consent.

Note: If the building/materials are located outside the Waitakere City boundary it will be necessary to obtain a report and photographs from a building consultant, clerk of works or the territorial authority (Council) controlling the area where the building/materials are located. This report and photographs must be submitted with your application for building consent. A resource consent may also be required.

Note: Second-hand solid fuel heaters will not be inspected by Council staff. An inspection should be carried out by a suitably qualified and approved installer.

[1.4] **Swimming Pools:**

A 'Registration of Swimming Pool for Compliance of Pool Fencing' form is to be completed and submitted with your application for building consent.

[1.5] **Temporary Accommodation:**

Where it is intended to live on the site in temporary accommodation while constructing a dwelling, it will be necessary to complete and sign an 'Application for Temporary Accommodation' form and submit this (together with the specified fee) with your application for building consent.

[1.6] **Amalgamation of Titles:**

Where a proposed building will cross the boundary between two adjoining lots, to ensure those lots remain held together it will be necessary for Council to prepare a 'Certificate Pursuant to Section 37 of the Building Act 1991' for signature by the Owner(s) and Council, and to arrange registration against the Certificate of Title to the property prior to the applicant uplifting any consent. The applicant is required to meet the costs involved.

[1.7] **Vehicle Crossing Application and Street Damage Deposit:**

Each property owner is required to construct a vehicle crossing from the edge of the road to the boundary as part of site development. This crossing must either comply with the Council's Code of Practice or be covered by an application for a non-standard vehicle crossing.

For construction on any property requiring building consent, a refundable Street Damage Deposit must be lodged with Council. (Bylaw No. 22).

A single application form covering the above items is to be fully completed.

For large developments a development bond may be applicable. The applicant must sign the bond agreement.

[1.8] **Application to Install a Wastewater Treatment System:**

Where a site is not served by a public sanitary sewer an 'Application for Consent to Install a Wastewater Treatment System' form must be completed by the owner. All items on the application form must be

2. Site and Drainage Plans

Two copies of site and drainage plans are required, drawn in ink, to a scale of 1:100 or 1:200. Rural sites may be drawn to a smaller scale provided a further partial site and drainage plan showing the proposed building area to a scale of 1:100 is submitted. Cross-lease sites must show the entire site.

- [2.1] Entire site to be shown with all boundary dimensions stated.
- [2.2] Any existing buildings on the property are to be shown and marked 'Existing' and designated e.g. Existing Shed, Existing House.
- [2.3] All proposed building work to be shown and dimensioned from boundaries and adjacent buildings and marked 'Proposed' or hatched or highlighted in colour to clearly distinguish the proposed building work from existing and designated e.g. Proposed Garage, Proposed Deck.
- [2.4] Position of wastewater and stormwater sewer to be shown including manholes and drainage connections. If discharging stormwater to watercourse indicate position of watercourse on plan.
- [2.5] Layout of existing and proposed wastewater and stormwater drainage to be shown. Where applicable position of septic tank and effluent disposal trenches; cesspits in driveways/parking areas; and retaining wall relief drains and silt traps to be shown.
- [2.6] Where effluent disposal is by means of a septic tank and the proposed work involves the addition of bedroom space or additional sanitary fittings a report from a registered engineer with competence in public health engineering must be submitted demonstrating that the existing system is capable of receiving the additional effluent that will result.
- [2.7] Details of land contours. The slope of your property both lengthways and across needs to be shown on the site plan. This can be done by:
Either Contourlines at 1.0 m increments;
Or Spot levels at building corners, site corners and on the site boundaries opposite the building corners. Floor level/s to be stated in relation to the levels shown.
- [2.8] Watercare Services Limited sewers and water mains: any building proposed within 10 metres of any Watercare sewer or water main requires approval from Watercare Services Limited. This approval will need to be included with your application for building consent.
- [2.9] Layout to be shown of vehicle crossing in relation to roadway showing a minimum of 50 metre length of road in each direction.
- [2.10] Layout to be shown of existing and proposed tanks, lines, and structures used for the manufacture, storage, use or disposal of hazardous substances.

3. Drawings and Specifications

Versatile Garage

Two copies of working drawings and specifications are required. All dimensions to be metric. Drawings to be drawn in ink to a scale of 1:100 or 1:50. **Note:** In addition to the two copies of the working drawings a third copy of the floor plan must be provided.

- [3.1] Sub-floor plan showing size and spacing of all sub-floor members including position of braces. Sub-floor bracing calculations to be provided.
- [3.2] Floor plan showing room layout and designation. For additions/alterations the whole floor plan to be shown as well as the proposed work. Details of wall bracing to be shown on floor plan and wall bracing calculations provided. Floor plan to indicate position of smoke detectors as required by NZ Building Code F7.
- [3.3] Provide elevations of all external walls of proposed work. For additions/alterations the whole wall to be shown. Location of wall braces in external walls to be shown on elevations.
- [3.4] Roof plan showing size and spacing of all roof members. Roof bracing to be shown.
- [3.5] Cross-section/s required detailing all aspects of construction. More than one cross-section may be required to fully demonstrate all details. Deck construction, handrails and barrier infill details to be included.
- [3.6] Stairs to be detailed to demonstrate compliance with the NZ Building Code including stair layout, pitch, rise, and tread size, handrail/baluster details and fixing, and, where applicable, slip resistant features.
- [3.7] Specifications to be provided. For small projects the specification may be detailed on the plans.
- [3.8] Plumbing layout: For all commercial/industrial buildings in excess of one storey with plumbing fittings on the upper floor a schematic plumbing layout to be provided.

3. Drawings and Specifications continued

- [3.9] Buildings over or within 1.0 metre either side of Council's sewers. Details to be provided of sub-floor construction to bridge sewer and foundation founding depths. Invert level of sewer to be indicated on the detail. Specific engineering design to be provided for concrete foundations, masonry foundation walls, concrete floors situated in the area of uncompacted fill of the sewer trench, or timber sub-floor members outside the scope of NZ Standard 3604.
Note: Approval to build over Councils' drains is given by EcoWater and is not guaranteed.
- [3.10] Details of any areas used for the manufacture, storage, use or disposal of hazardous substances which have not been included in Section 2.10.
- [3.11] Details of flashings for window and door openings, intersection of wall and roof surfaces, penetrations of wall and roof claddings.

4. Additional Requirements

To be provided (in duplicate) where applicable to your project.

[4.1] **Specific Engineering Design:**

Any building or part of a building that is outside the scope of the Acceptable Solutions to the NZ Building Code or the associated non-design Codes of Practice will require specific design from a competent designer. All items covered by the calculations to be incorporated into the working drawings. If offered by the designer, Council may accept a Producer Statement, together with the supporting design calculations.

[4.2] **Stability Sensitive Areas:**

Applications for building consents on sites listed in Council's register as requiring geotechnical investigation to be accompanied by a geotechnical assessment/report prepared by a registered engineer experienced in geomechanics.

[4.3] **Swimming Pools:**

In addition to site plan and construction drawings, design calculations from a registered engineer (or written evidence of a blanket approval) to be provided. Details of pool fencing to be shown on drawings demonstrating compliance with the NZ Building Code and the Fencing of Swimming Pools Act 1987.

[4.4] **Fire Resistance Ratings and Fire Safety Features:**

Where a building or part of a building is required by the NZ Building Code to have fire resistance ratings and/or fire safety features these features and the method of achieving the required ratings to be detailed on the drawings and accompanied by a resume from the designer of how the ratings/features were determined from the NZ Building Code or a report provided from a Fire Engineer.

[4.5] **Warrant of Fitness:**

Please advise whether a current Warrant of Fitness exists on the premises. Yes / No (Delete one)
If yes please enter the reference number: _____

[4.6] Please advise if proposed conversion/addition for flats or granny flat are to be used for rental purposes or the use of a family member.

[4.7] **Building on Council Reserves:**

Before any building can be erected on a Council reserve it is necessary for your proposal to be considered by Council's parks staff and the appropriate Community Board. Once your project has been approved from a parks/community board perspective you will then be able to apply for a building consent. A copy of the letter of approval from the Service Manager - Parks must be included with your building consent application.

[4.8] **Building on Council Road Reserve:**

Before any structure (e.g. garage, car deck, retaining wall) can be erected on a road reserve it is necessary for your proposal to be considered by Council's Transport Assets staff. If your project receives approval in principle you may then make application for Resource and/or Building Consent. A copy of the letter of approval from the Service Manager - Transport Assets must be included with your consent application. An 'Application to Erect a Structure on or use of Dedicated Road' form is available at our Counter Services.

[4.9] **Building Compliance Schedules:**

The Compliance Schedule Checklist may need to be completed. Please discuss this with our counter staff.

[4.10] **Sale and Purchase Agreement:**

If you are purchasing a property and are not yet the legal owner it will be necessary to provide a copy of your sale and purchase agreement with your application for building consent.

5. Subdivision Requirements

Where there is or **may be** an application for subdivision, please note:

- [5.1] Separate wastewater and stormwater systems will be required for each future lot to the point of connection to the public system e.g. manhole, dry chamber on public connection, watercourse.
- [5.2] Any existing discharge points (e.g. downpipes) will have to be connected to a Council approved system. This includes the existing house on a section that is being or will be subdivided into two lots.
- [5.3] Any shared driveway, including the vehicle crossing, must be constructed to Council's Code of Practice standards (brochure SD 3.7 available on request).
- [5.4] If there is an overland flowpath (often a low-lying area on the section), this issue must be resolved by EcoWater. A catchment analysis may be required.
- [5.5] Where building work is proposed on land that is in the process of being subdivided, an application for building consent will not be accepted for processing until the certificate required under Section 224 of the Resource Management Act 1991 has been obtained by the subdivider.

Note: If a subdivision has progressed to the point where the surveyor can provide a certificate to Council that all the geotechnical requirements including requirements arising from the Earthworks Completion Report, roading and traffic requirements and EcoWater conditions of subdivision are known and the solutions have been incorporated into the building consent application documentation, Council may, at its discretion, accept such application for processing prior to the issue of the certificate under Section 224 of the Resource Management Act 1991.

Where an application for building consent relates to 'in-fill housing' on an existing site being subdivided into 2 or 3 lots the application may be received at any stage of the subdivision process.

General Note

1. Vehicle Crossing Application and Street Damage Deposit / Inspection / Fees

If a vehicle crossing is to be built an application form must be completed.

A Street Damage Deposit will be required on all applications with a value of work of \$5000 (inc GST) or more.

2. Electricity Transmission Lines and Towers

If there are high-tension electricity transmission lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property the applicant must ensure that the proposed building complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances.

It is the responsibility of the applicant to ensure compliance and if necessary to contact the line owner to determine whether the proposed building will comply prior to commencing construction.

Tick applicable boxes

(Please ask for assistance from our counter staff re: fire / smoke alarm installation below)

Solid Fuel Heaters

This application can only be used for a building consent to install a solid fuel heater, a wood/coal burning range, or a domestic 'chip' heater.

Supporting Documentation

With your application it will be necessary to provide

- two copies of the manufacturer's instructions
- floor plan showing the position of the proposed appliance
- approved Installers' Certificate (where applicable)

Smoke Detectors

The floor plan must indicate the position of all smoke detectors as required by the NZ Building Code F7.

Wet-back Installation (tick if applicable)

If it is intended to connect the appliance to the hot water system it will be necessary to show on the above plan the position of the hot water cylinder and the position of the pipes between the cylinder and the wet-back.

Solid Brick Screen / Feature walls

If solid brick screens or feature walls are proposed that exceed 1.2 m in height a report from a registered engineer proving that the floor will support the weight of the screen/wall is required. The report and any upgrading measures that may be necessary should accompany your application for building consent.

Inspection Fee

An inspection fee is not applicable if a producer statement is provided by an approved installer. If a wet-back is installed an additional inspection fee will be required for the plumbing inspection which will be carried out by the Council.

Installers' Certificate

Where the heater is to be installed by an approved installer an Installers' Certificate provided by the New Zealand Home Heating Association must be completed by the installer and submitted with the application for building consent.

Please tick to indicate you have provided the above

Minor Plumbing and Drainage

This application can only be used for a building consent to carry out plumbing and/or drainage work (including septic tank or drainage fields not associated with any other construction work involving a building consent), up to a work value of \$15,000.

Note: In the case of septic tanks or drainage fields the designing engineer is required to supervise the installation of the design and certify the same to Council on completion.

Supporting Documentation

With your application it will be necessary to provide two copies of a floor plan or plan of the room showing the position of the proposed appliance or site plan showing the proposed drainage.

Please tick to indicate you have provided the above

Fire / Smoke Alarm Installations (please discuss with counter staff)

Type: _____

Notes:

- * Geotech
- * Fine-rate walls within 1m of body

Office use only - Customer Services Advisor

(a) Plans and information accepted.

Signature: _____ Advisor Code: _____ Date: _____

*(b) The following requirements are to be incorporated before plans will be accepted for processing:

Item Numbers: 4-2, 4-4

Signature: [Signature] Advisor Code: TCC Date: 25-5-04

(c) Additional requirements as in (b) submitted with plans.

Signature: [Signature] Advisor Code: TCC Date: 2nd June 04

*** This checklist must be returned when re-submitting your application for building consent**

If you have any enquiries about any part of the building consent process please contact our Customer Services line: 839-0400 or fax 836-8001 or our Counter Services Staff, Waitakere City Council, 6 Waipareira Avenue, Henderson.

UX9 20040906.

Vehicle Crossing Application and Street Damage Deposit

Property owner's name: Karl Hitchens
Address: 31 Victory Rd, Laingholm
Phone number: 8168708

Applicants name: Versatile Buildings Ltd
Address: 18 Henderson Valley Road, Hsn
Phone: 8366200 Mobile: _____
Fax: 8366220

PROJECT LOCATION

Address: 31 Victory Road
Suburb: Laingholm
Lot No: 644 DP No: 32446

Project type. Circle one or more as required.

Vehicle Crossing **Building** Subdivision

VEHICLE CROSSING INFORMATION

Note. Every property is required to have a complying vehicle crossing. Please answer every question.

A vehicle crossing is / is not in place. Crossing is Council certified. Yes / No / Unknown.

The road is: Kerbed & channelled Unkerbed

Property: Meets the road boundary Is on aunit access

I intend to build a vehicle crossing to the following grade:

Grade: Residential Light commercial Commercial

Note. Residential crossings serving 5 or more units, require a light commercial grade.

A vehicle crossing complying with Council standard will be in place at the completion of the work, as per conditions 2 & 3 below.

Resource consent/R & T application. (See condition 3 below.)

Has been made Has not been made

FEE & DEPOSIT DETAILS

STREET DAMAGE DEPOSIT* (tick as applicable)

Work Value	Deposit
Under \$5,000 inc GST	<input type="checkbox"/> Nil
\$5,001 - \$50,000 inc GST	<input checked="" type="checkbox"/> \$500
over \$50,001 inc GST	<input type="checkbox"/> \$1,000

*Deposit (refundable) covers work undertaken by Council eg extra inspections, reinstatement work.

STREET DAMAGE INSPECTION FEES (tick if required)

Preliminary street inspection required (optional) \$40.00 inc GST

(if not requested the applicant shall be deemed to have accepted that the road, footpath & berm are in good condition at commencement of works.)

VEHICLE CROSSING INSPECTIONS FEES (tick if required)

Boxing check / pre-seal inspection \$40.00 inc GST

(After boxing is completed, scoria compacted, cut off drains and reinforcing are in place or metal shaped and compacted for sealed crossings.)

FINAL INSPECTION (mandatory)

(A final inspection is required regardless of whether or not a deposit is lodged. Any additional re-inspections required at either the boxing or final inspection shall be at the applicants' cost.)

Final inspection \$40.00 inc GST

(After construction joints cut, topsoiling & street damage reinstated.)

Receipt No.: _____

TO BOOK ALL INSPECTIONS

Please phone 836 8000, extension 8308 or 8725 giving a minimum of one full working days notice. Bookings close at 3.00pm.

CONDITIONS. Please read carefully.

Note. Every property is required to have a complying vehicle crossing.

Under the Local Government Act and Council By-Law number 22 "Use of public roads" Council may grant permission for works to make use of the road reserve for site access subject to:-

- The lodging of a Street Damage Deposit and payment of the relevant inspection fees.
- The applicant obtaining a copy of Council's vehicle crossing standards appropriate to the road type and the extent of the work being done, and on completion of the work, each property involved being serviced by a vehicle crossing which extends from the road edge to the property boundary and has been either installed or upgraded to meet those standards, including requirements for visibility, drainage control, safety platform and surfacing. All crossings are to have the appropriate inspections.
- The obtaining of a Resource Consent or Roading and Traffic Approval as detailed in "Vehicle Crossings notes & specifications" for any crossing not complying with Council's "Code of Practice" and for those encroaching on a parking bay by more than 1 metre.
- All proposed excavations over 250mm having the depth and location of services confirmed by hand digging prior to excavation. Any repairs to services will be at the applicants' expense.
- The applicant taking all steps necessary to avoid damage to the street, footpath or berm and any such damage being reinstated to the satisfaction of Council.
- The frontage and footpath of each property being kept to a reasonable safety standard during the works. This may require the building of a temporary crossing.
- Apart from 8 below, unless a "Bond transfer" form has been filled in, Council will only make refunds in the name of the payer recorded on the receipt. Transfer form attached. (Unmarked = "no")
- In the event of the property changing ownership before the above works are completed, Council may refund all deposits to the current owner at the time of final clearance.
- Any additional work undertaken by Council, eg extra inspections or safety work, may be deducted from the refundable Street Damage Deposit.

I HAVE READ THE ABOVE CONDITIONS AND THOSE OVERLEAF. I AGREE TO ABIDE BY THEM AND THOSE CONTAINED IN COUNCIL'S "CODE OF PRACTICE" AND "VEHICLE CROSSING NOTES AND SPECIFICATIONS".

Property Owner's Signature: _____

Date: 17/4/08

Street Damage and Vehicle Crossing Information Sheet

STREET DAMAGE DEPOSITS

If street damage becomes evident as a result of development works then Council shall give notice to the applicant to repair within a specified time. Should the repairs not be completed by the specified date, then Council may utilise the deposit held to arrange completion of the works.

Street damage shall include uncompleted crossings and damage to surfaces, structures, underground services and trees within the road reserve boundaries. It also includes the depositing of any mud or debris on the road carriageway.

If a pre-start inspection is not requested it is deemed that the road, berm and footpath are in good condition at the commencement of works. Alternatively the applicant may produce clear, photographic or video evidence of pre-start damage and present this with the application.

VEHICLE CROSSINGS

The "vehicle crossing" is that part of the driveway that is built on the road reserve i.e. between the edge of the carriageway and the property boundary. Under the Local Government Act, each property owner is required to supply a vehicle crossing as a part of developing the site and Council is required to set standards for these crossings. A copy of the appropriate specifications for use in constructing vehicle crossings is available with this application at no charge.

Sites Requiring Standard Crossings

Most vehicle crossings are fairly straight forward. Where a crossing is generally flat with good visibility, all that is required is the application overleaf and bookings for the boxing and final checks at the appropriate times.

Sites Requiring Non Standard Crossings

Safe and convenient access is a benefit to both the property occupant and the general public. For sites which rise or fall steeply from the road or have restricted visibility, the construction of a crossing can be a difficult and critical part of the site development. Where any of the following characteristics occur, a full Resource Consent Application is indicated:

- Grade is steeper than 1 in 5
- Traffic visibility is limited (Design table is available on request)
- Maximum vehicle crossing profile (see attached to specification) cannot be achieved
- A retaining wall is required as part of the vehicle crossing development
- Earthworks greater than 30 cubic metres are required (depending on natural area classification)
- Proposed layout includes crossing neighbours' frontage

If the proposed vehicle crossing has any of the above characteristics and a Resource Consent is not obtained, the matter may have to be remedied at a later date. This could involve considerable expense and may hinder later sale of the property. To keep delays to a minimum, it is advisable to make Resource Consent applications as early as possible. A copy of the Vehicle Crossing Application overleaf should be lodged with any Building Consent Application.

Construction Standards

Standard details are available for various types of construction. These include:

- Residential up to 4 units (kerbed road)*
- Residential (unkerbed roads)
- Light commercial (over 4 residential units, schools, halls, churches, public buildings)*
- Heavy commercial

**A supplementary design for high speed/volume roads is included with the specifications. Please ensure that you receive a copy of the specifications relevant to your site and usage.*



Waitakere City Council

Te Taiaro o Waitakere

10/11/2004

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

KARL GARRY HITCHENS
C/- COLIN BURTON
VERSATILE BUILDINGS LTD
18 HENDERSON VALLEY RD
HENDERSON
WAITAKERE CITY

Dear Sir/Madam

RE : BUILDING CONSENT APPLICATION - ABA 20041782
ADDRESS : 31 VICTORY RD LAINGHOLM

Thank you for your Building consent application lodged with Council on the 02/06/2004. This consent is now ready to be issued.

Payment of the additional fees and invoice(s) listed below and the collection of your Building consent application consent are required within 14 days of this letter. If payment is made by cheque(s) to a value of more than \$3,000.00, there will be a five working day clearance period before the consent is issued.

The following invoice(s) for processing the application is/are outstanding (GST invoice(s) enclosed):

Invoice Number	Outstanding Amount
954722	\$420.25


Our counter staff will produce an additional invoice when you collect your Building consent as per the following fee schedule :

Inspection Fee	\$250.00
Code Compliance Certificate	\$47.00
Building Research Levy	\$29.00
Bldg Industry Authority Levy	\$18.85
St Dmge Deposit (Refundable)	\$500.00
Final Inspection	\$40.00

Total Outstanding Amount (Application processing plus Fees): \$1,305.10

Note that until payment is made and the consent picked up, no work is allowed to commence.

Yours faithfully


Tineke de Villiers
ACCOUNT MANAGER
(Copy sent to owner)

Consent Issued.	16/11/04
Receipt No.	BN 0450
Issued by:	TCG (GEMS CODE)

TAX INVOICE

Building Consent Fees

GST Registration No
52-211-247

HITCHENS, KARL GARRY
C/- COLIN BURTON
VERSATILE BUILDINGS LTD
18 HENDERSON VALLEY RD
HENDERSON
WAITAKERE CITY 1008

Date: 10/11/2004
Customer No: 736960

Invoice No: 954722

Application No: ABA 20041782

Owners Name: HITCHENS, KARL GARRY
Project Address: 31 VICTORY RD LAINGHOLM

Invoiced to Date: 365.00

Fee Code	Description	Amount
110	Section 35 Certificate	45.00
111	Design Check Fee	102.95
112	Amended Plan Fee	46.20
5	Drainage Engineers Fees	153.00
	Administration Fee	21.55
BFE	ABA Fire & Egress Fees	51.55

This notice is not a Building Consent. No earthworks or construction work may be carried out to prior to the issue of the Building Consent and any consent required under the Resource Management Act.

This account includes a total GST content of \$46.69

Total To Pay 420.25
Please Pay By 24/11/2004

or prior to uplift of consent whichever is the sooner.

PAYMENT FOR
BUILDING CONSENT

Remittance Advice:
Please detach and return with payment.

Invoice Date : 10/11/2004
Customer No : 736960
Name : HITCHENS, KARL GARRY
Application : ABA 20041782

Allocation Type : C
Customer Type : D
Ledger : BCON
Document Number : 954722
Total to Pay : \$ 420.25
Please Pay By : 24/11/2004

AMENDMENT

10/11/2004

KARL GARRY HITCHENS
31 VICTORY RD
LAINGHOLM
WAITAKERE CITY

Dear Sir/Madam

RE : BUILDING CONSENT APPLICATION - ABA 20041782
ADDRESS : 31 VICTORY RD LAINGHOLM

Thank you for your Building consent application lodged with Council on the 02/06/2004. This consent is now ready to be issued.

Payment of the additional fees and invoice(s) listed below and the collection of your Building consent application consent are required within 14 days of this letter. If payment is made by cheque(s) to a value of more than \$3,000.00, there will be a five working day clearance period before the consent is issued.

The following invoice(s) for processing the application is/are outstanding (GST invoice(s) enclosed):

Invoice Number	954722	Outstanding Amount	\$420.25
----------------	--------	--------------------	----------

Our counter staff will produce an additional invoice when you collect your Building consent as per the following fee schedule :

Inspection Fee	\$250.00
Code Compliance Certificate	\$47.00
Building Research Levy	\$29.00
Bldg Industry Authority Levy	\$18.85
St Dmge Deposit (Refundable)	\$500.00
Final Inspection	\$40.00

Total Outstanding Amount (Application processing plus Fees): \$1,305.10

Note that until payment is made and the consent picked up, no work is allowed to commence.

Yours faithfully


Tineke de Villiers
ACCOUNT MANAGER

(Copy for your interest - Original sent to authorised representative)

CODE COMPLIANCE CERTIFICATE NO: ABA 20041782

Section 43(3), Building Act 1991

ISSUED BY: WAITAKERE CITY COUNCIL

BUILDING CONSENT NO: ABA 20041782

COPY

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT	PROJECT LOCATION
<p>All <input checked="" type="checkbox"/></p> <p>Intended Use(s) in detail:</p> <p>Unknown</p> <p>Proposed Work:</p> <p>NEW COTTAGE</p> <p>Intended Life:</p> <p>Indefinite, but not less than 50 years</p>	<p>Name: HITCHENS, KARL GARRY</p> <p>Street Address: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007</p> <p>Mailing Address: C/- COLIN BURTON VERSATILE BUILDINGS LTD 18 HENDERSON VALLEY RD HENDERSON WAITAKERE CITY 1008</p>
	<p style="text-align: center;">LEGAL DESCRIPTION</p> <p>Property Number: 50144</p> <p>Valuation Roll No: 33800 03100</p> <p>Legal Description: LOT 644 DP 32446</p>

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above consent.
- This certificate is issued subject to the conditions specified in the attached ...page(s) headed "Scope and Conditions of Code Compliance Certificate No. ABA 20041782 (being this certificate)

Signed for and on behalf of the Council:

Name:

Position: Building/Plumbing and Drainage Surveyor

Date: 28/09/2005

Building Consents
Field Sheet for 20041782



Use Reverse for any conditions to be included with interim CCC, and incorrect owner/ address details

Property : 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY Issued: 16/11/2004

Location Descr : LOT 644 DP 32446

Legal Descr : LOT 644 DP 32446

Contact Person : HITCHENS, KARL GARRY

Contact Person 2 :

Mailing Address : C/- FIREPLACE SERVICES, 18 TARANUI PL, HENDERSON, WAITAKERE CITY

Description : Pim/BC - new sleepout

ENTERED

Date	Event ID	Description	Officer	Status
08/08/2005	19	Certificate Received PRODUCER STMT FOR FOOTINGS AND FLOOR REC'D - <i>Per Elevat Plan 9/May see Eval 15.8</i>	DONAGHY	Passed Inspection
10/08/2005	18	Final CCC P&D PL FORM REC'D	NICHOLLS	Passed Inspection
19/08/2005	20	FINAL CCC BUILDING AM Grant Ph:2500292 <i>see event 15</i>	BUILDING AREA 5,	Outstanding

① Builder to support Rear Elevation
Bottom plate overhang of foundation
This work to be carried out
by a Suitably qualified person
to An Engineers design. *Extend 50mm Below Bottom Plate*

Field Surveyors Response	
PFA S L E D	Last of This Type Of Insp
	L
	Int.
	N
	C
	V
	C
	C
	O
	I
	E
	R

Plumber
Drainlayer
Comments

Surveyors Name (PRINT)
GRAEME GARRETT

Date: 19-8-05

Signed: *[Signature]*

CCC Checklist		
As-Built Received N/A/Yes	Eng/SURV Cert. N/A/Yes	Resource Consent Conditions N/A/Yes
Cylinder Check N/A/Yes		Subdivision Conditions Yes/No

Building Consents
Field Sheet for 20041782



Use Reverse for any conditions to be included with Interim CCC, and incorrect owner/ address details

Property : **31 VICTORY RD, LAINGHOLM, WAITAKERE CITY** Issued: **16/11/2004**

Location Descr : LOT 644 DP 32446

Legal Descr : LOT 644 DP 32446

Contact Person : **HITCHENS, KARL GARRY**

Contact Person 2 :

Mailing Address : **C/- FIREPLACE SERVICES, 18 TARANUI PL, HENDERSON, WAITAKERE CITY**

Description : **Pim/BC - new sleepout**

Date	Event ID	Description	Officer	Status	Field Surveyors Response						
					P A S S E D	F A I L E D	I N V O L U N T	I N T E R	L E T T E R	Plumber Drainlayer Comments	
01/04/2005	7	Footing Early AM please the contact is Chris on 0274 983 867 Thanks INFILL ENCOUNTERED FOOTING DEEPENED TO APPROX 2 MTRS GEOTEC ENG TO CERTIFY SOIL D12 REINFORCING NEIGHBOURS LTR REQ'D RE FENCE AS BOUNDARY L.O.T.I.	DONAGHY	Inspected but not signed off							
07/04/2005	8	Bond Beam am, Chris ph:0274-983-867 LOT1 GARAGE BLOCKWORK OK SUBJECT TO STARTERS BEING LENGTHENED TO PROVIDE 500MM LAP INTO SLAB	FAHRENSOHN	Inspected but not signed off							
12/04/2005	9	Pre-Floor Bldg Concrete only AM please the contact is Chris on 0274 983 867 Thanks	DONAGHY	Passed Inspection							
19/05/2005	10	Pre-line Building PM Peter Thomas 0272 754 873	DONAGHY	Passed Inspection							
19/05/2005	11	Pre-line Plumbing PM Peter Thomas 0272 754 873 LOT1	NICHOLLS	Passed Inspection							
03/06/2005	12	Drainage Test early pm Chris Baker 0274743600	PLUMBING & DRAINAGE AREA 3	Cancelled							

Building Consents
Field Sheet for 20041782



Use Reverse for any conditions to be included with interim CCC, and incorrect owner/ address details

Property : 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY Issued: 16/11/2004
 Location Descr : LOT 644 DP 32446
 Legal Descr : LOT 644 DP 32446
 Contact Person : HITCHENS, KARL GARRY
 Contact Person 2 :
 Mailing Address : C/- FIREPLACE SERVICES, 18 TARANUI PL, HENDERSON, WAITAKERE CITY
 Description : Pim/BC - new sleepout
 Date Event ID Description Officer Status
 *** Canxd by Murray N, rebkd for 07/06/05 - TN 03/06/05 09:30 ***

07/06/2005 13 Drainage Test NICHOLLS Passed Inspection
 early pm Chris Baker 0274743600
 LOT1

23/06/2005 14 Certificate Received NICHOLLS Passed Inspection
 DL AND ABP REC'D L.O.T.I.

04/08/2005 15 Final CCC Building DONAGHY failed
 AM. Contact: Kelvin. Ph: 0275 868147
 ELECTRICAL CERTS REC'D 4/8/05
 ✓ SMOKE SETECTORS ✓ TOWER BOLT TO REAR DOOR 3/ CONFIRMATION RE OVERHANG ON S
 ✓ LAB (REAR ELEVATION) ✓ SEAL UNDER WINDOWS ✓ ENG CERT FOR FOOTING REQ'D N.L.O
 ✓ T.I.
 CLAD. 45-20
 23. See EVS 19

04/08/2005 16 Final CCC P&D NICHOLLS failed
 AM. Contact: Kelvin. Ph: 0275 868147
 PL FORM TO COME

04/08/2005 17 Final CCC Building NICHOLLS Cancelled
 PM THURS 04.08.2005 contact Kelvin 0275868147***CANCELLED**already booked.
 See evnts 15 and 16

Field Surveyors Response		Comments
P F A S S E D	Last of This Type Of Insp	
L E T T E R	Plumber	
	Drainlayer	

27/09/2005
16:53:11

Building Consents
Field Sheet for 20041782

✓
20/10/2005
Kelvin
868 147
0275



Waitakere City Council
Te Tatao o Waitakere

Use Reverse for any conditions to be included with interim CCC, and incorrect owner/ address details

Property : 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY Issued: 16/11/2004
Location Descr : LOT 644 DP 32446
Legal Descr : LOT 644 DP 32446
Contact Person : HITCHENS, KARL GARRY
Contact Person 2 :
Mailing Address : C/- FIREPLACE SERVICES, 18 TARANUI PL, HENDERSON, WAITAKERE CITY
Description : Pim/BC - new sleepout

Date	Event ID	Description	Officer	Status
01/04/2005	7	Footling Early AM please the contact is Chris on 0274 983 867 Thanks INFILL ENCOUNTERED FOOTING DEEPENED TO APPROX 2 MTRS GEOTEC ENG TO CERIFY SOIL D12 REINFORCING NEIGHBOURS LTR REQ'D RE FENCE AS BOUNDARY L.O.T.I.	DONAGHY	Inspected but not signed off

07/04/2005	8	Bond Beam am, Chris ph:0274-983-867 LOT1 GARAGE BLOCKWORK OK SUBJECT TO STARTERS BEING LENGTHENED TO PROVIDE 500MM LAP INTO SLAB	FAHRENSOHN	Inspected but not signed off
------------	---	--	------------	------------------------------

12/04/2005	9	Pre-Floor Bldg Concrete only AM please the contact is Chris on 0274 983 867 Thanks	DONAGHY	Passed Inspection
------------	---	---	---------	-------------------

19/05/2005	10	Pre-line Building PM Peter Thomas 0272 754 873	DONAGHY	Passed Inspection
------------	----	---	---------	-------------------

19/05/2005	11	Pre-line Plumbing PM Peter Thomas 0272 754 873 LOT1	NICHOLLS	Passed Inspection
------------	----	---	----------	-------------------

03/06/2005	12	Drainage Test early pm Chris Baker 0274743600	PLUMBING & DRAINAGE AREA 3	Cancelled
------------	----	--	----------------------------	-----------

Field Surveyors Response	
Plumber	Drainlayer
Last of This Type Of Insp	Int. C C C O I C
PL	LE
SA	TE
SE	TE
DE	ER
	Comments

ENTERED

Building Consents
Field Sheet for 20041782



Use Reverse for any conditions to be included with interim CCC, and incorrect owner/ address details

Property : 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY Issued: 16/11/2004
 Location Descr : LOT 644 DP 32446
 Legal Descr : LOT 644 DP 32446
 Contact Person : HITCHENS, KARL GARRY
 Contact Person 2 :
 Mailing Address : C/- FIREPLACE SERVICES, 18 TARANUI PL, HENDERSON, WAITAKERE CITY
 Description : Pim/BC - new sleepout

Date	Event ID	Description	Officer	Status	Field Surveyors Response
08/08/2005	19	Certificate Received PRODUCER STMT FOR FOOTINGS AND FLOOR RECD	DONAGHY	Passed Inspection	Plumber Drainlayer
10/08/2005	18	Final CCC P&D PL FORM REC'D	NICHOLLS	Passed Inspection	
19/08/2005	20	Final CCC Building AM Grant Ph:2500292 1. BUILDER TO SUPPORT REAR ELEVATION BOTTOM PLATE OVERHANG OF FOUNDATION THIS WORK. THIS WORK TO BE CARRIED OUT BY SUITABLY QUALIFIED PERSON TO AN ENGINEER'S DESIGN 2. EXTERIOR CLADDING TO EXTEND 50MM BELOW BOTTOM PLATE LETTER TO FOLLOW. N.I.O.T.I. LETTER TO FOLLOW	GARRETT	failed	
07/09/2005	21	Final CCC Building AM: Contact Kelvin 0275-868-147 EXTERIOR CLADDING TO EXTEND 50MM BELOW BOTTOM PLATE N.I.O.T.I. FAX RECD RE SPECS.	DONAGHY	failed	

RECEIVED
27/09/2005

Building Consents
Field Sheet for 20041782

27/09/2005
16:53:11




Waitakere City Council
Te Taiaro o Waitakere

Use Reverse for any conditions to be included with interim CCC, and incorrect owner/ address details

Property : 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY Issued: 16/11/2004
 Location Descr : LOT 644 DP 32446
 Legal Descr :
 Contact Person : HITCHENS, KARL GARRY
 Contact Person 2 :
 Mailing Address : C/- FIREPLACE SERVICES, 18 TARANUI PL, HENDERSON, WAITAKERE CITY
 Description : Pim/BC - new sleepout

Date	Event ID	Description	Officer	Status								
				CCC Checklist								
				<table border="1"> <tr> <td>As-Built Received N/A/Yes</td> <td>Eng/SURV Cert N/A/Yes</td> <td>Cylinder Check N/A/Yes</td> <td>Resource Consent Conditions N/A/Yes</td> </tr> <tr> <td colspan="3"></td> <td>Subdivision Conditions Yes/No</td> </tr> </table>	As-Built Received N/A/Yes	Eng/SURV Cert N/A/Yes	Cylinder Check N/A/Yes	Resource Consent Conditions N/A/Yes				Subdivision Conditions Yes/No
As-Built Received N/A/Yes	Eng/SURV Cert N/A/Yes	Cylinder Check N/A/Yes	Resource Consent Conditions N/A/Yes									
			Subdivision Conditions Yes/No									

Field Surveyors Response			
P L U M B E R	L A S T O F T H I S T Y P E O F I N S P E C T O R	I N T E R V I E W O F T H I S T Y P E O F I N S P E C T O R	Plumber Drainlayer Comments
Surveyors Name (PRINT)			
Date: _____			
Signed: 			

WCC RECORD OF INSPECTION - FINAL BUILDING INSPECTION (220)

ABA NUMBER:	2004/1782.			
ADDRESS:	31 VICTORY RD.			
DATE:	7/9/05.			
INSPECTOR:	T. SOWAGHY			
SIGNATURE:	<i>[Signature]</i>			
ITEMS TO BE INSPECTED:	P	F	N/A	COMMENTS:
Demolition:				
• Site				
• Services				
• Hoardings				
Roof:				
• Spouting / Down-pipes				
• Fixing (eg tiles nailed)				
• Flashings		✓		
Exterior:				
• Ground levels / clearances				
Swimming Pools / Spas:				
• Fencing				
Stairways:				
• Barriers				
• Landings				
• Handrails				
• Riser / tread size				
Ventilation:				
• Living spaces				
• Exhaust / Intake fans				
• Conservatories				
Insulation:				
• Ceilings				
Fire resistance ratings:				
• Firewalls				
• Fire collars				
• Fire dampers				
Windows / Doors:				
• Glazing				
• Window stays				
Access Routes:				
• Non slip				
• Dimensions				
Balconies:				
• Step				
• Drainage				
• Cladding				
• Handrails				
• Sloping top				
• Side fixing of handrail				
Smoke Alarms:				
• Residential installations				
Cont'd page 2...				

Recheck

FINAL BUILDING INSPECTION
(220)

Accessibility:

- Features
- Grab rails
- Toilet
- Door Hardware
- Signage

Wall Cladding:

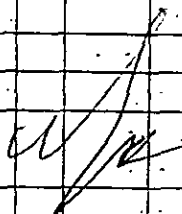
- Certification
- Installation

Non Compliant Items:

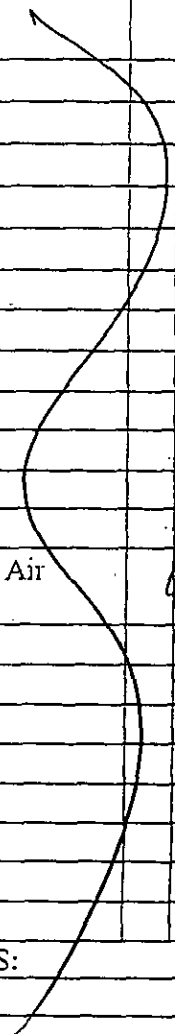
- Rectification

Producer Statements:

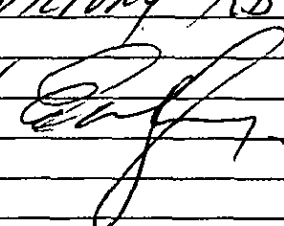
- Structural
- Heating, Ventilation & Air Conditioning
- Fire Alarm
- Fire Engineer
- Sprinkler System
- Emergency Lighting
- IQP Backflow
- Gas
- Fire Protection
- Lift



ADDITIONAL COMMENTS:



WCC RECORD OF INSPECTION - FINAL BUILDING INSPECTION (220)

ABA NUMBER:	2004/1782			
ADDRESS:	31 Victory Rd			
DATE:	27/9/05			
INSPECTOR:	T. DONAGHY			
SIGNATURE:				
ITEMS TO BE INSPECTED:	P	F	N/A	COMMENTS:
Demolition:	/			
• Site				
• Services				
• Hoardings	/			
Roof:				
• Spouting / Down-pipes				
• Fixing (eg tiles nailed)	/			
• Flashings				
Exterior:				
• Ground levels / clearances	/			
Swimming Pools / Spas:				
• Fencing				
Stairways:	/			
• Barriers				
• Landings				
• Handrails				
• Riser / tread size	/			
Ventilation:				
• Living spaces				
• Exhaust / Intake fans	/			
• Conservatories				
Insulation:	/			
• Ceilings				
Fire resistance ratings:	/			
• Firewalls				
• Fire collars				
• Fire dampers	/			
Windows / Doors:				
• Glazing				
• Window stays	/			
Access Routes:				
• Non slip				
• Dimensions	/			
Balconies:				
• Step				
• Drainage				
• Cladding				
• Handrails				
• Sloping top				
• Side fixing of handrail	/			
Smoke Alarms:				
• Residential installations				

WCC RECORD OF INSPECTION - FINAL BUILDING INSPECTION (220)

ABA NUMBER:	20041782			
ADDRESS:	31 VICTORY Rd, Cairnholm			
DATE:	19-8-05			
INSPECTOR:	GRAEME GARRETT			
SIGNATURE:	<i>[Signature]</i>			
ITEMS TO BE INSPECTED:	P	F	N/A	COMMENTS:
Demolition:				<i>[Diagonal line through table]</i>
• Site				
• Services				
• Hoardings				
Roof:				
• Spouting / Down-pipes				
• Fixing (eg tiles nailed)				
• Flashings				
Exterior:				
• Ground levels / clearances				
Swimming Pools / Spas:				
• Fencing				
Stairways:				
• Barriers				
• Landings				
• Handrails				
• Riser / tread size				
Ventilation:				
• Living spaces				
• Exhaust / Intake fans				
• Conservatories				
Insulation:				
• Ceilings				
Fire resistance ratings:				
• Firewalls				
• Fire collars				
• Fire dampers				
Windows / Doors:				
• Glazing Sealant	✓			OIL under windows. SHOUL BALTED AT TOP
• Window stays	✓			
Access Routes:				
• Non slip				
• Dimensions				
Balconies:				
• Step				
• Drainage				
• Cladding				
• Handrails				
• Sloping top				
• Side fixing of handrail				
Smoke Alarms:				
• Residential installations	✓			

CONTACT:

AREA	BED	P&D

SUBSTITUTE FIELD SHEET

LOCATION ADDRESS:

31 Victory Rd Carleton

BUILDING CONSENT NO:

04/1782

INSPECTION TYPE:

SITING FOOTING BOND BEAM GIBNAIL

TANKING PRE-FLOOR PRE-LINE FINAL

DRAIN TEST SEPTIC TANK

PASSED FAILED

221 ✓
2207

ENTERED

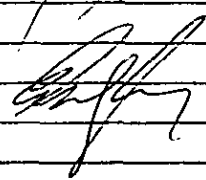
COMMENTS:

PL form received

Signature: Jedichols

Date: 10 AUG 2005

WCC RECORD OF INSPECTION - FINAL BUILDING INSPECTION (220)

ABA NUMBER:	2004/1782.			
ADDRESS:	31 VICTORY RD.			
DATE:	4/8/05.			
INSPECTOR:	T. DONNAN			
SIGNATURE:				
ITEMS TO BE INSPECTED:	P	F	N/A	COMMENTS:
Demolition:				
• Site			/	
• Services			/	
• Hoardings			/	
Roof:				
• Spouting / Down-pipes				
• Fixing (eg tiles nailed)			/	
• Flashings			/	
Exterior:				
• Ground levels / clearances	/			
Swimming Pools / Spas:				
• Fencing			/	
Stairways:				
• Barriers				
• Landings		/		
• Handrails				
• Riser / tread size				
Ventilation:				
• Living spaces	/			
• Exhaust / Intake fans			/	
• Conservatories			/	
Insulation:				
• Ceilings	/			
Fire resistance ratings:				
• Firewalls			/	
• Fire collars			/	
• Fire dampers			/	
Windows / Doors:				
• Glazing	/			
• Window stays			/	
Access Routes:				
• Non slip	/			
• Dimensions	/			
Balconies:				
• Step			/	
• Drainage			/	
• Cladding			/	
• Handrails			/	
• Sloping top			/	
• Side fixing of handrail			/	
Smoke Alarms:				
• Residential installations	/			
Cont'd page 2...				

FINAL BUILDING INSPECTION
(220)

Accessibility:

- Features
- Grab rails
- Toilet
- Door Hardware
- Signage

Wall Cladding:

- Certification
- Installation

Non Compliant Items:

- Rectification

Producer Statements:

- Structural
- Heating, Ventilation & Air Conditioning
- Fire Alarm
- Fire Engineer
- Sprinkler System
- Emergency Lighting
- IQP Backflow
- Gas
- Fire Protection
- Lift

ADDITIONAL COMMENTS:

Engineer Not for Footing

ABA NUMBER:	04/1782			
ADDRESS:	31 Victory Rd Coughlin			
DATE:	4.8.05			
INSPECTOR:	JOHN NICHOLLS			
PREFLOOR PLUMBING:	P	F	N/A	ADDITIONAL COMMENTS:
Waste pipes				
Pipework Tested				
F.W.G				
AS 3500 or				
PRELINE PLUMBING:				
Pressure Test				
Soil & Waste static test				
Flashings				
Floor Overflows				
Vents				
Deck Drainage				
FINAL PLUMBING:				
Backflow Prevention			✓	
Cistern / Dual Flush	✓			
Balcony / Deck Drainage			✓	
Earthquake restraints	✓			
Pipe Clips	✓			
Relief Valves	✓			
Roof gutters / overflow	✓			
Swimming pool backwash			✓	
Tempering Valve	✓			
Tapware	✓			
Sanitary fittings secured / sealed	✓			
Terminal vent	✓			
Waste Pipes	✓			
Water Meters / Supply pipe			✓	
Wetbacks for fireplaces	✓		✓	
Fire Collars			✓	
Fire Sprinklers			✓	
Downpipes / Spreaders	✓			
H.W Cylinder	✓			
DRAINAGE:				
Drain Test F.W / S.W				
Check Connections F.N / S.W				
Cesspits				
Depths / Boundary				
Gully Traps / Heights				
Detention Tanks / Soakage Trench				
Man Holes / Dry Chambers				
Drain - Size, Levels				
Eco Conditions				
Septic Tank				
Irrigation System				
FORMS:				
As built plan				
Ecowater Requirements				
Plumbing & Drainage form		✓		PC form
Water Saving Inventory				
Engineers Cert Septic Tank				
Gas Cert				

DRAINLAYER

ENTERED

15 JUN 2005

Building Consent No. 20041382

NOTIFICATION OF LICENSED TRADESMAN - DRAINLAYER

(To be completed and returned to Council 48 hours prior to any work commencing)

635958

OWNER

Surname: HITCHENS KARL

Mailing Address: 31 VICTORY ROAD - LAINSHOLM

PROJECT LOCATION

Address: SAME

LEGAL DESCRIPTION

Valuation Roll No: _____

Lot: _____ DP: _____

DRAINLAYER

Date: 13-6-05

Licensed Drainlayer (Name): CHRIS BAKER

Address: P.O. Box 95-209 SWANSON - WAITAKERE CITY

Phone Number: 027473600 License Number: 11608

Tradesman's Signature: [Signature]

Has been appointed to carry out the work described in the above referred building consent.

Description of Work: HOUSE DRAINS SEWER AND STORMWATER

Copy of Trademan's current license (tick) attached [] on file []

Chief Executive	
Corporate Services	
City Services	
Consistency Services	
ECO - WATER	
Strategic Group	
Consent Services	<input checked="" type="checkbox"/>
Field Services	

Inspection Required: All Drainage : before being backfilled

The Plumbers, Gasfitters and Drainlayers Board has pointed out that there appears to some confusion about the effect of the Building Act on who can legally do sanitary plumbing, gasfitting and drainlaying. In fact, the Building Act made only a minor amendment to the Plumbers, Gasfitters and Drainlayers Act 1976 and has not altered the situation that under the Act, subject to certain specific expectations:

Sanitary Plumbing and gasfitting must still be done by a craftsman plumber or gasfitter, as appropriate, or by a registered plumber or gasfitter under their directions; and drainlaying must be still be done by a registered drainlayer.

In this respect, it should be noted that the Form 3 in the Second Schedule of the Regulations mentions registered plumbers and registered gasfitters. The fact that it does not mentioned craftsmen plumbers and craftsmen gasfitters does not affect the requirements of the Plumbers, Gasfitters and Drainlayers Act 1976 as outlined above.

RECORD OF INSPECTION - PLUMBING AND DRAINAGE

ABA NUMBER:	04/1782			
ADDRESS:	31 Victoria Rd Campbell			
DATE:	7.6.05			
INSPECTOR:	JOHN NICHOLLS			
PREFLOOR PLUMBING:	P	F	N/A	ADDITIONAL COMMENTS:
Waste pipes				
Pipework Tested				
F.W.G				
AS 3500 or				
PRELINE PLUMBING:				
Pressure Test				
Soil & Waste static test				
Flashings				
Floor Overflows				
Vents				
Deck Drainage				
FINAL PLUMBING:				
Backflow Prevention				
Cistern / Dual Flush				
Balcony / Deck Drainage				
Earthquake restraints				
Pipe Clips				
Relief Valves				
Roof gutters / overflow				
Swimming pool backwash				
Tempering Valve				
Tapware				
Sanitary fittings secured / sealed				
Terminal vent				
Waste Pipes				
Water Meters / Supply pipe				
Wetbacks for fireplaces				
Fire Collars				
Fire Sprinklers				
Downpipes / Spreaders				
H.W Cylinder				
DRAINAGE:				
Drain Test (F.W / S.W)	✓			
Check Connections (F.N / S.W)	✓			
Cesspits			✓	
Depths / Boundary	✓			
Gully Traps / Heights	✓			
Detention Tanks / Soakage Trench	✓			
Man Holes / Dry Chambers			✓	
Drain - Size, Levels	✓			
Eco Conditions			✓	
Septic Tank			✓	
Irrigation System			✓	
FORMS:				
As built plan			✓	
Ecowater Requirements			✓	
Plumbing & Drainage form			✓	
Water Saving Inventory				
Engineers Cert Septic Tank				
Gas Cert				

WCC RECORD OF INSPECTION - PRELINE BUILDING (207)

ABA NUMBER:	2004/1732			
ADDRESS:	21 VICTORY RD.			
DATE:	19/5/05			
INSPECTOR:	T. SANAGHY			
SIGNATURE:	<i>[Signature]</i>			
ITEMS TO BE INSPECTED:	P	F	N/A	COMMENTS:
• Wind Zone L/M/H/VH/SD (Circle)				
• Seaspray Y/N (Circle)				
• Framing treatment	✓			
• DPC (timber to concrete/masonry)	✓			
SUBFLOOR:				
• Bed Plate / Bearer fixing to Foundations / Piles			✓	
• Timber sizing / Spacing / Span			✓	
• Blocking			✓	
• Timber Quality (Grade / Treatment)			✓	
• Bracing			✓	
• Insulation			✓	
• Ground Clearances			✓	
POLE PLATFORM:				
• Diaphragm System			✓	
• Cross bracing			✓	
• Brace bearer fixings			✓	
• Brace Tensioning System			✓	
• Wind exposure			✓	
• Insulation			✓	
• Under floor insulation protection			✓	
FRAMING:				
• Building Wrap	✓			
• Wall framing	✓			
• Fixings	✓			
• Wall Bracing	✓			
• Ceilings	✓			
• Roof framing	✓			
• Roof bracing	✓			
PRELINE:				
• Insulation	✓			
• External Window Joinery			✓	
- Building wrap turned into openings				
- Sill trays				
- Flashings				
- Facings				
• Fire Separations	✓			
• Moisture Content (Record %)	✓			
• Upper Floor Decks			✓	
- Timber Treatment				
- Impermeable Surfaces				
- Cladding Clearance				
- Balustrades/Handrails				

FIXINGS O.K. GRIP TO UNDERSIDE
% Roof

WCC RECORD OF INSPECTION - PRELINE BUILDING (207)

VENTILATION:

• General

• Showers

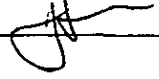
✓
✓
✓

ADDITIONAL COMMENTS:

RECORD OF INSPECTION - PLUMBING AND DRAINAGE

ABA NUMBER:	04/1782			
ADDRESS:	31 Victory Rd Caerghofn			
DATE:	19.5.09			
INSPECTOR:	JOHN NICHOLLS			
PREFLOOR PLUMBING:	P	F	N/A	ADDITIONAL COMMENTS:
Waste pipes				
Pipework Tested				
F.W.G				
AS 3500 dr				
PRELINE PLUMBING:				
Pressure Test	✓			
Soil & Waste static test			✓	
Flashings	✓			
Floor Overflows			✓	
Vents			✓	
Deck Drainage			✓	
FINAL PLUMBING:			✓	
Backflow Prevention				
Cistern / Dual Flush				
Balcony / Deck Drainage				
Earthquake restraints				
Pipe Clips				
Relief Valves				
Roof gutters / overflow				
Swimming pool backwash				
Tempering Valve				
Tapware				
Sanitary fittings secured / sealed				
Terminal vent				
Waste Pipes				
Water Meters / Supply pipe				
Wetbacks for fireplaces				
Fire Collars				
Fire Sprinklers				
Downpipes / Spreaders				
H.W Cylinder				
DRAINAGE:				
Drain Test F.W / S.W				
Check Connections F.N / S.W				
Cesspits				
Depths / Boundary				
Gully Traps / Heights				
Detention Tanks / Soakage Trench				
Man Holes / Dry Chambers				
Drain - Size, Levels				
Eco Conditions				
Septic Tank				
Irrigation System				
FORMS:				
As built plan				
Ecowater Requirements				
Plumbing & Drainage form				
Water Saving Inventory				
Engineers Cert Septic Tank				
Gas Cert				

WCC RECORD OF INSPECTION - BLOCKWORK (202)

ABA NUMBER:		04/1782		
ADDRESS:				
DATE:		7/4/05		
INSPECTOR:		J. Faherudin		
SIGNATURE:				
ITEMS TO BE INSPECTED:	P	F	N/A	COMMENTS:
SUBFLOOR (CONCRETE FLOOR)				
• Bond beam Reinforcing	✓			To be lengthened to provide 500mm lap into slab. (cc be checked @ slab insp)
• Starters Turned in & up	✓			
SUBFLOOR (WOODEN FLOOR)				
• Bond beam Reinforcing				
• Vertical Reinforcing				
• Ventilators				
• Holding down bolts/straps				
FULL HEIGHT BLOCKWORK				
• Bond beam reinforcement				
• Vertical/Horizontal reinforcement				
• Washouts				
• Lintels size/reinforcing				
• Reinforcing in sill B/Beam				
• B/Veneer/nib				
• Certificate - Engineers (A grade Masonry) - Registered Mason Minimum (B grade)				
RETAINING WALLS				
• Bond beam reinforcement				
• Vertical/Horizontal reinforcement				
ADDITIONAL COMMENTS:				
Blockie clearing out footy during inspection				

WCC RECORD OF INSPECTION – SITING & FOUNDATIONS (201)

ABA NUMBER:	2004/1982			
ADDRESS:	31 VICTORY RD.			
DATE:	1/24/05			
INSPECTOR:	T. DONAGHY			
SIGNATURE:	<i>[Signature]</i>			
ITEMS TO BE INSPECTED:	P	F	N/A	COMMENTS:
BOUNDARIES:				
• Pegs located & flagged				
• Fence with neighbours written agreement		✓		REQUIRED
• Registered Surveyors Cert				
SET OUT				
• Set Out Correct	✓			
• Siting requires Surveyors Cert (Planning Condition)			/	
FOUNDATIONS: (Please circle type)				
• <u>Strip</u>				
• Pile				
• Driven Pile				
• Timber Retaining				
• Block Retaining.				
• Depth / Width		/		ENGINEER TO VERIFY
• Bearing		/		" " "
• Reinforcement	/			
• Cover	/			
• Starters in place	/			
• Chairs in place	/			
ENGINEERS CERTIFICATION:				
• Engineers certificate (BC condition)				REQUIRED FOR WORK
ADDITIONAL COMMENTS:	INFILL ENCOUNTERED.			

11- 8-05:11:25

64 9 631 3359

1/ 5

ATTN: KEVIN X5



Soil & Flock Consultants
CONSULTING & GEOTECHNICAL ENGINEERS

Henderson
T 09-825 1740
F 09-825 1847
Info@soilandflock.co.nz
Level 1
307 Great North Road
PO Box 21-424
Henderson
Auckland

Albany
T 09-414 1653
F 09-414 5282
Info@soilandflock.co.nz
Unit 3/100 Bush Road
PO Box 301-056
Albany
Auckland

www.soilandflock.co.nz
A member of the Asia Pacific Group Ltd

08 August 2005
Our Ref: 03365

Team Manager/Building Consent
Waikare City Council
Private Bag 83 108
Henderson
WAITAKERE CITY

ENTERED

Dear Sir/Madam

**PRODUCER STATEMENT - CONSTRUCTION REVIEW
INSPECTION OF FOUNDATION EXCAVATIONS
31 VICTORY ROAD, LAINGHOLM - BUILDING CONSENT (NOTABA2004/1782)**

Introduction

We present herein the results of our observations, inspections and where appropriate, testing of the foundation excavations for the new "Versatile" garage at the above address.

This Producer Statement - Construction Review for the foundations forms part of the Building Consent requirement stipulated by Council and is to be submitted to Council before Issue of the Code Compliance Certificate.

Reference should be made to our report titled "Geotechnical Appraisal, Proposed New Sleepout, 31 Victory Road, Laingholm", dated 25 September 2003, under Ref. No. 03365 in which the design requirements for the foundations were provided.

[Handwritten signature] 2004/1782

11- 6-05:11:25 :

Our Ref: 03365

08 August 2005

Page No. 2

Observations and Inspections

Observations and inspections of the foundation excavations were carried out on 24 and 30 March 2005 and 01 April 2005 by engineering staff from this Practice.

The Building Contractor for the project was C F & D J O'Sullivan with excavations for foundations carried out under sub-contract by Spice Contractors Ltd using a 4.0 tonne hydraulic excavator.

The garage layout is shown on the attached plan supplied by Versatile Buildings. The Versatile Buildings plan has been adapted by us and is presented as a Site Plan, Drawing 03365 attached herein. The results of undrained shear strength testing carried out in the base of the foundation excavations are summarised on the attached Site Plan drawing.

At the time of our inspections the foundations comprised strip footings. The strip footings were embedded into stiff natural ground below a layer of non-engineered fill. The depths of the strip footings ranged between approximately 0.9m depth (adjacent to the existing house) to a maximum of approximately 2.0m depth (in the northern end of the building). The foundation excavations were embedded a minimum of 300mm into Alluvial Deposits.

Vane shear strengths measured in the Alluvial Deposits ranged between approximately 50kPa and 90kPa.

The Building Contractor was instructed to ensure that the strip footings, particularly in the northern end of the building, were dry prior to placement of concrete.

Conclusions

Based on the results of our site observations and in-situ strength testing of the foundation soils, we are satisfied that:

- The foundation excavations have been carried out in accordance with the recommendations and requirements provided in our geotechnical investigation report.
- The subsoil conditions exposed by the excavations are consistent with those encountered during our investigation.

Our Ref: 03365

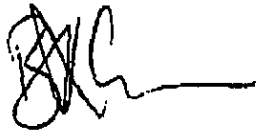
08 August 2005

Page No. 3

We trust that the above is satisfactory. If you have any queries or require further information please do not hesitate to contact the undersigned at your convenience.

Yours faithfully

SOIL & ROCK CONSULTANTS



Prepared by: Bruce Green
Geotechnical Engineer



Reviewed by: Damir Soric
Director, MIPENZ, CPEng (Geotechnical)

Attachments: Plan supplied by Versatile Buildings
Site Plan Drawing 03365

c.c. Mr & Mrs Hitchens
31 Victory Road
LAINGHOLM 1007

11- 8-05:11:25 :

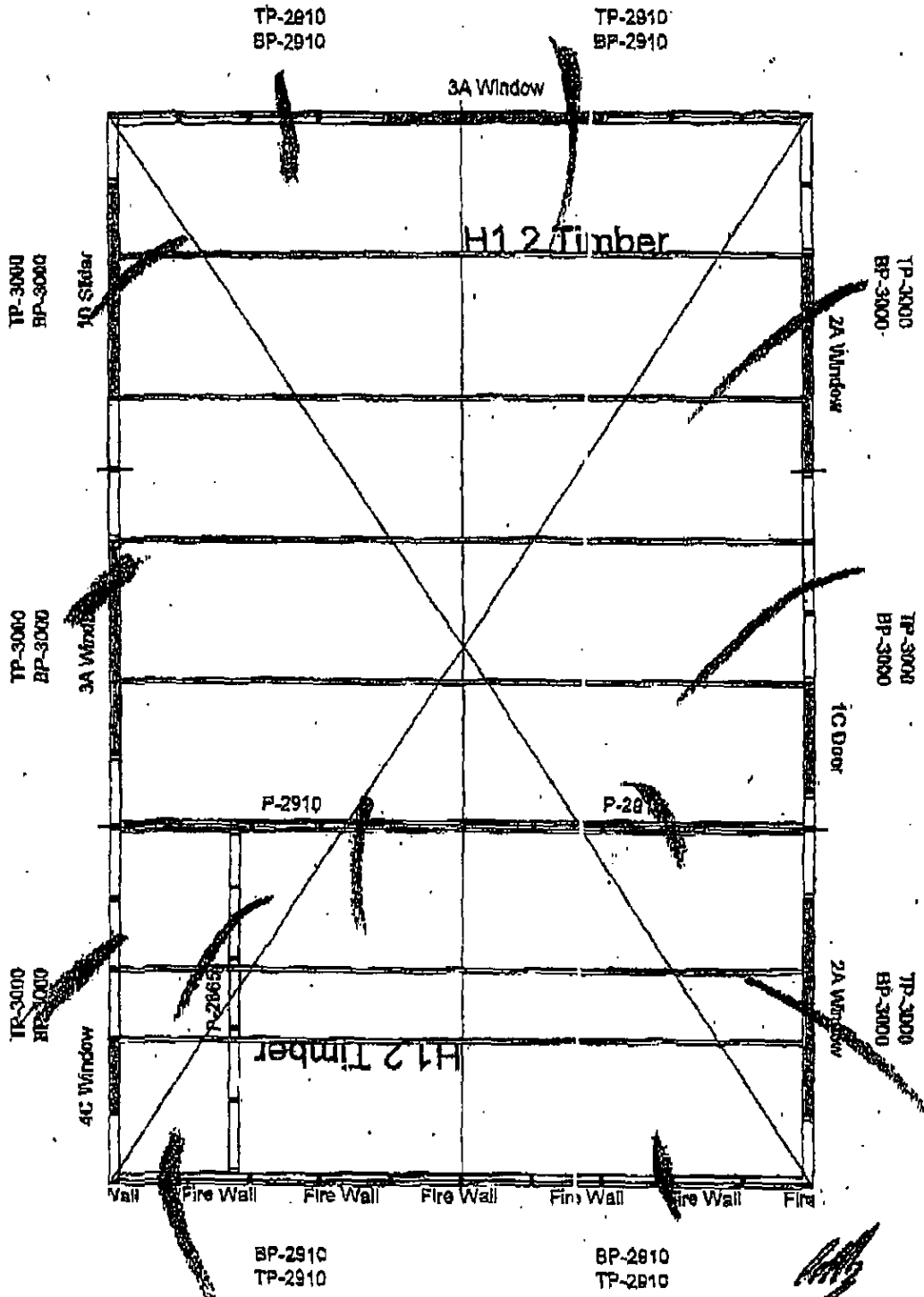
184 9 331 0359

4/ 5

NAME : HITCHINGS
BUTOR : VB Henderson

INVOICE NO. : 121462
PROD. DATE : 30/03/200

Width	: 9000	Custom Ends	: None
Depth	: 6000	Overhangs	: None
Clear Height	: 2400	Roof Pitch	: 15°
Cladding	: Superclad	Gable Clad	: Board & Batten
Wind Zone	: MEDIUM	Type	: Erected
		Base Colour	: Smooth Cream
		Trim Colour	: Perm Green



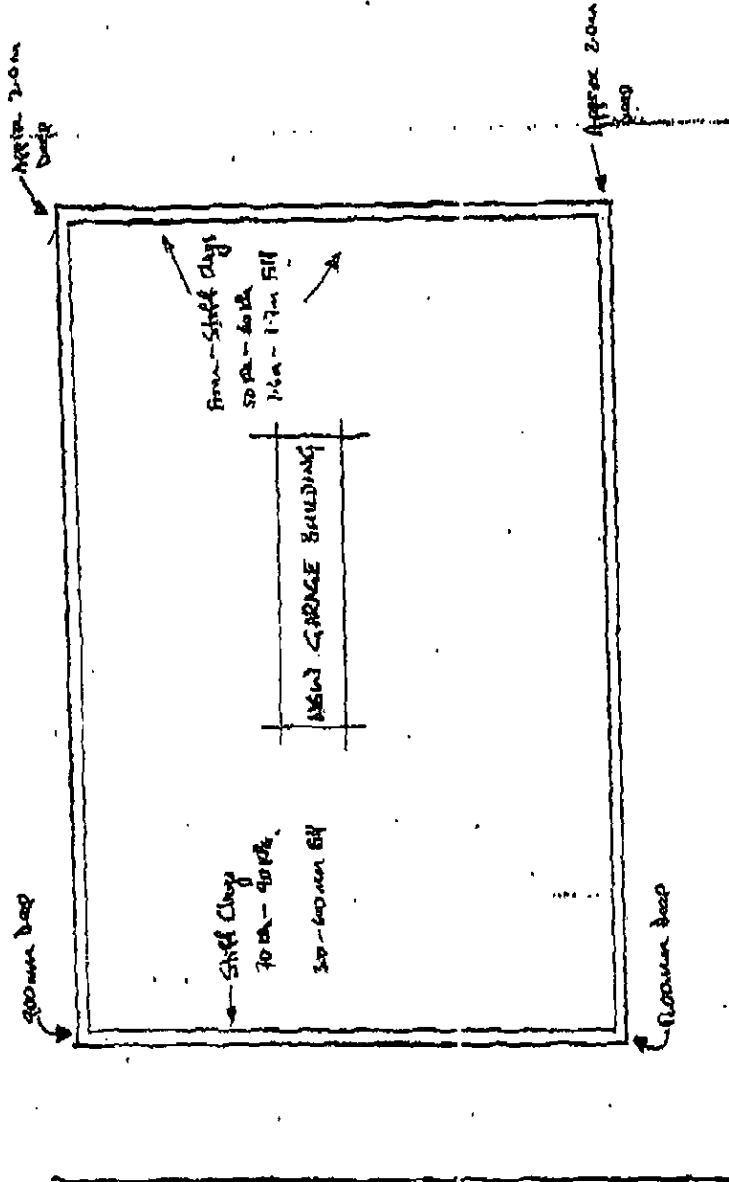
FRONT

North

- Depths given are to base of strip casting
- All footing minimum 300mm into strip Allowal deposit

NOTES:

1. Location of column supports only
2. Location of all footings to be used for construction
3. Original site level
4. Site plan prepared in accordance with Versatile Building



DATE	DESCRIPTION

SITE PLAN

ADDRESS: 31 VICTORY ROAD
SUBURB: LANGHOLM

SOIL & ROCK CONSULTANTS
Geotechnical Engineering



KELVIN PILKINGTON
SALARIED BUILDER
0275 86 81 47
FAX: 278 55 33

Fax

To: TED **From:** KELVIN

Fax: **Pages:** 1 of 7

Phone:

Re: C.O.C HITCHENS **CC:**

Urgent
 For Review
 Please Comment
 Please Reply

TED:

PLEASE FIND A COPY OF PRODUCER
 STATEMENT FOR FOOTINGS AND
 FLOOR. Re - HITCHENS
 31 VICTORY RD
 LANGHOLM.

10/08/2005 17:00 983680 GREG CHAPMAN BUILDERS PU

098368074

No. 7245 PA. 103/03

Waitakere City Council
Te Taihā o Waitākere

DRAINLAYER

2004/1955
Building Consent No.

NOTIFICATION OF LICENSED TRADESMAN - DRAINLAYER

(To be completed and returned to Council 48 hours prior to any work commencing)

OWNER

Surname: B. Kendall + Co Ltd.
Mailing Address: 182 McLeod Rd, HATS

PROJECT LOCATION

Address: 182 McLeod Road TE ATAHU

LEGAL DESCRIPTION

Valuation Roll No.
Lot: H3 DP: 96619

M. NORRIS
10-8-05

DRAINLAYER

Date: 8/08/05
Licensed Drainlayer (Name): Rob Bell
Address: P.O. Box 69 008 CUMINGIA
Phone Number: 021 475 887 License Number: 17340
Tradesman's Signature: [Signature]

Has been appointed to carry out the work described in the above referred building consent.

Description of Work: Drains to abattoirs + additions to same

Copy of Tradesman's current license (tick) attached on file

Inspection Required: All Drains : before being backfilled

The Plumbers, Gasfitters and Drainlayers Board has pointed out that there appears to some confusion about the effect of the Building Act on who can legally do sanitary plumbing, gasfitting and drainlaying. In fact, the Building Act made only a minor amendment to the Plumbers, Gasfitters and Drainlayers Act 1976 and has not altered the situation that under the Act, subject to certain specific expectations:

Sanitary Plumbing and gasfitting must still be done by a craftsman plumber or gasfitter, as appropriate, or by a registered plumber or gasfitter under their directions; and drainlaying must be still be done by a registered drainlayer.

In this respect, it should be noted that the Form 3 in the Second Schedule of the Regulations mentions registered plumbers and registered gasfitters. The fact that it does not mention craftsmen plumbers and craftsmen gasfitters does not affect the requirements of the Plumbers, Gasfitters and Drainlayers Act 1976 as outlined above.



Waitakere City Council
Te Tūhono o Waitākere

PLUMBER

Building Consent No: 2004/1782

NOTIFICATION OF LICENSED TRADESMAN - PLUMBER

(To be completed and returned to Council 48 hours prior to any work commencing)

OWNER

Surname: Hitchens
Mailing Address: 31 VICTORY RD

PROJECT LOCATION

Address: 31 VICTORY RD

LEGAL DESCRIPTION

Valuation Roll No: 338 0003100
Lot: 644 DP: 32446

PLUMBER

Date: 5-08-05
Licensed Plumber (Name): Kath Harris
Address: PO Box 76191 Manukau City
Phone Number: 021 992673 License Number: 6665
Tradesman's Signature: [Signature]

Has been appointed to carry out the work described in the above referred building consent.

Description of Work: Plumbing to minor stepout.

Copy of Tradesman's current license (tick) attached: on file

Inspection Required: All Drainage : before being backfilled

The Plumbers, Gasfitters and Drainlayers Board has pointed out that there appears to some confusion about the effect of the Building Act on who can legally do sanitary plumbing, gasfitting and drainlaying. In fact, the Building Act made only a minor amendment to the Plumbers, Gasfitters and Drainlayers Act 1976 and has not altered the situation that under the Act, subject to certain specific exceptions:

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City Services/Consent Services/Admin/Management

Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).
To be completed whether or not an inspection is required.

20041787 EVWB 551

No. **1874463**

No. of attachments

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer Phone:

Address of installation

Postal address of customer (if not as above)

WORK DETAILS

No. of lighting outlets No. of ranges

No. of socket outlets No. of water heaters

Was any installation work carried out by the homeowner? Yes No

Please tick (✓) as appropriate where work includes:

Mains Main earthing system

Switchboard Electric lines

Description Wire new sleepout. All
Light & power point and
Hot water
homeowner run main from
House to sleep out.

It is recommended that test results be recorded here:

Visual Examination

Earth Continuity

Bonding

Polarity

Insulation Resistance _____ Mohm

Other _____

2004/1752 4/8/05
[Signature]

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name

Registration no.

Company

Signature

Date

Contact Ph No.

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name

Registration no.

Company

Signature

Date

Contact Ph No.

INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector

New mains Switchboard Earthing system Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name

Registration no.

Signature

Date

Contact Ph No.

This form is approved by the Electrical Workers Registration Board (PO Box 10-156, Wellington. Freephone 0800 66-1000) for the purposes of the Electricity Regulations 1997.



Safety • Competency

Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).
To be completed whether or not an inspection is required.

No. **1838345**

No. of attachments

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer **Karl Hitchens**

Phone: **816 8708**

Address of installation **31 Victory Rd, Laingholm**

Postal address of customer (if not as above)

WORK DETAILS

No. of lighting outlets

No. of ranges

No. of socket outlets

No. of water heaters

Was any installation work carried out by the homeowner?

Yes No

Please tick (✓) as appropriate where work includes:

Mains

Main earthing system

Switchboard

Electric lines

Description **Run sub mains to sleepout + connect N+E in swbd**

It is recommended that test results be recorded here:

Visual Examination

Earth Continuity

Bonding

Polarity

Insulation Resistance **2000+** Mohm

Other

2004/1752 4/8/05
[Signature]

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name **JEFF PARKS**

Registration no. **E 18678**

Company **POWERED ELECTRICAL**

Signature *[Signature]*

Date **24/5/2005**

Contact Ph No. **021 318 292**

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name

Registration no.

Company

Signature

Date

Contact Ph No.

INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector

New mains

Switchboard

Earthing system

Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name

Registration no.

Signature

Date

Contact Ph No.

This form is approved by the Electrical Workers Registration Board (PO Box 10-156, Wellington. Freephone 0800 66-1000) for the purposes of the Electricity Regulations 1997.

DEANE CONSULTANCY LTD

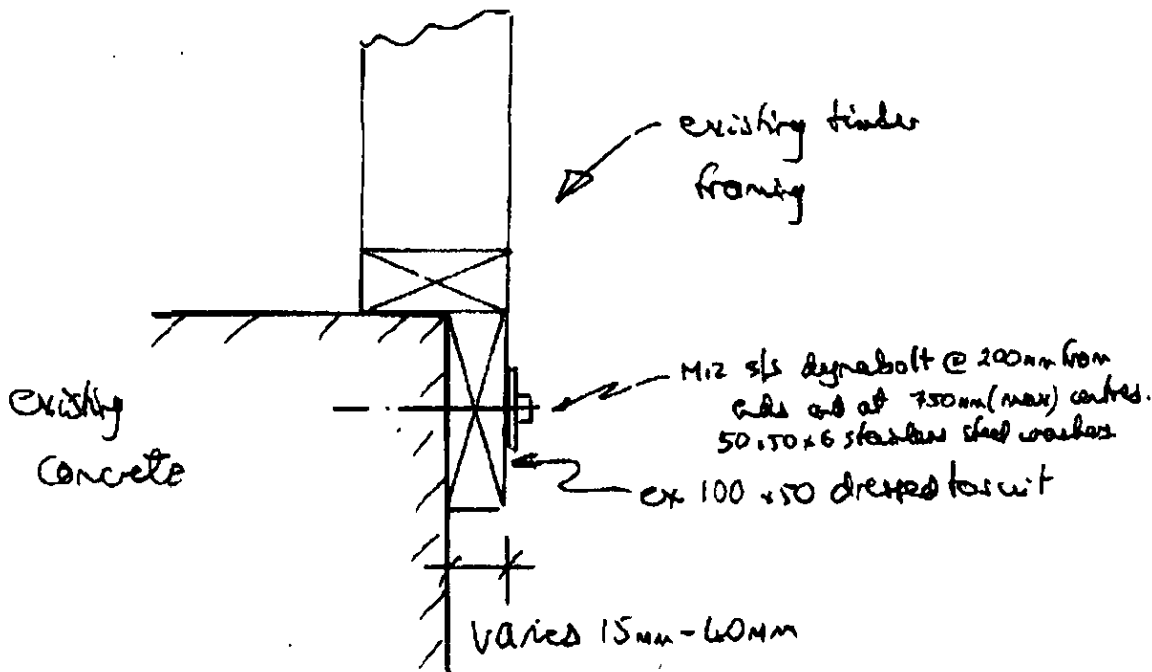
PO Box 339, Kumeu, Auckland, 1250.

Ph 412-8552 Fax 412-8553 Mobile 027 252 6121 deanecl@xtra.co.nz

05/3/0

Hitchings, 31 Victory Rd, Laingholm. DETAIL WHERE BOTTOM PLATE OVERHANGS FOOTING

I recommend that a piece of 100 by 50 H4 is dressed and fixed to the edge of the concrete footing in accordance with the detail below. Once the overhang reduces to 15mm, the timber is not required. The timber should be in a dry moisture condition, and should be fixed hard up to the underside of the top plate. Dressed edges of the timber are to be painted with timber preservative.



P A Deane,
2 Sept, 2005.

2004/1782 12/9/05

24th August 2005

K HITCHENS
C/- FIREPLACE SERVICES
18 TARANUI PLACE
HENDERSON
WAITAKERE CITY 1008

Dear Sir/Madam

BUILDING NO: 20041782 (NEW SLEEPOUT)
LOT 644 DP 32446
STREET ADDRESS: 31 VICTORY ROAD, LAINGHOLM


In connection with the above building, we have to advise that a recent inspection of the above property has revealed the following points require attention before the file can be finalised.

1. Builder to support rear elevation bottom plate overhang of foundation. This work is to be carried out by a suitable, qualified person to an Engineers design.
2. Exterior cladding to extend 50mm below bottom plate.

Once the above work has been completed you are requested to contact Councils Call Centre, telephone 839 0400 on any weekday between 8:00 a.m. and 5:00 p.m. to arrange a further inspection.

Should you wish to discuss this matter, please contact the Building Surveyor, Mr Graeme Garrett for Items 1-2 at Council's Building Control Section between 8.30 a.m. - 9.30 a.m. and 3.30 p.m. to 4.30 p.m. on Monday to Friday.

Yours faithfully


Graeme Garrett
BUILDING SURVEYOR



RFS Events			
Group Code	ABA	Application Building Act	
RFS Number	20041782		
Event Id	20	(Blank to Create New Event)	Added 17/ 8/2005 15:32
Event Code	220	Final CCC Building	Days Hours
Planned Date	19/ 8/2005	Time 08:00	Officer BAA BUILDING AREA 5
Actual Date	19/ 8/2005	Time	Officer SBB GARRETT, GRAENE
Logged by	RR2	ROBERTS, NEIL	
Status	F	failed	
AM Grant Ph: 2500292			
1. BUILDER TO SUPPORT REAR ELEVATION BOTTOM PLATE OVERHANG OF FOUNDATION			
THIS WORK. THIS WORK TO BE CARRIED OUT BY SUITABLY QUALIFIED PERSON TO AN			
ENGINEER'S DESIGN 2. EXTERIOR CLADDING TO EXTEND 50MM BELOW BOTTOM PLATE			
LETTER TO FOLLOW. N.I.O.T.I.			
Stage Number	2	Inspections & CCC	Action Code: 220 Final Building
Complete	<input type="checkbox"/>	(S/A)	
Send E-mail		Maintain Monitor	Standard Letters
Existing Events record may be CHANGED.			

Not last of this type of inspect

23/8/05

Called Karl Hitchens + advise of issues as per above - versatile listed mailing address - should contact versatile re outstanding issues.

Kyla Bakers
Planner.

RMA 20041124 -

ABA 20041782 -

Karl Hitchens

631 0366

021-971-396.

final inspection issues.

-cant get answers from

versatile - follow up + call back please

24th August 2005

K HITCHENS
C/- FIREPLACE SERVICES
18 TARANUI PLACE
HENDERSON
WAITAKERE CITY 1008

Dear Sir/Madam

BUILDING NO: 20041782 (NEW SLEEPOUT)
LOT 644 DP 32446
STREET ADDRESS: 31 VICTORY ROAD, LAINGHOLM

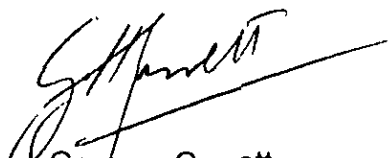
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2. Exterior cladding to extend 50mm below bottom plate.

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Yours faithfully



Graeme Garrett
BUILDING SURVEYOR

BUILDING CONSENT NO: ABA 20041782

Section 35, Building Act 1991

ISSUED BY: WAITAKERE CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: HITCHENS, KARL GARRY Mailing Address: C/- COLIN BURTON VERSATILE BUILDINGS LTD 18 HENDERSON VALLEY RD HENDERSON WAITAKERE CITY 1008	All <input checked="" type="checkbox"/> Proposed Work :
PROJECT LOCATION	NEW COTTAGE
Street Address: 31 VICTORY RD, LAINGHOLM, WAITAKERE CITY 1007	Intended Use(s) in detail: Unknown
LEGAL DESCRIPTION	Intended Life:
Property Number: 50144 Valuation Roll No: 33800 03100 Legal Description: LOT 644 DP 32446	Indefinite, but not less than 50 years Estimated Value: \$28488
	Signed for and on behalf of the Council: Name: SA. Position: Clerk - Building Consents Date: 16/11/2004

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached **(3)** pages headed "Conditions of Building Consent No "

20041782

CONDITIONS OF BUILDING CONSENT ABA 20041782

The above Building Consent has been approved today subject to the following conditions:-

1. To notations on plans.
2. The applicant shall take all steps necessary to avoid damaging the street, footpath or verge area and shall reinstate any damage to those areas to the satisfaction of Council.
3. Where one is not already constructed, the owner shall construct to a standard satisfactory to Council a vehicle crossing between the carriageway and the owner's land in accordance with Council Code of Practice.

If a non-standard crossing is required approval must be obtained from Transport Assets prior to construction of the crossing.

When excavating for the crossing the owner shall take all steps necessary to avoid damaging Council's watermain, which is generally located in the berm area with 450mm minimum cover. Where more than 250mm is being excavated the depth and location of the watermain should be confirmed by hand digging prior to commencement of excavation. (For further information please contact Council on phone 836-8045). In the event of any damage to the watermain the cost of any repairs will be charged to the owner.

4. Subject to the certificate attached in respect of the Resource Management Act 1991 issued pursuant to Section 35(1a) of the Building Act 1991.
5. Subject to compliance with the conditions of Resource Consent (RMA 20041124) granted 26/10/2004 pursuant to Sections 94, 104, 105 & 108 of the Resource Management Act 1991.
6. **Before commencement of any works and until completion of exposed earth site-works, adequate sediment and erosion control measures shall be constructed and maintained by the consent holder. The control measures must be maintained until the site has been adequately stabilised against erosion. The construction and maintenance shall be in accordance with Appendix 3, Erosion and Sediment Control Measures Appendix to the Natural Area Rules of the Waitakere City Council Proposed District Plan.**
7. Where the depth of granular fill material under a concrete slab-on-ground floor exceeds 600mm, specific engineering design will be required. To satisfy this requirement it will be necessary for a geotechnical engineer to investigate the underlying soils to a depth of twice the width of the fill. A certificate from the engineer shall be provided to Council prior to issue of the code compliance certificate.
8. The height of the finished floor level of a concrete slab-on-ground floor above adjacent ground shall be no less than:
 - a) For masonry veneer wall claddings:
 - 100 mm if ground permanently paved
 - 150 mm if unpaved
 - b) For cladding other than masonry:
 - 150 mm if ground permanently paved
 - 225 mm if unpaved
9. A suitably qualified engineer shall observe construction of the foundations, ensure compliance with the design is achieved and certify the same to Council prior to the issue of the code compliance certificate.
10. Fixings of lintels, top plates, rafters, trusses and purlins shall comply with the New Zealand Building Code. Compliance with New Zealand Standard 3604:1999 table 8.14 and figure 8.12 will satisfy the requirements of the building code.

Conditions Continued...

CONDITIONS OF BUILDING CONSENT ABA 20041782

The above Building Consent has been approved today subject to the following conditions:-

11. The floor surfaces of any space containing sanitary fixtures shall be impervious in accordance with N.Z.B.C. E3:3.1. Glazing in Bathrooms shall comply with N.Z.S. 4223, Part 3, Tables 3. D4.
12. Domestic smoke alarms complying with at least one of UL 217, CAN/ULC S531, AS 3786, BS 5446:Part 1 standards shall be installed in accordance with NZBC clause F7.
13. As this site is within the very high wind zone, all cladding underlays shall comply with NZBC B2 and E2 and NZS 3604:1999 Section 11.
14. Drainage shall be inspected and tested by Waitakere City Council Plumbing & Drainage Surveyor prior to backfilling.
15. Stormwater / sanitary drainage shall be carried out by a registered drainlayer in compliance with the NZ Building Code or an alternative solution approved by Council.
16. Prior to commencing work the owner shall ensure that the proposed building is clear of any sewers and shall ensure gravity fall of foul and stormwater drains is obtained within required gradients.
17. Sanitary plumbing to be carried out by a registered plumber in compliance with the NZ Building Code or an alternative solution approved by Council and shall be inspected by Waitakere City Council Plumbing & Drainage Surveyor prior to closing in walls, cavities and under floor.
18. Provide an overflow relief gully as per AS/NZS 3500.2.2 1996
19. As-Built Drawings:
The drainlayer must provide an 'as-built' drainage drawing to the drainage surveyor at the time of the inspection.
20. The builder/drainlayer is to check and verify all drainage depths, positions and connections before commencing any work on site.
21. Backflow prevention devices required per G12 ASI and AS/NZ3500 1.2
22. Recommendations of soils report are to be read in conjunction with building consent and strictly adhered to.
23. Details in Engineers calculations to be read in conjunction with working drawings.
24. Soils engineer is to be retained to inspect all excavations, drains and site conditions exposed during construction prior to pouring any concrete, to check that ground conditions encountered are consistent with those assumed in soils report and certify same to Council.
25. Pursuant to Section 175 of the Local Government 2002, in the event that there is any damage to any Council asset, or any Council asset is buried and/or access is obstructed, during or on completion of a subdivision or building project, the party responsible will be advised in writing by Council, of such event along with a quote for the cost of the repair/reinstatement from Council's Maintenance Contractor. Council's Maintenance Contractor will carry out the repair/reinstatement to a standard of proper and safe operation of the asset. The party responsible for the damaged/buried asset will be invoiced the amount of the quote on completion of the repair/reinstatement. Council's assets include manholes, drainage lines and connections, fire hydrants and sluice valves. Party responsible includes, but is not limited to, the property owner, developer, builder or sub-contractor.

Conditions Continued...

CONDITIONS OF BUILDING CONSENT ABA 20041782

The above Building Consent has been approved today subject to the following conditions:-

26. Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
27. Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleed-line staked above ground through the area zoned "protected natural", and draining to the creek. Install a flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.
28. Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with the design by Versatile Buildings drawing dated 18/3/04 Sheet 1A and Council's Countryside and Foothills Stormwater Management Code of Practice. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
29. Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

NOTATIONS OF BUILDING CONSENT ABA 20041782

1. All reticulated services, including power and phone, are to be laid underground.
2. All infrastructure relating to storm water treatment and disposal, wastewater disposal, and water supply shall be designed and accepted for the operation of the Network Utility Operator "Eco-Water" (the Council's drainage and water supply asset administration arm).
3. Glare
Any artificial outdoor lighting must not have more than 10 lux spill (horizontal and vertical) of light as measured at the site boundary of any adjoining site and must be shielded so that light rays are emitted below a horizontal plane set at the centre line of the light source as per Rule 14.1(c) H.E. LVG Waitakere City Proposed District Plan 1995.
4. Earthworks
No earthworks (excavation or deposition) are permitted outside the approved building platform that;
 - exceed 50m³ in volume;
 - are within 1.0m of the boundary of any adjoining site;
 - cover more than 100m² in plan area;
 - exceed 1.5m depth of cut or height of fill;
 - are within a 1 in 100 year floodplain;
 - are within an open watercourse;
 - are within the dripline of native vegetation > 6.0 high or 600mm dia; unless with Resource Consent.
5. Impermeable Surfaces
No more than 60% of the site area is to be covered by impermeable surfaces, excluding paths less than 1.0m in width as per Rule 4.1 N.A.GEN Waitakere City Proposed District Plan 1995.
6. **Before commencement of any works and until completion of exposed earth site-works**, adequate sediment and erosion control measures shall be constructed and maintained by the consent holder. The control measures must be maintained until the site has been adequately stabilised against erosion. The construction and maintenance shall be in accordance with Appendix 3, Erosion and Sediment Control Measures Appendix to the Natural Area Rules of the Waitakere City Council Proposed District Plan.
7. Privacy / Amenity
Site boundary within 6.0m of the main glazing of the main living room, and any designated outdoor space required under Rule 9.0 H.E. LVG is to be screened by fence or planting as per Rule 8.1(a) H.E. LVG Waitakere City Proposed District Plan 1995.

ABA No. 20041782
Address: 31 Victory Rd
Date: 11/06/04

1. EcoWater Conditions of Consent

- (EWBC1) Pursuant to Section 175 of the Local Government 2002, in the event that there is any damage to any Council asset, or any Council asset is buried and/or access is obstructed, during or on completion of a subdivision or building project, the party responsible will be advised in writing by Council, of such event along with a quote for the cost of the repair/reinstatement from Council's Maintenance Contractor. Council's Maintenance Contractor will carry out the repair/reinstatement to a standard of proper and safe operation of the asset. The party responsible for the damaged/buried asset will be invoiced the amount of the quote on completion of the repair/reinstatement. Council's assets include manholes, drainage lines and connections, fire hydrants and sluice valves. Party responsible includes, but is not limited to, the property owner, developer, builder or sub-contractor.
- (EWBC2) Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
- (EWBC3) Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleed-line staked above ground through the area zoned "protected natural", and draining to the creek. Install a flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.
- (EWBC4) Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with the design by Versatile Buildings drawing dated 18/3/04 Sheet 1A and Council's Countryside and Foothills Stormwater Management Code of Practice. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
- (EWBC5) Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

Enquiries regarding these requirements / conditions should be directed to the staff listed below:

Item(s): As above	Contact: Samuel	Phone (DDI): 836-9830
Item(s): As above	Contact:	Phone (DDI):

Waitakere City Council

**RESTRICTIONS ON IMPLEMENTING BUILDING
CONSENT**

Section 35(1a), Building Act 1991
Certificate issued by Waitakere City Council

Building work authorised by Building Consent	ABA 20041782
in respect of building work at:street address:	31 Victory Road
legal description:	Lot 644 DP 32446

is also required to have the following authorisation under the Resource Management Act 1991:

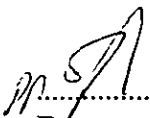
A Resource Consent pursuant to Section 88 of the Resource Management Act 1991.

Until that authorisation has been obtained:

No building work to which the above Building Consent relates may be undertaken.

Failure to observe the restrictions of this Certificate may result in enforcement proceedings under the Resource Management Act 1991.

Signed for and on behalf of the Council:



.....
Resource Planner
Consent Services
08/06/04

Private Bag 93109
Henderson
WAITAKERE CITY
NEW ZEALAND
Civic Centre
6 Waipareira Avenue
WAITAKERE CITY
NEW ZEALAND
Telephone (64) (09) 836 8000
Facsimile (64) (09) 836 8001
DX CX 10250 Auckland Mail Centre
Internet: info@waitakere.govt.nz
Address all correspondence
to the Chief Executive Officer

Note to Applicant

Building Consent ABA 20041782

You have been issued a Building Consent subject to restrictions imposed on a **Section 35 Certificate**. That certificate prevents the building project, or part of it, from commencing.

Await the issue of RMA20041124. After issue please provide letter stating no S357 objection will be lodged or allow for 15 day appeal period to lapse prior to commencement of work on site.

Contact re S357 Resource Management Act and S35 Building Act requirements:

Kyle Balderston 836 8000 x 8125

Resource Planner

Geotechnical Conditions:

4. Foundations for the structure shall be designed to the capacity limits set in the report of Soil and Rock Consultants, ref 03365, September 2003, and be founded 300 mm into natural soils or 450 mm below finished ground level which ever is the greater and outside the influence zone of the existing retaining wall.
5. The retaining wall shall be designed for not less than at-rest earth pressures and to stay within the bearing capacity limits set for footings.
6. Exposed subgrades beneath slabs shall be protected from wetting or drying during construction.
7. An experienced geotechnical engineer familiar with the report of Soil and Rock Consultants, ref 03365, September 2003 and with the design shall be engaged to inspect the foundations and wall and shall provide the Council with a Producer Statement – Construction Review for this part of the work.

EcoWater Conditions:

8. Provide a minimum of **200 mm freeboard** between the finished floor level (FFL) and the highest adjacent ground level. Show this on your as-built.
9. Connect all downpipes to the proposed detention tank. Provide a 100 diameter bleed-line staked above ground through the area zoned "protected natural", and draining to the creek. Install a flexi-flume on the outlet of the dispersion pipe stapled to the creek bank to minimise erosion of the watercourse.
10. Prior to issue of the Code Compliance Certificate provide an as-built plan and certification from a registered engineer confirming that stormwater runoff from the **proposed 2.6 cub.m detention tank drains through a 40 mm orifice** to a 100mm diameter overflow outlet, constructed in accordance with Council's Countryside and Foothills Stormwater Management Code of Practice and shown on the Versatile Buildings Site Plan dated 18/3/04. A copy of the as-built plan will be kept on Council's Hazards and Special Features Register, and the stormwater mitigation device monitored for ongoing compliance at 5-yearly intervals. Note that it is the owner(s) responsibility to fully maintain the device in proper working order.
11. Locate the Wye junction for the extension of the private sanitary sewer as close to the dwelling as possible to minimise disturbance of the vegetation in the area zoned "protected natural". Show the location of this Wye-junction on your as-built drawing.

Vegetation Protection/Earthworks Conditions.

12. Before commencement of any works, adequate sediment and erosion control measures shall be constructed and maintained in accordance with Appendix 3, Erosion and Sediment Control Measures Appendix to the Natural Area Rules of the Waitakere City Council Proposed District Plan, **and/or** in accordance with Auckland Regional Council Technical Publication # 58 (ARC:TP58), *Erosion and Sediment Control Guidelines for Land Disturbing Activities*.
13. All spoil excavated for the foundations and not suitable for back filling shall be removed from the site within one week of the completion of earthworks. No stockpiling may occur in the wetland/boggy area or in the dripline of protected vegetation. No filling may occur outside the building platform without further geotechnical advice, and resource consents.
14. Prior to the commencement of earthworks, a temporary protective fence shall be erected between the proposed new foundations/structure and the mature native vegetation (no closer than 1m to the vegetation) in order to delineate and protect vegetation from accidental damage. The protective fence shall be non-moveable and strong relative to the works proposed.
Note: Steel warratahs with orange safety mesh is an appropriate protective fence. Warratahs (or other suitable supports) should be located generally clear of the immediate root zone of vegetation to be protected.

15. The proposed storm-water mitigation tank shall be located clear of the dripline of the Kahikatea located to the west of the buildings (see Figure 4), the most suitable location being on the area vacated by the small shed to be removed immediately below the proposed cottage. All care shall be taken when working in the vicinity of protected native vegetation to ensure its long term survival. See also EcoWater Conditions above relating to the placement of lines overground, and connection as close as possible to the proposed dwelling.

Building Coverage Conditions

16. The existing garage and carport structure, and the small shed immediately to the rear of the carport shall be dismantled/demolished and removed from the site prior to the occupation of the proposed cottage.
17. The proposed cottage shall be clad in materials and colours that are similar and complementary to the existing dwelling, to the satisfaction of the Manager, Resource Consents.

Monitoring Conditions:

18. A consent compliance monitoring fee of \$178.00 (inclusive of G.S.T.) shall be paid to the Council. This fee is to recover the actual and reasonable costs incurred ensuring compliance with the conditions of this consent. If, on inspection all conditions have not been satisfactorily met, a reinspection shall be required at the relevant hourly rate applicable at the time the re-inspection is carried out.
The \$178.00 fee shall be paid as part of the resource consent and the resource consent holder shall be advised of any further monitoring fees if they are required.

Advice Notes:

1. Where indicated in the conditions it is the consent holders responsibility to inform the Environmental Monitoring Officer when inspection is required. Inspections can be requested through the Call Centre on 849 0400.
2. Take note that the conversion of the cottage to a self contained residential unit will require further resource and building consents. The payment of a Development Contribution would also be required. Failure to obtain the required permissions could invite prosecution under the Building Act 2004, Resource Management Act 1991, Local Government Act 2002, and/or any other relevant legislation.
3. Control of Wandering Jew (an Environmentally Damaging Plant) appears to be an issue on this site (as it is on any site once established). Ongoing physical control is almost the only way to minimise its spread. Place most of the mass of the plant into plastic bags at the growing location (to avoid spreading the plant which will grow from any small fragment) and dumping to land fill, followed by careful chemical herbicide application may be required (recommend Glyco-phosphate (e.g. Roundup) due to the sites proximity to water – take care to avoid native vegetation to be retained). Contact the ARC's Enviroline (ph 09-366-2000) for free advice.

End of Conditions

Compliance with the above conditions will be monitored by Councils Environmental Monitoring Officer in accordance with section 35(d) of the Resource Management Act. This will typically include site visits to verify compliance (or non compliance) and documentation (site notes and photographs) of the activity established under the Resource Consent. Only after all conditions of the Resource Consent have been met, will Council issue a letter of compliance on request of the applicant.

Please note also that you must complete the activity that is consented to within two (2) years including compliance with the conditions of consent. If that does not happen the consent lapses and you may need to apply for an extension or a new consent. **Note: Your consent lapses on 28/10/2006**

Please contact Kyle Balderston (extn 8125) of the Resource Consents Section if you have any general queries about the enclosed report or decision.

Yours faithfully

Graeme McCarrison
MANAGER: RESOURCE CONSENTS



SOIL & ROCK CONSULTANTS

Consulting Geotechnical Engineers

Henderson Telephone (09) 835-1740
Fax (09) 835-1847
Email info@soilandrock.co.nz

Albany Telephone (09) 414-1655
Fax (09) 414-5382
Email albany@soilandrock.co.nz

Our Ref. 03365

25 September 2003

Mr & Mrs Hitchens

31 Victory Road

Laingholm

AUCKLAND

Dear Mr & Mrs Hitchens

**GEOTECHNICAL APPRAISAL
PROPOSED NEW SLEEPOUT
31 VICTORY ROAD, LAINGHOLM**

Introduction

As instructed, we have completed an appraisal of the founding conditions in the vicinity of your proposed sleepout. The purpose of the investigation was to assess subsoil conditions for the design of foundations for the structure. Our findings, presented herein, will be used to support a Building Consent application to Waitakere City Council.

Site Description/Proposed Works

The site lies to the west of and slightly below Victory Road. The site is approximately rectangular with the long sides oriented approximately east/west and perpendicular to Victory Road. An existing house occupies the area toward the southern boundary. A carport and garage are located between the existing house and the northern boundary approximately midway on the site. Approximately 5.0m to 10.0m north of the northern boundary is a broad swampy area developing into a watercourse that tracks initially toward the west, becoming southwesterly as it tracks

behind the existing carport, garage and house. The swampy area is covered with low-lying plants such as Wandering Jew and a handful of mature native trees in excess of 8.0m in height.

The existing carport and garage comprise a lightweight structure and appear to be founded upon a concrete floor slab supported by inferred non-engineered filling.

The proposed works comprise the removal of the existing garage and carport and construction of a lightweight 'Versatile' structure of similar dimensions in the approximate area of the existing structure.

It is proposed to found the new structure on a concrete block perimeter footing and use the existing concrete slab as a subgrade for a new 'habitable' floor slab. This proposal will require some removal of the existing slab in order to position the new perimeter strip footing and achieve the necessary minimum floor level of 225mm above the impervious exterior ground surface.

Geology

Reference has been made to the Auckland Urban Area Geological Map, Sheet R11, Scale 1:50,000 dated 1992 which indicates that the site is underlain by residual soils of the Nihotupu Formation, a subgroup of the Waitakere Group of volcanic derived sedimentary deposits. These soils are derived by the weathering of the parent sandstones and siltstones to form a mantle of residual soils typically comprising firm to very stiff clays, silts and sands of variable plasticity. These soils are prone to shrinkage in the summer when the groundwater tables are low and also prone to swelling in the winter when the groundwater tables are high.

Given the proximity to a swamp and watercourse, it is likely that the Nihotupu Formation soils will be overlain by local Alluvial Deposits.

Investigations

Fieldwork comprised a walkover inspection of the site and the drilling of one hand augerhole, (augerhole AH1). The position of the augerhole is indicated on the site sketch, Drawing No. 03365/1. It should be noted that the dimensions and location of site features and the position of the augerhole were measured in by tape from existing site features and inferred boundaries without survey instrument control and are therefore approximate only.

Measurements of the undrained shear strengths were taken in the augerhole at intervals of depth by means of a Pilcon hand held shear vane. The test methods are in accordance with the "New Zealand Geotechnical Society Guidelines for Hand Held Shear Vane Testing" dated August 2001. The peak vane shear strength and the remoulded vane shear strength values shown on the attached augerhole log represents readings off the Pilcon shear vane dial adjusted in accordance with BS1377. Calibration factors for shear vanes used are given on the attached augerhole log.

Scala Penetrometer testing was undertaken from the base of the augerhole in order to obtain a strength profile at depth. Scala Penetrometer testing was carried out until refusal, defined as 20 blows per 100mm penetration was achieved for this device. Results of the Scala Penetrometer testing are attached.

A visual and tactile field classification of the subsoils encountered during drilling was carried out in accordance with "Guidelines for the Field Description of Soil and Rocks in Engineering Use", Issued by the New Zealand Geomechanics Society 1998.

Subsoil Conditions

Our investigation showed that the site was underlain in the location of the augerhole by a surficial layer of non-engineered fill further underlain by local Alluvial Deposits. The following provides a summary description of the subsoils encountered. A more detailed description is provided on the attached augerhole log.

- **Inferred Non-engineered Fill.** A layer of topsoil to 200mm underlain by silty clay fill to a depth of 0.5m below current ground level was encountered at the location of the augerhole. The soil comprising the strata is inferred to be non-engineered fill. The non-engineered fill was soft to firm, wet and moderately to highly plastic. This strata is considered unsuitable for the founding of permanent structures.
- **Alluvial Deposits.** Underlying the fill were local Alluvial Deposits comprising a greenish grey silty clay becoming a silt at depth. The augerhole was concluded at 3.6m below current ground level due to the soils at depth causing the augerhole to close up, preventing further drilling. The soil over the full depth of the augerhole was saturated.

This is not unexpected given the nearby location of the developing watercourse. It is likely that the local Alluvial Deposit soils will remain wet to saturated throughout the course of a year.

Vane shear strengths between 0.5m and 2.5m below current ground level ranged between approximately 75kPa and 160kPa. Vane shear strengths measured at 3.0m and 3.5m below current ground level were 64kPa and 56kPa respectively.

- **Scala Penetrometer Testing.** Scala Penetrometer testing was undertaken from the base of the augerhole (3.6m) and terminated at a depth of 7.6m below current ground level. The soils to a depth of approximately 4.6m below current ground level offered little penetration resistance, however refusal as described in the Investigation section above was not achieved and the Scala Penetrometer testing was concluded at a depth of 4.0m below the base of the augerhole, which is a practical maximum penetration depth for the instrument.
- **Groundwater Table.** The groundwater table was encountered on the day of drilling (17 September 2003) at a depth of 1.0m below current ground level. Given the proximity of the swamp and developing stream we anticipate that the groundwater table would maintain this level during the course of the year and in all likelihood rise to shallower levels following wet weather conditions.

Land Stability

The land in the area of the proposed building platform is of gentle inclination. Much of the area is covered with concrete, however the areas of exposed topography indicated no signs of deep-seated instability. We consider that following the recommendations of this report being adopted there is no restriction on the construction of the proposed sleepout from a stability point of view.

Foundations

The non-engineered fill is considered unsuitable for use as a founding stratum for a permanent structure.

The Alluvial deposit soils underlying the non-engineered fill are considered a suitable founding stratum for conventional strip, pad and short bored footings supporting all load bearing walls. All footings should be founded 300mm into stiff natural soils or 450mm below final ground level, whichever is the greater depth, to minimise the effects of seasonal shrinking and swelling of the soils.

- Footings should not be founded deeper than 600mm into stiff natural soil in order to preserve a stiff 'raft' of approximately 2.0m in depth below the base of the footing.

A low retaining wall exists to the rear of the current garage/carport. It is unlikely that this wall has been constructed to withstand surcharge loads. Accordingly, foundations for the new structure should be embedded a minimum depth of 400mm below a line inclined at 1V:1H from the base of the retaining wall.

Strip, pad and short bored footings may be designed in accordance with the following parameters:

(i) **Working Load Design**

An Allowable Bearing Capacity of 60kPa is available for Working Load Design under static load conditions. This value may be increased by 50% under seismic load conditions.

(ii) **Ultimate Limit State Design**

A Dependable Bearing Capacity of 90kPa is available for Ultimate Limit State Design carried out in accordance with NZS 4203:1992. A Strength Reduction Factor of $\phi = 0.5$ has been used to determine the Dependable Bearing Capacity.

Given the likelihood of a high Groundwater table, we recommend that pumping equipment be available prior to placing concrete in the footing in order to provide a dry footing.

Floor Slab

There are two options for the construction of a concrete floor slab for the proposed new building as follows:

Option A

Option A involves leaving the existing slab in-situ (with minor cutting and excavation to position the strip footings and achieve required formation levels) and construction a new slab over the top. It is likely that the existing slab and fill subgrade will have undergone some settlement as the structure appears to be at least 10 years old, and has been subject to a vehicle surcharge. Further settlement should be within tolerable limits for a new floor slab. However, if this option is adopted the new slab should be constructed in a way that allows for differential settlement between the slab and the perimeter footing. It should also be noted that the existing slab and the new slab above it may continue to settle potentially resulting in cracking and unevenness in the floor.

Option B

Option B involves removal of the existing floor slab and fill subgrade. Granular fill would be used to backfill the excavation to the required level. The granular fill should comprise a clean, compacted free-draining basecourse. NZS 3604:1999 requires that the compaction of granular fill that is in excess of 600mm in depth be tested by a registered engineer prior to the placement of concrete.

All foundation excavations should be inspected at the time of construction by a Registered Engineer who is familiar with the findings of this report.

Stormwater Control

Attention should be paid to disposal of stormwater. Concentrated stormwater flows from driveways, roofed and paved areas must be collected and carried in sealed pipes to a disposal point away from the building platform. Stormwater flows must not be allowed to run onto or over the ground in the vicinity of the building platform so as to adversely affect slope stability or foundation conditions.

Observation of Construction

The recommendations given in this report are based on limited site data from discrete locations. Variations in ground conditions could exist across the site. It is in the interests of all parties that we be retained to inspect excavations and piling conditions exposed during construction, so that ground conditions can be compared with those assumed in formulating this report. In any event,

we should be notified of any variations in ground conditions from those described or assumed to exist.


Limitations

This report has been prepared for the sole benefit of Mr & Mrs Hitchens for the presently proposed development. It will be used in design by Mr & Mrs Hitchens appointed Consultants to support a Building Consent application to Council. It is not to be relied upon or used out of context by any other person without reference to Soil & Rock Consultants.

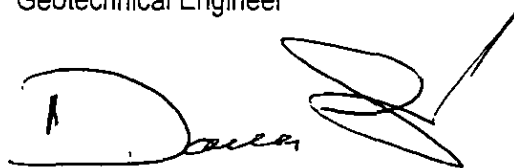
We trust this is satisfactory and if you have any queries please contact the undersigned at your convenience.

Yours faithfully

SOIL & ROCK CONSULTANTS



Prepared by: Bruce Green
Geotechnical Engineer



Reviewed by: Damir Soric
Registered Geotechnical Engineer

Job No: 03365

Job Name: 31 Victory Road
Laingholm

AUGERHOLE LOG AH 1

Borehole Location: See site plan

Surface Elevation: Datum:

Surface Conditions: Level, shrubs

Soil description in accordance with the NZ Geomechanics Society Publication
"Guidelines for the Field Description of Soils and Rocks in Engineering use"

Graphic Log

Depth (m)

Sample Type

Groundwater

Peak Vane Shear Strength (kPa) ●
Remoulded Vane Shear Strength (kPa) □

0 50 100 150 200

TOPSOIL

Intermixed dark brown and orange silty CLAY, soft to firm, wet, moderately to highly plastic [FILL]

Greenish grey silty CLAY, soft, saturated, highly plastic [ALLUVIAL DEPOSITS]

Frequent organic fibres

Water seepage

Orange SILT, some clay, minor siltstone clasts, stiff, saturated, slightly plastic

Reddish orange SILT, some clay, trace of sand, loose, saturated

Occasional siltstone clasts

Poor sample recovery, hole swelling

EOB 3.6 metres (hole swelling)

17 Sep 03

Observations:

Date: 17 September 2003

Shear Vane No: G104

Logged by: PT

Shear Vane Calib Factor: 1.331

Drilling Method: Hand Auger

Date of last calibration: 7 May 2003



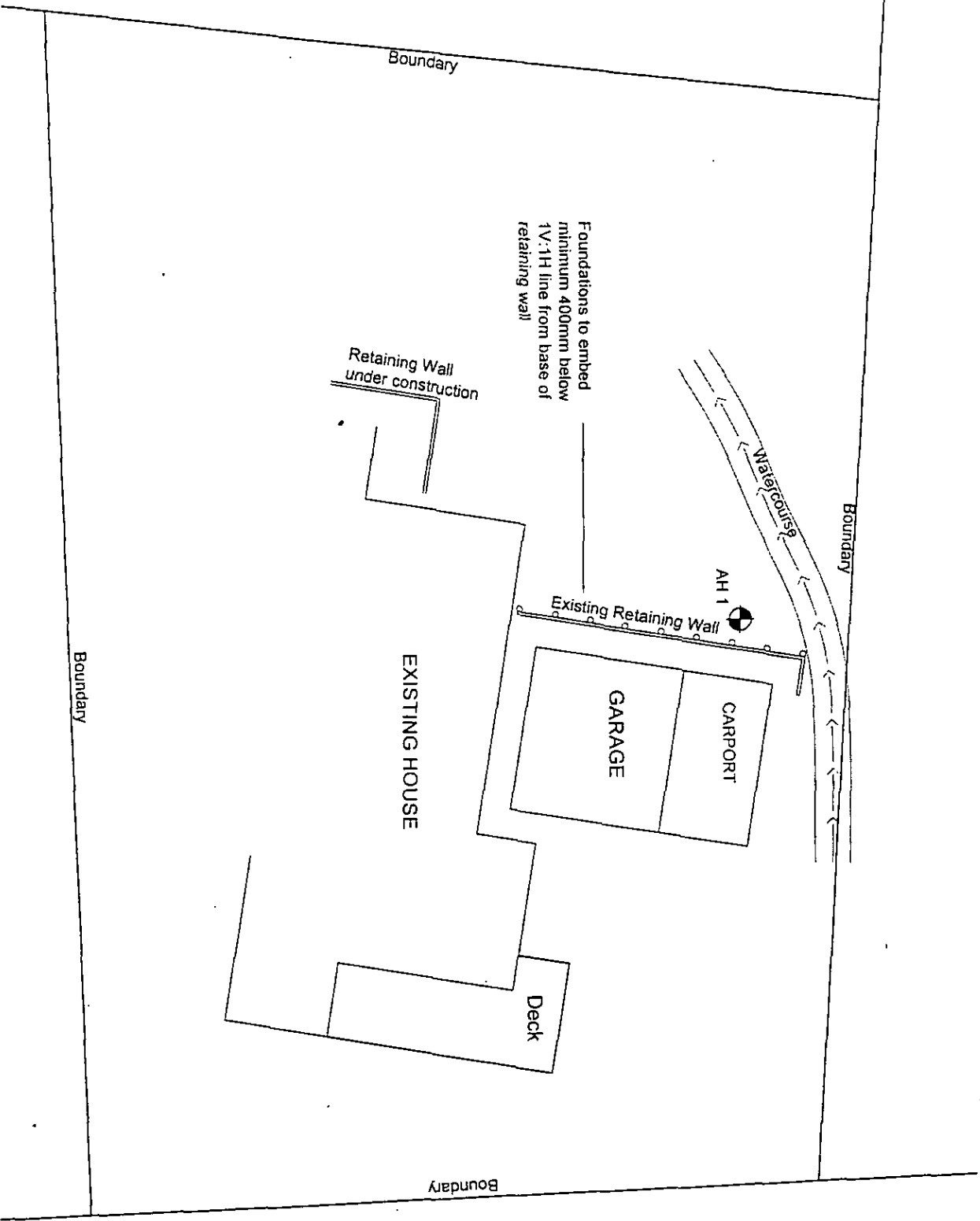
SOIL & ROCK CONSULTANTS

Consulting Geotechnical Engineers

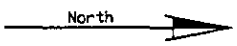


SOIL & ROCK CONSULTANTS
Consulting Geotechnical Engineers

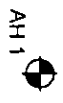
SITE SKETCH
31 VIC TORY ROAD, LAINGHOLM



VICTORY ROAD



KEY:



Location of Soil & Rock
Consultants hand
augerhole 17 September
2003

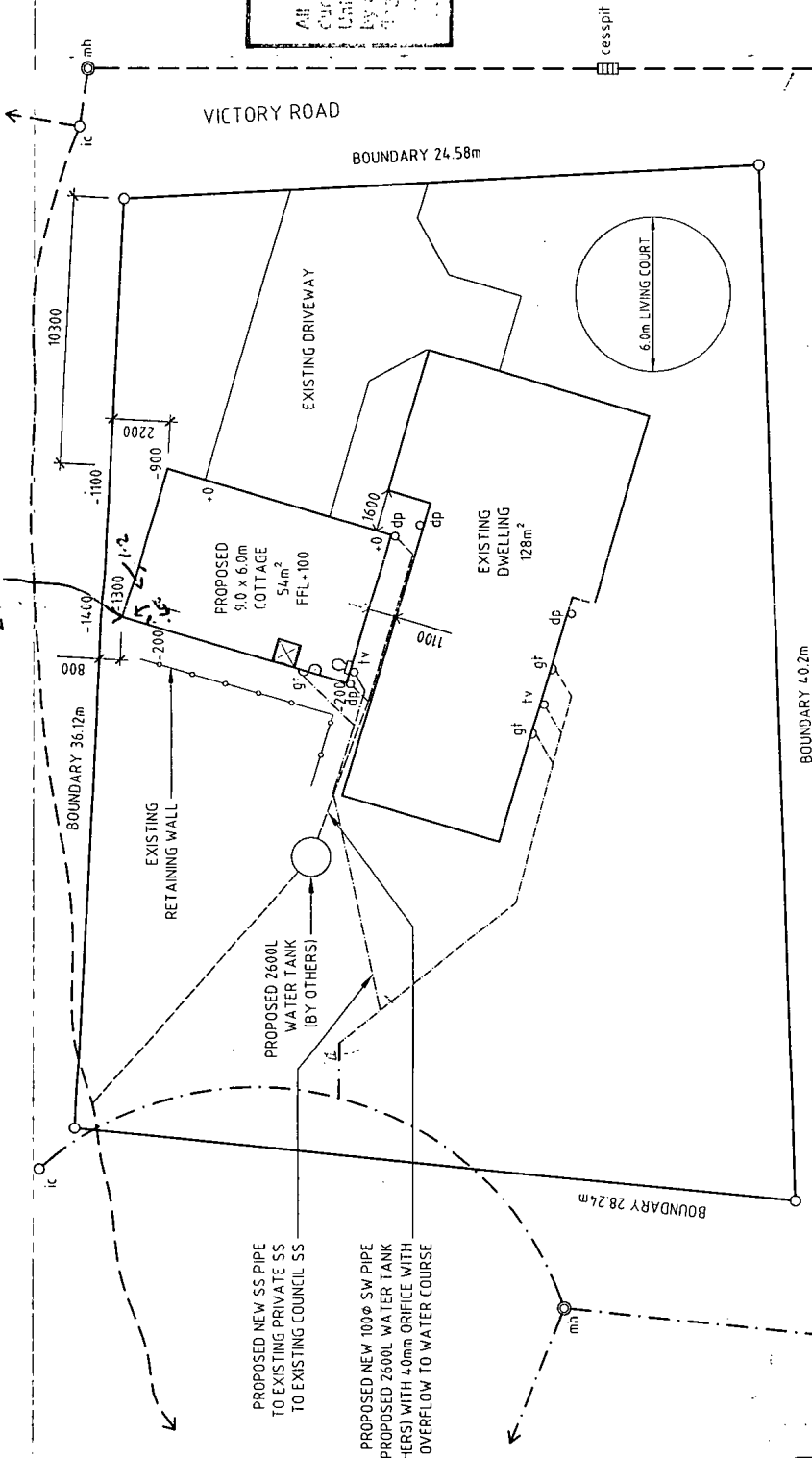
NOTE:

Sketch Plan. Site features
measured with Tape;
Locations approximate
only.

DATE:	19 September 2003
DRAWN:	RKH
SCALE:	Not to scale
REF:	03365 PLAN.dwg

DRAWING NO:	03365/1
SHEET	1 OF 1

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING ALL DIMENSIONS IN MM UNLESS STATED



IMPORTANT NOTICE
 All building consent documents must be kept on site during construction.
 Unless the siting of the proposed building is confirmed by a registered surveyor all boundary pegs are to be rechecked prior to work commencing.
 Changes to an established site may be taken only with the written agreement of all neighbours.

PLANS AND SPECIFICATIONS APPROVED AND SUBMITTED TO THE CONDITIONS ENDORSED ON BUILDING CONSENT
 SIGNED: ~~ALL~~ AUTHORIZED OFFICIAL

LEGEND

---	EXISTING COUNCIL SW
---	EXISTING COUNCIL SS
---	EXISTING PRIVATE SW
---	EXISTING PRIVATE SS
○	MANHOLE
○	dp
D	DOWNPIPE
○	GULLY TRAP
○	TERMINAL VENT

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 1992.
 WINDOW SIZES INDICATE ROUGH OPENING.

SCALE: 1:200
 DATE: 18/03/2004
 DRAWN: VERSATILE
 SHEET: 1A
 OF: 1

NOTES
 PROPOSED COTTAGE TO BE SITED 1.1m FROM SIDE & 1.6 FROM CORNER OF EXISTING DWELLING - REFER SITE PLAN FOR DETAILS

EARTHWORKS
 EARTHWORKS WITHIN 1m OF BOUNDARY TO BUILD CONCRETE BASE FOR PROPOSED COTTAGE AREA (APPROXIMATE)
 BUILDING PLATFORM
 10m² (AREA OUT OF LEVEL)
 <5m²
 OUTSIDE BUILDING PLATFORM (BASED ON LEVELS)
 BUILDING PLATFORM
 6m³
 OUTSIDE BUILDING PLATFORM
 <1m³

LEGAL DESCRIPTION

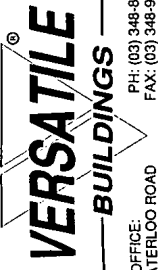
LOT	644
DP	32446
CT	NA1069/48

TOWN PLANNING

SITE AREA	994m ²
EXISTING BUILDING COVERAGE	128m ²
PROPOSED BUILDING COVERAGE	54m ²
TOTAL BUILDING COVERAGE	182m ²
IMPERMEABLE SURFACES (DRIVEWAY, BUILDINGS, DECKS)	282m ²
PERMEABLE AREA	712m ²
	18.3%
	28.4%
	71.6%

SITE PLAN

PROJECT TITLE
K HITCHENS
 31 VICTORY ROAD, LAINGHOLM



HEAD OFFICE:
 112 WATERLOO ROAD
 PH: (03) 348 8704
 FAX: (03) 348 9093

