

RISK FACTOR	RISK	DETAIL	RISK SEVERITY	NO. OF STOREYS	NO. OF STOREYS	NO. OF STOREYS	NO. OF STOREYS	NO. OF STOREYS
WIND ZONE (WZ) RISK	LOW RISK	LOW WIND ZONE (WZ) RISK	0					
	MEDIUM RISK	MEDIUM WIND ZONE (WZ) RISK	0					
	HIGH RISK	HIGH WIND ZONE (WZ) RISK	1					
	VERY HIGH RISK	VERY HIGH WIND ZONE (WZ) RISK	2	2	2	2	2	2
	EXTREME RISK	EXTREME WIND ZONE (WZ) RISK	3	3	3	3	3	3
NO. OF STOREYS	LOW RISK	NO. OF STOREYS	0	0	0	0	0	0
	MEDIUM RISK	MEDIUM NO. OF STOREYS	1					
	HIGH RISK	HIGH NO. OF STOREYS	2					
	VERY HIGH RISK	VERY HIGH NO. OF STOREYS	3					
	EXTREME RISK	EXTREME NO. OF STOREYS	4					
ROOFING & CLADDING SYSTEMS	LOW RISK	ROOFING & CLADDING SYSTEMS	0					
	MEDIUM RISK	MEDIUM ROOFING & CLADDING SYSTEMS	1	1	1	1	1	1
	HIGH RISK	HIGH ROOFING & CLADDING SYSTEMS	2					
	VERY HIGH RISK	VERY HIGH ROOFING & CLADDING SYSTEMS	3					
	EXTREME RISK	EXTREME ROOFING & CLADDING SYSTEMS	4					
APPROXIMATE	LOW RISK	APPROXIMATE	0					
	MEDIUM RISK	MEDIUM APPROXIMATE	1					
	HIGH RISK	HIGH APPROXIMATE	2					
	VERY HIGH RISK	VERY HIGH APPROXIMATE	3					
	EXTREME RISK	EXTREME APPROXIMATE	4					
ENVELOPE COMPLIANT	LOW RISK	ENVELOPE COMPLIANT	0	0	0	0	0	0
	MEDIUM RISK	MEDIUM ENVELOPE COMPLIANT	1					
	HIGH RISK	HIGH ENVELOPE COMPLIANT	2					
	VERY HIGH RISK	VERY HIGH ENVELOPE COMPLIANT	3					
	EXTREME RISK	EXTREME ENVELOPE COMPLIANT	4					
SEAL SCORE	LOW RISK	SEAL SCORE	0	0	0	0	0	0
	MEDIUM RISK	MEDIUM SEAL SCORE	1					
	HIGH RISK	HIGH SEAL SCORE	2					
	VERY HIGH RISK	VERY HIGH SEAL SCORE	3					
	EXTREME RISK	EXTREME SEAL SCORE	4					
TOTAL RISK SCORE FOR EACH CATEGORY					0	0	0	0

Cavity Required
Cavity will be provided to both extensions

REFERENCE BUILDING HEAT LOSS			PROPOSED BUILDING HEAT LOSS				
BUILDING THERMAL ENVELOPE	AREA (M ²)	R VALUE	HEAT LOSS ANNUAL VALUE	BUILDING THERMAL ENVELOPE	AREA (M ²)	R VALUE	HEAT LOSS ANNUAL VALUE
ROOF - FLAT CEILING	20.88	2.0	8.04	ROOF - FLAT CEILING	20.88	2.0	7.92
ROOF - SKYLIGHT ROOF	11.59	2.0	5.88	ROOF - SKYLIGHT ROOF	11.59	2.0	5.88
WALLS - VERTICAL WALL	38.58	1.0	38.58	WALLS - VERTICAL WALL	38.58	1.0	37.81
GLAZED - TANGLED FRAMED	20.84	1.0	20.84	FLOOR - TANGLED FRAMED	38.58	2.0	17.29
GLAZED - DOUBLE - GLAZED	10.29	0.5	39.58	GLAZED - DOUBLE - GLAZED	10.29	0.5	39.58
TOTAL HEAT LOSS FOR REFERENCE BUILDING			142.32	TOTAL HEAT LOSS FOR PROPOSED BUILDING			139.48

PROPOSED BUILDING HEAT LOSS IS 1.9% LOWER THAN REFERENCE BUILDING AND THEREFORE COMPLIES

SUMMARY OF INSULATION

- ALL EXTERNAL GREENGLASS THERMAL INSULATION SYSTEMS TO BE INSTALLED TO ALL EXTERNAL WALLS
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NOTE

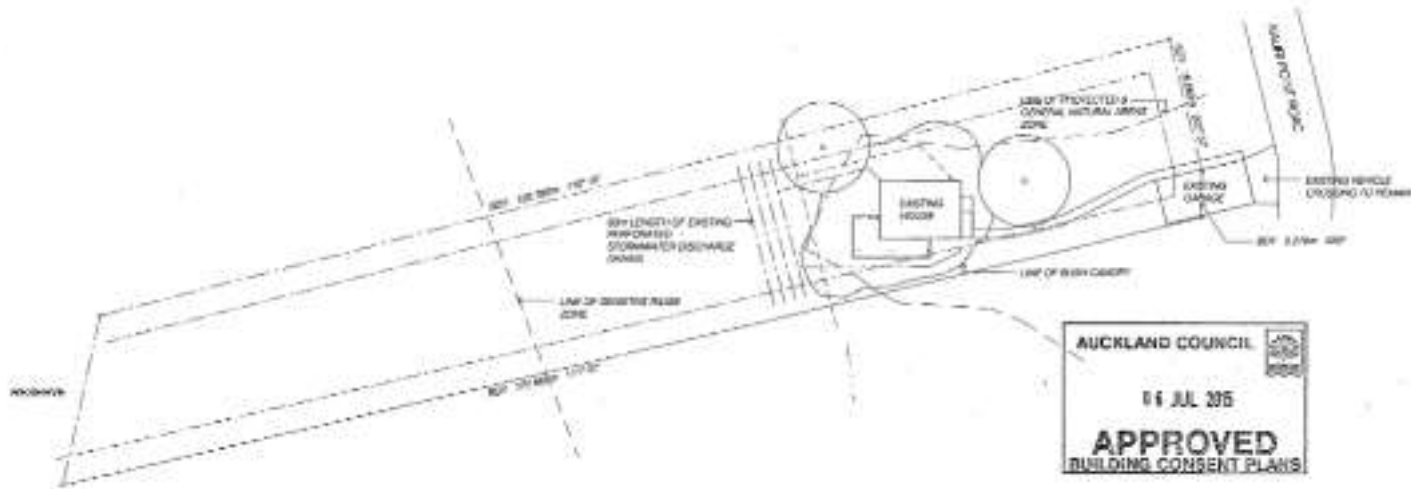
- ABOVE CALCULATIONS BASED ON THE DESIGN EXTENDING ONLY
- ALL CONSTRUCTION INSULATION TO BE INSTALLED FROM THE FINISH TO THE FINISH
- GLAZE UNLESS OTHERWISE SPECIFIED
- TOTAL VERTICAL GLAZED AREA / TOTAL WALL AREA = 10.29%

BC DRAWING INDEX

- A00 COVER SHEET
- A01 EXISTING GENERAL SITE PLAN
- A02 PROPOSED INT. SITE PLAN
- A11 EXISTING ZONING REGULATIONS FLOOR PLAN
- A12 EXISTING ZONING REGULATIONS FLOOR PLAN
- A13 EXISTING ZONING REGULATIONS ROOF PLAN
- A14 EXISTING ZONING REGULATIONS FLOOR PLAN
- A15 EXISTING ZONING REGULATIONS FLOOR PLAN
- A16 EXISTING ZONING REGULATIONS FLOOR PLAN
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- A99 EXISTING ZONING REGULATIONS FLOOR PLAN



<p>Drafting Machine 201 495 0000 FAX 1000-100 100 100 1000-100 100 100 1000-100 100 100 1000-100 100 100</p>	<p>ROKELAND COUNCIL 1000-100 100 100 1000-100 100 100 1000-100 100 100 1000-100 100 100</p>	<p>PROPOSED ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED DATE 10/10/2015 BY 60322 FOR MR. JAMES WORTH JONES</p>	<p>COVER SHEET</p>	<p>2015 664 #</p>



AUCKLAND COUNCIL
 16 JUL 2015
APPROVED
 BUILDING CONSENT PLANS

ASA AUCKLAND COUNCIL
 2015 664 #
 WESTERN



LEGAL DESCRIPTION
 STREET ADDRESS - 50 KAUAI POINT ROAD, LINDISFIELD
 LOT No. - 401
 DTPL No. - 11328
 CT ZONING RULES - R4000140
 ZONE - R4000140 (RESIDENTIAL)
 - MANAGED/CONTROLLED BY LOCAL
 - OWNERS RIGHTS IN EXHAUSTION POWER
 - 2015
 - 2015

SITE NOTE
 - ALL WORK TO COMPLY WITH ALL RELEVANT CLASSES OF
 THE SPEC AND THE NEW ZEALAND BUILDING ACT
 - CHECK ON SITE ALL DIMS & LEVELS FOR DETAIL PRIOR
 TO CONSTRUCTION. NOTIFY ANY AMBIGUITIES TO THE
 ENGINEER
 - READ IN CONNECTION WITH APPROVED RE
 APPLICATION L15/014/001

EXISTING COVERAGE CALCULATIONS:
 COVERAGE ALLOWABLE (% OF SITE) 20% (R4000140)
 EXISTING COVERAGE - ALLOWABLE = 3337.5
 HOUSE - 37.1447
 CARPORT - 22.8011
 DRIVEWAY (44) - 25.9011
 TOTAL - 112.8469 (M²)
EXISTING IMPERMEABLE CALCULATIONS:
 IMPERMEABLE ALLOWABLE (% OF SITE AREA) -
 ALLOWABLE - 25.0% (R4000140 & RES SITE)
 DRIVEWAY - 112.8469
 DRIVEWAY (44) - 25.9011
 TOTAL - 138.7480 (M²)

FLOOR FOOTPRINT AREA EXISTING
 GROUND FLOOR TOTAL - 37.1447
 1ST FLOOR TOTAL - 37.1447
 TOTAL - 74.2894



2015 664 #
 2015 664 #
 2015 664 #



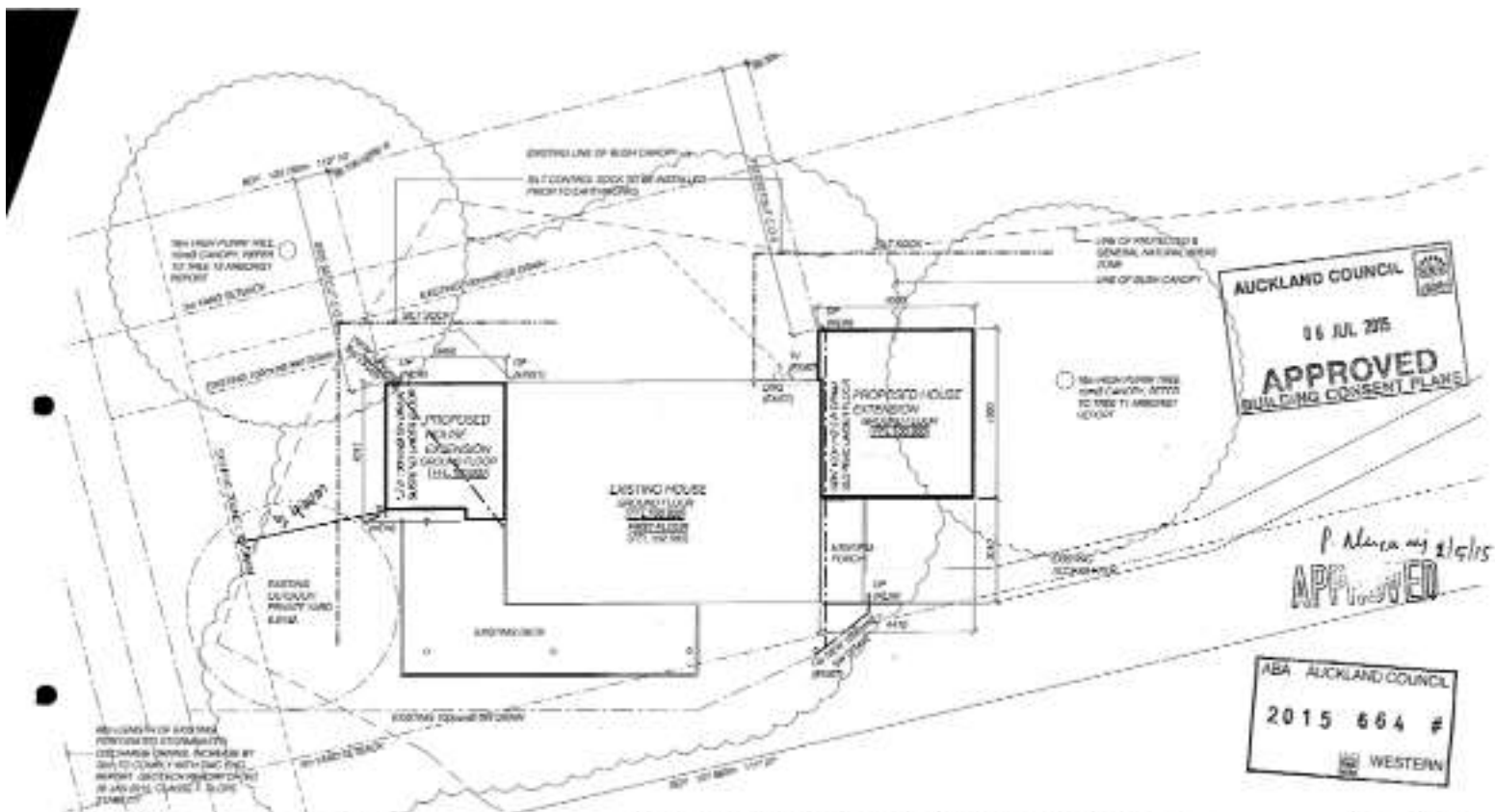
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AUCKLAND COUNCIL
 06 JUL 2015
APPROVED
 BUILDING CONSENT PLANS

P. Alvarado 21/11/15
APPROVED

ABA AUCKLAND COUNCIL
 2015 664 #
WESTERN

LEGAL DESCRIPTION
 3 PLOTS ADDRESS - 27 HAVERFORD ROAD, LARKSPUR
 LOT No - 40
 DP No - 1122
 CT DISTRICT - HARBOR
 ZONE - BUSHLAND ENVIRONMENTAL
 MANAGED RESERVE AS CLASS
 AREA, PARTLY IN RESERVE ZONE
 WML/DMF - 501
 SFS AREA - 2325M²

SITE NOTE
 ALL WORKS TO COMPLY WITH BUILDING CLAUSES OF THE
 NZBC AND THE NEW ZEALAND BUILDING ACT
 CONVEY ON SITE ALL DIMENSIONS FOR SET BACK FROM TO
 CONTROL CTN. APPROVALS ANNEXED TO THE DESIGNER
 READ IN CONNECTION WITH APPROVED TO APPLICATION
 24/07/14, 2014

PROPOSED FLOOR FOOTPRINT AREA
 GROUND FLOOR FFL - 21.12m²
 FIRST FLOOR FFL - 27.16m²
 TOTAL - 48.28m²

PROPOSED COVERAGE CALCULATIONS
 COVERAGE ALLOWABLE 10% OF SITE (21.12m²)
 WHICH EXCEEDS AREA - ALLOWABLE - 158m²

FOOTPRINT - 48.28m²
 CHANGING - 30.88m²
 DECK COVERING - 30.88m²
 TOTAL - 109.74m²

EXISTING IMPERMEABLE CALCULATIONS
 IMPERMEABLE ALL DIMENSIONS OF SITE AREA -
 ALLOWABLE - 21.12m² FROM RECALCULATED SITE
 COVERAGE - 144.12m²
 EXISTING BELOW THIS - 3.80m²
 TOTAL - 140.32m²

EXCAVATION
 ONLY EXCAVATION REQUIRED FOR
 FOUNDATION WORKS. REFER TO
 FOUNDATION PLAN FOR DETAILS
 NOTE:
 NO EXCAVATION LOOKING TO BATHY
 SEWER SYSTEM
 REFER TO ROOF PLAN FOR ROOF
 CATCHMENT AREA, READ IN CONNECTION
 WITH DRAIN LAYOUT PLAN



DR. JIM COLLIER
 2015 664 #
 2015 664 #
 2015 664 #
 2015 664 #

APPROVED
 2015 664 #
 WESTERN

APPROVED
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 WESTERN

APPROVED
 2015 664 #
 WESTERN

DATE	BY	REVISION
2015 07 06	JM	ISSUED FOR APPROVAL
2015 07 06	JM	ISSUED FOR APPROVAL
2015 07 06	JM	ISSUED FOR APPROVAL
2015 07 06	JM	ISSUED FOR APPROVAL



AUCKLAND COUNCIL
 06 JUL 2015
APPROVED
 BUILDING CONSENT PLANS



NOTES

- ALL WORKS TO COMPLY WITH RELEVANT CLAUSES OF THE NEWB AND THE NEW ZEALAND BUILDING ACT
- READ IN COLLABORATION WITH ARCHITECTS SPECIFICATION
- ALL WORKMANSHIP TO BE CARRIED OUT TO BEST PRACTICE PRACTICE WITH ALL MATERIALS USED BEING THE BEST OF THEIR RESPECTIVE KINDS
- REUSE ALL WINDOWS AND DOORS WHERE POSSIBLE (READ IN COLLABORATION WITH WINDOW AND DOOR SCHEDULE)
- CAREFULLY CHECK FITTING AT STUD WHERE NOT TO BE REUSED

PLAN SYMBOL LEGEND

- - - - - EXISTING WALLS AND DOORS TO BE DEMOLISHED (SAME COLOR TO SUIT READ IN COLLABORATION WITH PROPOSED PLAN)
- - - - - BALUSTRADE WINDOW & DOOR JOINTS (SAME COLOR TO SUIT READ IN COLLABORATION WITH PROPOSED PLAN)

ABA AUCKLAND COUNCIL
 2015 664 #
 WESTERN

	107 100 0000 Unit 107, 100 000 000 Auckland, New Zealand Telephone: 09 232 3434 Fax: 09 232 3434 Email: info@draughting.co.nz		CONSULTING ENGINEER CIVIL & STRUCTURAL ENGINEERING 107 100 0000 Unit 107, 100 000 000 Auckland, New Zealand Telephone: 09 232 3434 Fax: 09 232 3434 Email: info@draughting.co.nz	CONSULTANT CIVIL & STRUCTURAL ENGINEERING 107 100 0000 Unit 107, 100 000 000 Auckland, New Zealand Telephone: 09 232 3434 Fax: 09 232 3434 Email: info@draughting.co.nz	JOB NO PROPOSED AL-SHARAFI/DOUGLAS TO 12 KAUAH POINT DRIVE, LAURENCEVILLE, FOR LAURENCE MORTON-JONES	SHEET NO EXISTING/PROPOSED FLOOR PLAN	DATE OF 06 JUL 2015	DRAWN BY JACOB DOUGLAS	CHECKED BY JACOB DOUGLAS	SCALE AS SHOWN
					DATE 06 JUL 2015	DRAWN BY JACOB DOUGLAS	CHECKED BY JACOB DOUGLAS	SCALE AS SHOWN		



NOTES

- ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE NBC AND THE NEW ZEALAND BUILDING ACT
- READ IN CONJUNCTION WITH ARCHITECT'S SPECIFICATION
- ALL WORKMANSHIP TO BE CARRIED OUT TO BEST PRACTICE PRACTICE WITH ALL MATERIALS USED BEING THE BEST OF THEIR RESPECTIVE KINDS
- USE ALL WINDOWS AND DOORS WHERE POSSIBLE. READ IN CONJUNCTION WITH WINDOW AND DOOR SCHEDULE
- CAP ALL RIBS FITTINGS AT STUB WHERE NOT TO BE REUSED

PLAN DEMO LEGEND

--- EXISTING WALLS AND ASSOCIATED DOORS AND WINDOWS TO BE DEMOLISHED. MARK DOORS TO SUIT READ IN CONJUNCTION WITH PROPOSED PLAN

--- EXISTING WINDOW & DOOR JOISTS. MARKS FOR DE-ICE. SALVAGE TRUSS WEA & TRUSS TRUSS FOR RE-USE. MARK DOORS ENDING



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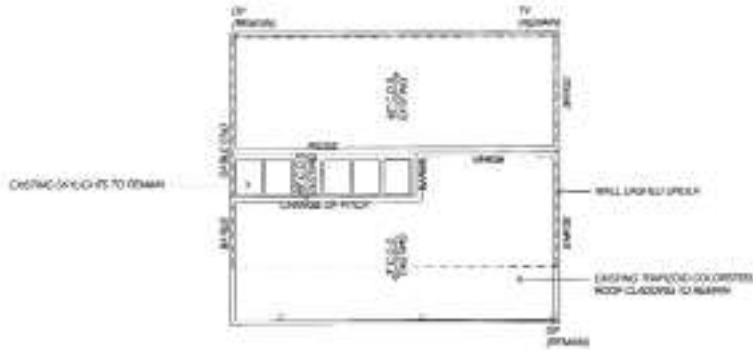
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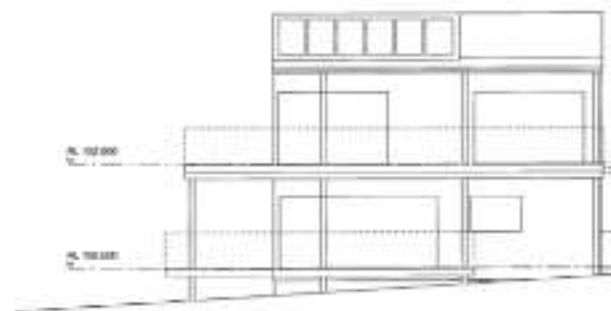
- ALL WORKS TO COMPLY WITH RELEVANT CLAUSES OF THE ACRB AND THE NEW ZEALAND BUILDING ACT
- READ IN CONJUNCTION WITH ARCHITECT'S SPECIFICATION
- ALL WORKSHOPS UP TO BE CARRIED OUT TO BEST TRADE PRACTICE WITH ALL MATERIALS USED BEING THE BEST OF THEIR RESPECTIVE GROUPS
- ADVISE ALL WORKERS AND VISITORS WHERE POSSIBLE READ IN CONJUNCTION WITH WORKSHOP AND SHOP SCHEDULE
- COMPLETE FIXTURES AT 25% B WHERE NOT TO BE ADVISED

ROOF PLAN DEMOLITION

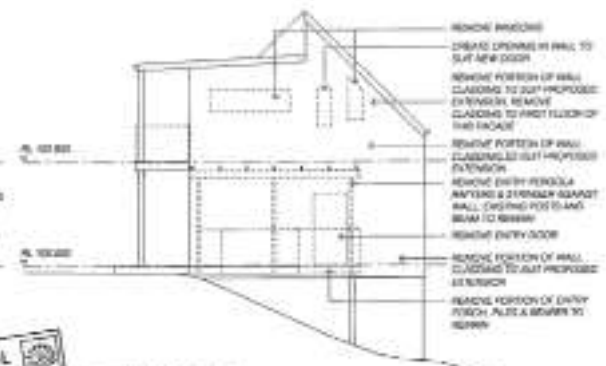
EXTENT OF EXISTING ROOF FINISHES TO BE ALIGNED TO SUIT PROPOSED NEW ROOF INDICATED HATCHED



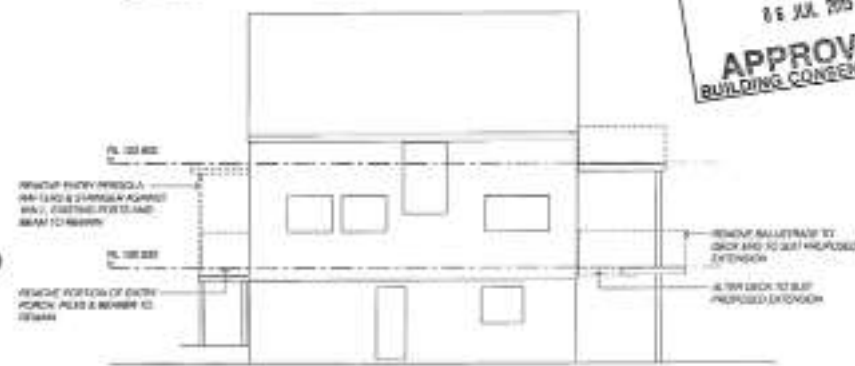
<p>HYDRAUGHTING MACHINE 100-100 BUCKINGHAM SUITE 101, 101A & 101B 100-100 BUCKINGHAM DRIVE AUCKLAND, NEW ZEALAND PH: 09 224 1234 FAX: 09 224 1235 WWW.HYDRAUGHTING.CO.NZ</p>	<p>AUCKLAND COUNCIL BUILDING DEPARTMENT 100 RANGITIKEI QUAY AUCKLAND, NEW ZEALAND PH: 09 224 1234 FAX: 09 224 1235 WWW.AUCKLANDCOUNCIL.CO.NZ</p>	<p>PROPOSAL FOR 100-100 BUCKINGHAM DRIVE AUCKLAND, NEW ZEALAND</p>	<p>DATE: 06 JUL 2015 TIME: 10:00 AM</p>	<p>PROPOSED ALTERATIONS TO 100-100 BUCKINGHAM DRIVE, AUCKLAND, FOR AIRSING WORKS/JONES</p>	<p>EXISTING EXISTING ROOF PLAN</p>	<p>SCALE: 1:100</p>
						<p>DATE: 06 JUL 2015</p>



NORTH ELEVATION
SCALE 1:50



WEST ELEVATION
SCALE 1:50



SOUTH ELEVATION
SCALE 1:50



EAST ELEVATION
SCALE 1:50

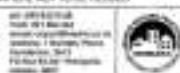


NOTES

- ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE NBC AND THE NEW ZEALAND BUILDING ACT
- READ IN CONNECTION WITH ARCHITECT'S SPECIFICATION
- ALL WORKMANSHIP TO BE CARRIED OUT TO BEST TRADE PRACTICE WITH ALL MATERIALS USED BEING THE BEST OF THEIR RESPECTIVE TYPES
- SPOT ALL WINDOWS AND DOORS WHERE POSSIBLE, READ IN CONNECTION WITH WINDOW AND DOOR SCHEDULE
- CAP ALL PEG FIXINGS AT LEVEL WHERE NOT TO BE REUSED

ELEVATION DEMO LEGEND

- ENTIRE WALL/CEILING AND ASSOCIATED DOORS AND WINDOWS TO BE REMOVED, MAKE GOOD TO SLIT, READ IN CONNECTION WITH PROPOSED PLAN & SCHEDULE
- ON HALF WINDOW & DOOR, POINT UP TO FOR IN LINE, DRAINS, TIMBER AND FOR IN LINE, SHAP GOOD EXISTING



ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE NBC AND THE NEW ZEALAND BUILDING ACT

ENTIRE WALL/CEILING AND ASSOCIATED DOORS AND WINDOWS TO BE REMOVED, MAKE GOOD TO SLIT, READ IN CONNECTION WITH PROPOSED PLAN & SCHEDULE

ON HALF WINDOW & DOOR, POINT UP TO FOR IN LINE, DRAINS, TIMBER AND FOR IN LINE, SHAP GOOD EXISTING

PROPOSED ALTERNATIVE ADDITIONS TO EXISTING DEMO ELEVATIONS

NO.	DATE	BY	REVISION
1	2015 07 26	WESTERN	ISSUED FOR CONSTRUCTION



AUCKLAND COUNCIL
2015-664
WESTERN

RECEIVED
25 JUN 2015
AUCKLAND COUNCIL

AUCKLAND COUNCIL
06 JUL 2015
APPROVED
BUILDING CONSENT PLANS

NOTES

- ALL WORKS TO COMPLY WITH RELEVANT CLAUSES OF THE BCMA AND THE BUILDING ACT 2004.
- ALL WORKS COMPLY WITH THE BUILDING ACT 2004 AND ALL WORKS TO COMPLY WITH THE BUILDING ACT 2004 AND ALL WORKS TO COMPLY WITH THE BUILDING ACT 2004.
- READ DRAWINGS IN CONNECTION WITH RELEVANT ACTS AND REGULATIONS.
- ALL WORKMANSHIP TO BE CARRIED OUT TO MEET WORKMANSHIP WITH ALL MATERIALS USED BEING THE BEST OF THEIR RESPECTIVE KINDS.
- WALL FINISHING TO BE TO THICKNESS AND FINISH AS SPECIFIED.
- ALL FINISHING WITHIN 200MM OF FLOOR LEVEL TO BE AT LEAST TO BE SAFETY CLASS 1 AND TO BE FINISHED TO BE FINISH CLASS 1 AS ACCORDANCE WITH BCMA.

TIMBER TREATMENT

- ALL WALL FINISHING TO BE TO THICKNESS AND FINISH AS SPECIFIED.
- ALL TIMBER TO BE TREATED TO MEET THE REQUIREMENTS OF THE BUILDING ACT 2004 AND ALL WORKS TO COMPLY WITH THE BUILDING ACT 2004.
- ALL TIMBER TO BE TREATED TO MEET THE REQUIREMENTS OF THE BUILDING ACT 2004 AND ALL WORKS TO COMPLY WITH THE BUILDING ACT 2004.
- ALL TIMBER TO BE TREATED TO MEET THE REQUIREMENTS OF THE BUILDING ACT 2004 AND ALL WORKS TO COMPLY WITH THE BUILDING ACT 2004.

REVB

- VERTICAL SHEAR WALLS TO BE CONCRETE OR BRICKWORK WITH REINFORCING BARS TO BE PROVIDED TO MEET THE REQUIREMENTS OF THE BUILDING ACT 2004 AND ALL WORKS TO COMPLY WITH THE BUILDING ACT 2004.
- ALL WALL FINISHING TO BE TO THICKNESS AND FINISH AS SPECIFIED.
- ALL TIMBER TO BE TREATED TO MEET THE REQUIREMENTS OF THE BUILDING ACT 2004 AND ALL WORKS TO COMPLY WITH THE BUILDING ACT 2004.

FLOOR FINISH

- EXISTING TIMBER FLOORING TO REMAIN.
- NEW TIMBER FLOORING TO BE TO THICKNESS AND FINISH AS SPECIFIED.
- ALL FLOOR FINISHING TO BE TO THICKNESS AND FINISH AS SPECIFIED.

LEGEND

- WINDOW REFERENCE
- REINFORCING BARS
- SPACING
- CEILING FINISH
- FLOOR FINISH
- SHOCK DETECTOR
- DRINK WATER SUPPLY



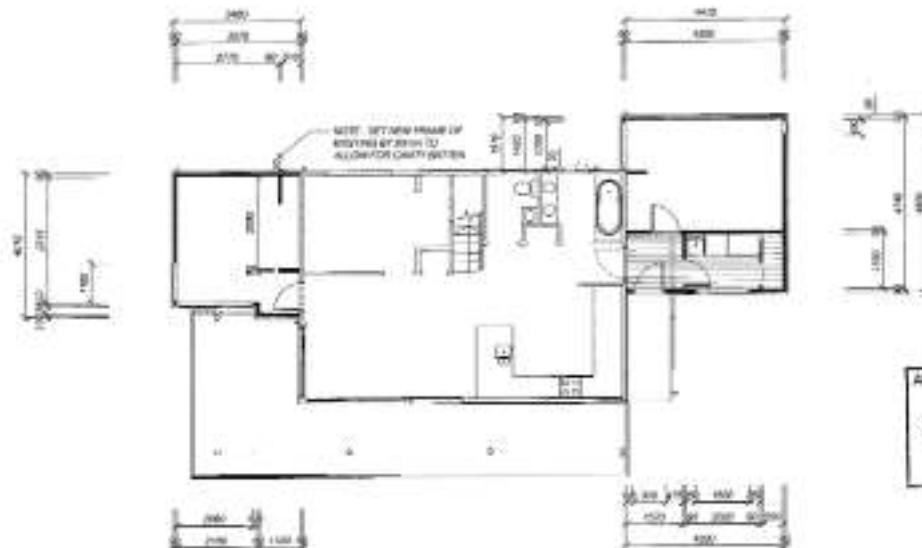
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NO	DESCRIPTION	DATE	BY
1	ISSUED FOR APPROVAL	2015	
2	ISSUED FOR APPROVAL	2015	
3	ISSUED FOR APPROVAL	2015	
4	ISSUED FOR APPROVAL	2015	

NO	DESCRIPTION	DATE	BY
1	ISSUED FOR APPROVAL	2015	
2	ISSUED FOR APPROVAL	2015	
3	ISSUED FOR APPROVAL	2015	
4	ISSUED FOR APPROVAL	2015	



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 11 JUL 2015
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NOTES
 ALL DIMENSIONS IN METERS TO BE CHECKED
 ON SITE PRIOR TO CONSTRUCTION. ANY
 AMBIGUITIES TO BE REFERRED TO ARCHITECT



100-100 BROADWAY
 AUCKLAND 1001
 TEL: 09 308 9878
 WWW.DRAUGHTINGMACHINE.CO.NZ



PROJECT: WESTERN
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PROPOSED
 FLOOR PLAN
 2015 664 #

JOB NO: 1000
 SHEET NO: 1/1

DATE: 11 JUL 2015

SCALE: AS SHOWN
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 11 JUL 2015



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NOTES

- ALL WORKS TO COMPLY WITH RELEVANT CLAUSES OF THE RESC AND THE NEW ZEALAND BUILDING ACT
- ALL TIMBER CONSTRUCTION TO COMPLY WITH NZS3604:2011. ALL WALL FRAMING TO COMPLY WITH NZS3604:2011 SECTION 4. ALL WORKS OUTSIDE THIS SCOPE TO BE MARKED OTHERWISE
- READ DRAWINGS IN CONJUNCTION WITH SUPPLEMENTARY SPECIFICATION
- ALL WORKMANSHIP TO BE CARRIED OUT TO BEST TRADE PRACTICE WITH ALL MATERIALS USED BEING THE BEST OF THEIR RESPECTIVE KINDS
- WALL CLADDING BALCONY/DECK TO BE THERMAUMAT 44 (DGA) F110
- ALL WINDOWS WITHIN 2000mm OF FLOOR LEVEL IN NET AREAS TO BE SAFETY GLASS. ALL GLASS WINDOW SCREENS TO BE SAFETY GLASS OR IN ACCORDANCE WITH NZS4383

TIMBER TREATMENT

- ALL WALL FRAMING TO BE OF THE FOLLOWING: ALL WALL FRAMING TO BE OF TREATED TIMBER UNLESS OTHERWISE SPECIFIED IN DRAWINGS
- ALL WALL CAVITY WALLS TO BE 100% TREATED TIMBER
- ALL EXTERNAL WALLS TO BE 100% TREATED
- ALL TIMBER DURABILITY TO COMPLY WITH NZS3604
- TIMBER CONNECTIONS
- ALL STRUCTURAL TIMBER USED TO BE APPROVED TO COMPLY WITH THE CURRENT EDITIONS AND SECOND SCHEDULE ACCORDING TO COMPLY WITH NZS3604:2011 SECTION 4.2.2. ALL TIMBER JOINTS ARE TO BE PROTECTED FROM THE SUN AND WEATHER. SEE 2011, 2012 FOR MORE INFO THEREFORE ALL STRUCTURAL TIMBER JOINTS TO BE UNLESS OTHERWISE SPECIFIED

NOTE 1
VERTICAL SHAPED TIMBER FOR OVER COVERED TERRACE DECK/OUTDOOR COVER TERRACE/DECK/ROOF/ BALCONY AREA DIVISIONS OF TIMBER FRAMES ARE TO BE LOCATED WITHIN 200mm OF THE EXISTING OR BOARD WALL USING AN APPROVED SYSTEM FOR BAY FRAMES OR SCAFFOLD WALL SYSTEMS. APPROVED SYSTEMS TO BE APPROVED TO COMPLY WITH NZS3604:2011 SECTION 4.2.2. ALL TIMBER JOINTS ARE TO BE PROTECTED FROM THE SUN AND WEATHER. SEE 2011, 2012 FOR MORE INFO THEREFORE ALL STRUCTURAL TIMBER JOINTS TO BE UNLESS OTHERWISE SPECIFIED

NOTE 2
APPROVED ALL-TIMBER SHAPED FRAMES SHALL BE USED TO SUPPORT THE DECK/COVERED TERRACE/DECK/ROOF/ BALCONY AREA DIVISIONS OF TIMBER FRAMES. APPROVED SYSTEMS TO BE APPROVED TO COMPLY WITH NZS3604:2011 SECTION 4.2.2. ALL TIMBER JOINTS ARE TO BE PROTECTED FROM THE SUN AND WEATHER. SEE 2011, 2012 FOR MORE INFO THEREFORE ALL STRUCTURAL TIMBER JOINTS TO BE UNLESS OTHERWISE SPECIFIED

FLOOR LEGEND

- EXISTING TIMBER FLOORING TO REMAIN
 - NEW TIMBER CONCRETE FLOORING & COVERS OR POLYURETHANE TO BE SET WITHIN ANGLE
- LEVEL LEGEND**
- LEVEL 1 - EXISTING TIMBER FLOOR LEVEL
 - LEVEL 2 - EXISTING SUB FLOOR LEVEL
 - LEVEL 3 - EXISTING SUB FLOOR LEVEL

LEGEND

- REDUCED EFFICIENCY
- REDUCED LEVEL
- 100% - 100% EFFICIENCY
- 20% - 20% EFFICIENCY
- 50% - 50% EFFICIENCY
- 75% - 75% EFFICIENCY
- TV - TYPICAL VIEW
- SD - SOUND DETECTOR
- SUP - STRUCTURAL SUPPORT SYSTEM



2015/06/25 10:00 AM
100% EFFICIENCY
100% EFFICIENCY
100% EFFICIENCY
100% EFFICIENCY



STRUCTURAL ENGINEER
100% EFFICIENCY
100% EFFICIENCY
100% EFFICIENCY
100% EFFICIENCY

NO.	DATE	DESCRIPTION
1	06 JUL 2015	APPROVED

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NO.	DATE	DESCRIPTION
1	06 JUL 2015	APPROVED

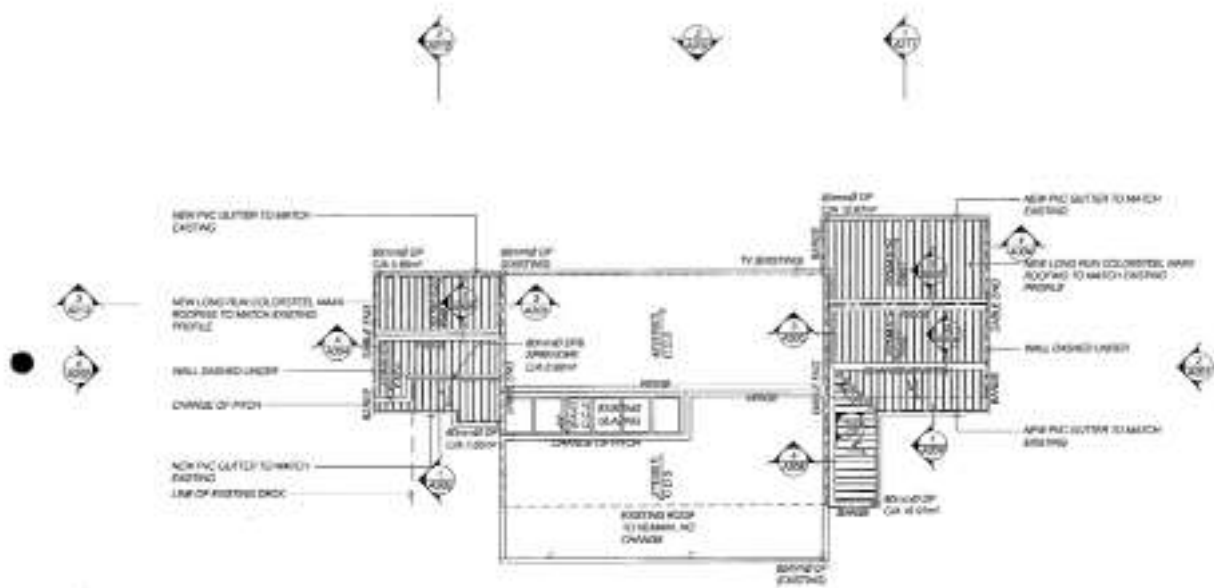


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NOTES
 ALL DIMENSIONS AND LEVELS TO BE CHECKED
 ON SITE PRIOR TO CONSTRUCTION AND
 MODIFIED TO BE PERFORMED TO ANY/WHILEY

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	ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND MODIFIED TO BE PERFORMED TO ANY/WHILEY		PROFESSIONAL ENGINEER DESIGN AND SUPERVISION NUMBER 1081 10/10/15	JOB TITLE: PROPOSED ALTERATION/ADDITION TO 30 HALLS FOSTER ROAD, AUCKLAND FOR HIRSHING MORTON JONES	PROJECT NAME: PROPOSED SHOP ONE FLOOR PLAN	DRAWN BY: DATE: 14/06/15	CHECKED BY: DATE: 14/06/15
						SCALE: 1:100	SHEET NO.: 1 OF 1



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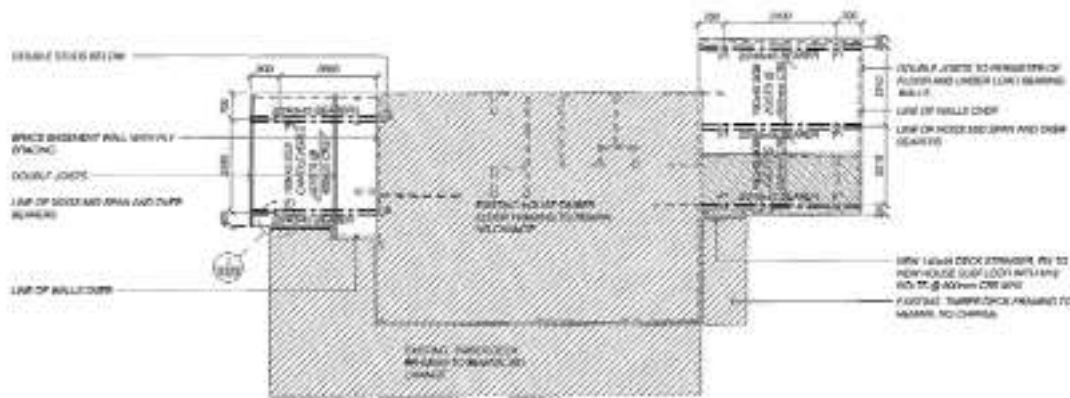
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ROOF NOTES
- ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE NBC
- ALL ROOF FLASHINGS AND ROOF FLASHING DETAILS TO COMPLY WITH 4 OF THE NBC
- ALL ROOF PENETRATIONS AND ROOF PENETRATION DETAILS TO COMPLY WITH 4 OF THE NBC
- READ DRAWING IN CONJUNCTION WITH 38 TECHNICAL SPECIFICATION
- ALL GUTTER SIZES TO COMPLY WITH 4 OF THE NBC
- ROOF FLASHING REGULARLY TO USE THERMOPLASTIC RUBBER FLASHING
- PROUSE 25mm GAP BETWEEN ROOF INSULATION AND ROOF UNDERLAY

REV B

	401 JAMES STREET AUCKLAND 1 PH: 09 308 8000 FAX: 09 308 8001 WWW.PRODNIGHTINGMACHINE.CO.NZ		PROJECT NO: 15/00000000000000000000 CLIENT: [REDACTED] PROJECT NAME: [REDACTED]	DATE: 15/07/2015 TIME: 10:00 AM BY: [REDACTED]	DRAWN BY: [REDACTED] CHECKED BY: [REDACTED] APPROVED BY: [REDACTED]	SCALE: 1:100 SHEET NO: 1 OF 1	PROJECT NO: [REDACTED] CLIENT: [REDACTED]	DATE: 15/07/2015 TIME: 10:00 AM BY: [REDACTED]	DRAWN BY: [REDACTED] CHECKED BY: [REDACTED] APPROVED BY: [REDACTED]	SCALE: 1:100 SHEET NO: 1 OF 1	PROJECT NO: [REDACTED] CLIENT: [REDACTED]



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FLOOR/SLAB/DECK FRAMING NOTES

- ALL WORK TO COMPLY WITH RELEVANT CLASSES UP TO THE NEW AND THE NEW ZEALAND BUILDING ACT
- ALL FLOOR AND SUBFLOOR FRAMING TO COMPLY WITH NZS 3609:2011 CLAUSE 6.7.8.14. ALL BEAMS OUTSIDE THIS SCOPE TO ENQUIRE DIRECTLY
- HEAD FRAMING IN CONJUNCTION WITH 2ND STORE ARCHITECT SPECIFICATION
- HEAD FRAMING IN CONJUNCTION WITH 2ND STORE ARCHITECT'S FINISHES
- ALL WORKSHOPS TO BE CARVED OUT TO BEST TRADE PRACTICE WITH ALL MATERIALS USED UNDER THE BEST OF THEIR RESPECTIVE SPICES

TIMBER TREATMENT

ALL EXTERIOR FLOOR AND SUBFLOOR FRAMING TO BE OF THE FOLLOWING:

- ALL FLOOR JOISTS, BEARING JACKETS AND END BRACKETS, EXPOSED AND UNDER NEW FRAMING TO BE TREATED WITH 2
- ALL EXTERIOR SUBFLOOR JOISTS & BEARING BEAMS TO BE TREATED TO CLASS 2
- ALL FLOOR, FLOORING POLYS AND POLYS IN THE GROUND AND UNDER DECK FRAMING WITHIN 1000MM OF GROUND TO BE TREATED AS
- ALL TIMBER OUTRIGS TO COMPLY WITH NZS 3609:2011

TIMBER DIMENSIONS

ALL STRUCTURAL TIMBER USED TO BE TREATED AND TO COMPLY WITH THE CURRENT NZS 3609 AND MARKED ACCORDINGLY TO COMPLY WITH THE CURRENT NZS 3609:2011. ALL TIMBER SHALL BE PROTECTED FROM THE SUN'S DAMPING FROM NZS 3609:2011 (VULNERABLE DIMENSIONS ALL DIMENSIONS TIMBER SHALL BE 30.8 LARGER DIMENSIONS SPECIFIED)

STRUCTURAL FRAMING LEGEND

ALL STRUCTURAL FRAMING SHALL BE TREATED & HEVD TO BEST PRACTICE WITH ALL MATERIALS USED UNDER THE BEST OF THEIR RESPECTIVE SPICES

FLOOR FRAMING LEGEND

NEW USE TIMBER JOISTS - SEE AS SPECIFIED

NEW FLOOR TIMBER BEARING - SEE AS SPECIFIED

NEW FLOOR TIMBER JOIST

FLOOR FRAMING LEGEND

EXISTING HOUSE FLOOR FRAMING TO REMAIN

NEW FLOOR FRAMING WITH FLY FLOORING

NEW FLOOR FRAMING WITH FLY FLOORING

CONCRETE GRADES

FOUNDATION: 20MPa F20/25 (AS 3603)

FLOOR: 20MPa F20/25 (AS 3603)

FOUNDATION LEGEND

FOUNDATIONS TO BE TREATED TO BEST PRACTICE WITH ALL MATERIALS USED UNDER THE BEST OF THEIR RESPECTIVE SPICES



100 WILSON ROAD
PO BOX 101
1010 WILSON ROAD
AUCKLAND 1142
NEW ZEALAND
TEL: 09 252 2222
WWW.DRAUGHTINGMACHINE.CO.NZ



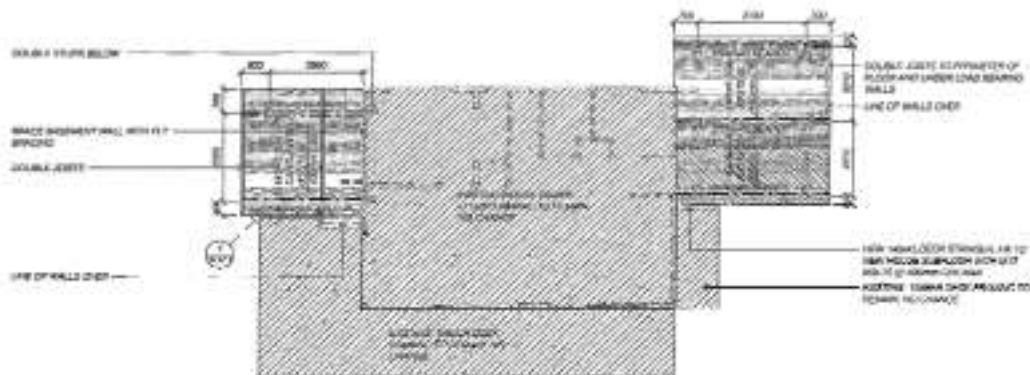
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PO BOX 101
1010 WILSON ROAD
AUCKLAND 1142
NEW ZEALAND
TEL: 09 252 2222
WWW.AUCKLANDCOUNCIL.CO.NZ

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FLOOR/CEILING FLOOR FRAMING NOTES:
 ALL JOISTS TO COMPLY WITH NZS 3601 CLASSIFIED OF THE SPEC AND THE NEW ZEALAND BUILDING ACT.
 ALL FLOOR JOIST SPACING TO COMPLY WITH NZS 3601 2007 TABLE 7.8.14. ALL JOISTS TO BE SPACED TO PROVIDE SUFFICIENT STRENGTH AND STIFFNESS TO SUPPORT THE DESIGN LOADS AND TO BE PROTECTED TO PREVENT ROT AND INSECT DAMAGE.
 ALL JOISTS TO BE PROTECTED TO PREVENT ROT AND INSECT DAMAGE.
 ALL JOISTS TO BE PROTECTED TO PREVENT ROT AND INSECT DAMAGE.
 ALL JOISTS TO BE PROTECTED TO PREVENT ROT AND INSECT DAMAGE.

TRUSS TREATMENT:
 ALL TRUSS FLOOR AND CEILING TRUSSES TO BE OF THE FOLLOWING:
 ALL FLOOR TRUSSES, BEAMS, JACKBOARDS AND BRACING, WHICH ARE ASSIGNED FRAMING & STRUCTURAL FLOOR FRAMING TO BE TREATED WITH ALL APPROPRIATE PRESERVATIVE TREATMENT TO PREVENT ROT AND INSECT DAMAGE.
 ALL TRUSS JOISTS TO BE TREATED TO PREVENT ROT AND INSECT DAMAGE.
 ALL TRUSS JOISTS TO BE TREATED TO PREVENT ROT AND INSECT DAMAGE.
 ALL TRUSS JOISTS TO BE TREATED TO PREVENT ROT AND INSECT DAMAGE.

TRUSS BRACING:
 ALL STRUCTURAL TRUSS JOIST JOIST BRACING TO COMPLY WITH THE CURRENT NZS 3601 AND NZS 3602. ALL TRUSS JOIST BRACING TO BE TREATED WITH ALL APPROPRIATE PRESERVATIVE TREATMENT TO PREVENT ROT AND INSECT DAMAGE.
 ALL TRUSS JOIST BRACING TO BE TREATED WITH ALL APPROPRIATE PRESERVATIVE TREATMENT TO PREVENT ROT AND INSECT DAMAGE.
 ALL TRUSS JOIST BRACING TO BE TREATED WITH ALL APPROPRIATE PRESERVATIVE TREATMENT TO PREVENT ROT AND INSECT DAMAGE.

FLOOR FRAMING LEGEND:
 NEW 100x100x2500mm FLOOR JOIST
 NEW 100x100x2500mm FLOOR JOIST
 NEW 100x100x2500mm FLOOR JOIST
 NEW 100x100x2500mm FLOOR JOIST
 NEW 100x100x2500mm FLOOR JOIST
 NEW 100x100x2500mm FLOOR JOIST

CONCRETE NOTES:
 FOUNDATION TO BE CONCRETE TO 100mm BELOW FINISHED FLOOR LEVEL.
 FOUNDATION TO BE CONCRETE TO 100mm BELOW FINISHED FLOOR LEVEL.
 FOUNDATION TO BE CONCRETE TO 100mm BELOW FINISHED FLOOR LEVEL.
 FOUNDATION TO BE CONCRETE TO 100mm BELOW FINISHED FLOOR LEVEL.

Handwritten notes:
 relative
 CR 44696

	<p>2015 664 # WESTERN</p>	<p>2015 664 # WESTERN</p>	<p>2015 664 # WESTERN</p>	<p>2015 664 # WESTERN</p>	<p>2015 664 # WESTERN</p>	<p>2015 664 # WESTERN</p>
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WALL BRACING NOTES:

- ALL WORK TO COMPLY WITH RELEVANT EDITIONS OF THE NZBC AND THE NEW ZEALAND STANDARD
- ALL TIMBER CONNECTIONS TO COMPLY WITH NZS 3604:2011
- ROOF BRACING IN CONJUNCTION WITH DESIGN/ARCHITECT'S SPECIFICATION
- ROOF BRACING IN CONJUNCTION WITH ENGINEER'S CALC & DRAWING
- ALL WALL BRACING TO COMPLY WITH NZS 3604:2011 SECTION 4.8. ALL WORK OUTSIDE THE SCOPE TO ENQUIRE OTHER
- ALL TYPED/SHOWN BRACING MUST COMPLY WITH MANUFACTURER'S SPECIFICATIONS



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<p>The Drafting Machine 201-203 BURNHAM ROAD AUCKLAND 1014 PH: 09 252 2222 WWW.DRAFTINGMACHINE.CO.NZ</p>	<p>AUCKLAND COUNCIL BUILDING CONSENTS 100 WATERLOO QUAY AUCKLAND 1010 PH: 09 252 2222 WWW.AUCKLANDCOUNCIL.CO.NZ</p>	<p>PROPOSED MULTIFAMILY RESIDENCE TO 10 SAUNDERS ROAD, AUCKLAND FOR UNCLASSIFIED RESIDENTIAL ZONING</p>	<p>DATE: 06 JUL 2015 TIME: 10:00 AM</p>	<p>APPROVED BUILDING FLOOR WALL BRACING PLAN</p>	<p>SCALE: 1:50 SHEET NO: 1/1 OF NO: 1</p>
				<p>DATE: 06 JUL 2015 TIME: 10:00 AM</p>	<p>SCALE: 1:50 SHEET NO: 1/1 OF NO: 1</p>



NORTH ELEVATION
PROPOSED SCALE 1:50



WEST ELEVATION
PROPOSED SCALE 1:50

	10/105 WILSON ST AUCKLAND 1 PH: 09 308 8888 WWW.THE-DRAFTING-MACHINE.CO.NZ		10/105 WILSON ST AUCKLAND 1 PH: 09 308 8888 WWW.ASA.CO.NZ	PROJECT NO: CLIENT: DATE:	PROJECT NAME: PROJECT LOCATION: PROJECT STATUS:	APPROVED BY: DATE:	CHECKED BY: DATE:	DRAWN BY: DATE:	SCALE:	SHEET NO: TOTAL SHEETS:



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401 JOYCEVILLE
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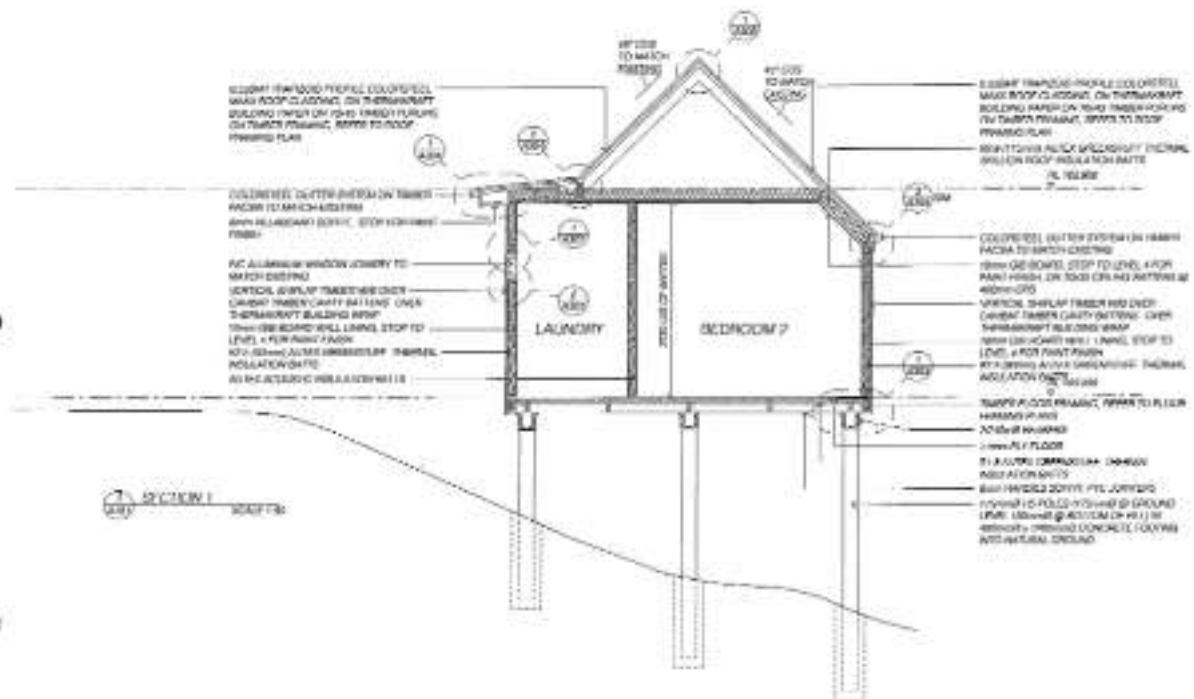
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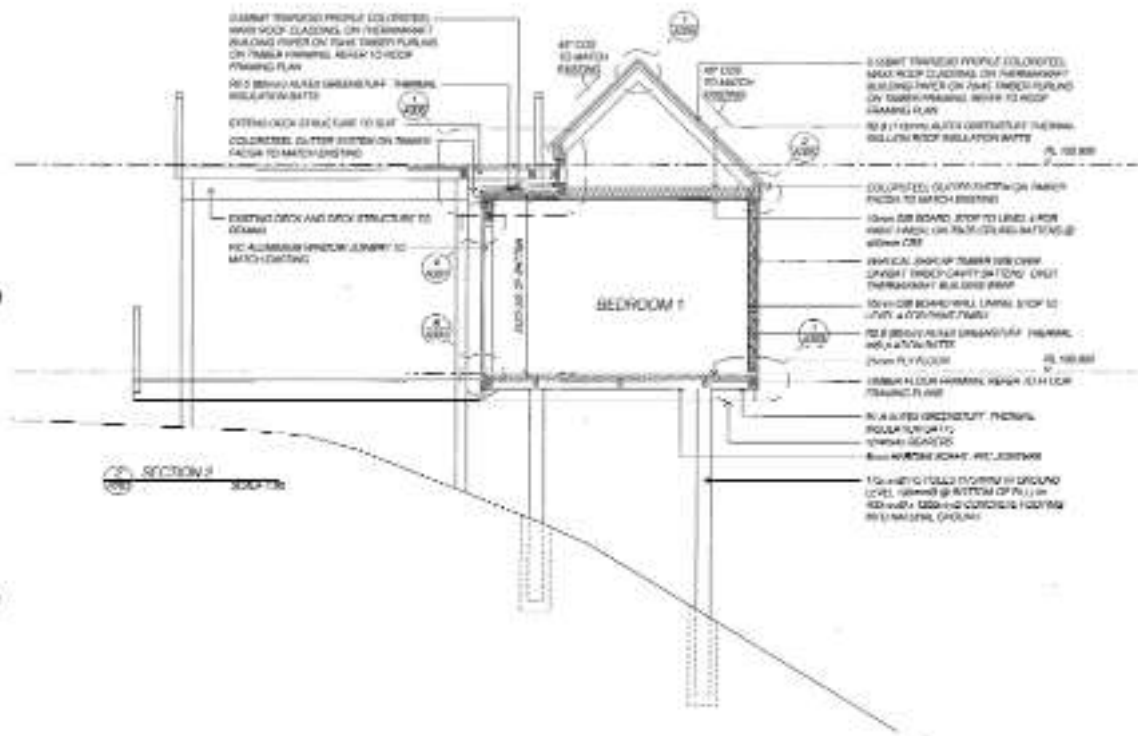


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	40 JEFFERSON 1000 100 100 1000 100 100 1000 100 100 1000 100 100 1000 100 100		APPROVAL DATE 06 JUL 2015	APPROVAL BY 1000 100 100	APPROVAL FOR 1000 100 100	APPROVAL NO. 1000 100 100
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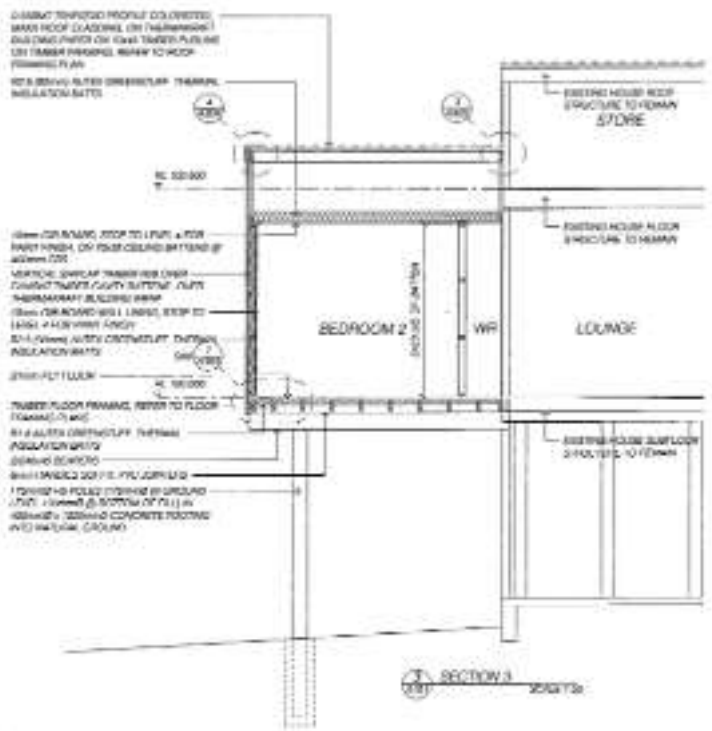


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 THE DRAFTING MACHINE 20/105/00000 PO BOX 5511 AUCKLAND PH: 09 300 6622 FAX: 09 300 6622	 CITY OF AUCKLAND CIVIL ENGINEERING & SURVEYING 151/153/00000 PO BOX 1490 AUCKLAND PH: 09 300 6622 FAX: 09 300 6622	PROPOSED ALL BUILDINGS AND STRUCTURES TO BE BUILT IN ACCORDANCE WITH THE BUILDING ACT 2014 AND THE BUILDING REGULATIONS 2014	SHEET NO. 1 OF 1 DATE: 15/06/15	DRAWN BY: JAMES HARRIS CHECKED BY: JAMES HARRIS DATE: 15/06/15	SCALE: 1/20 PROJECT NO: 15/06/15



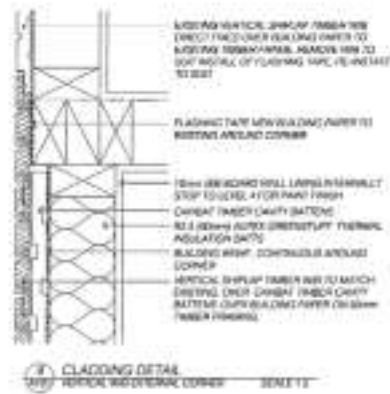
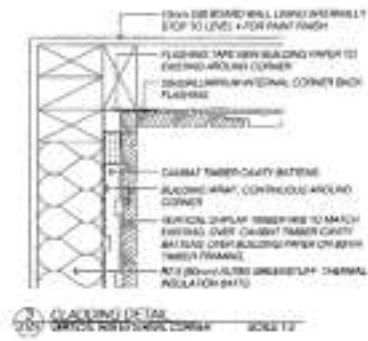
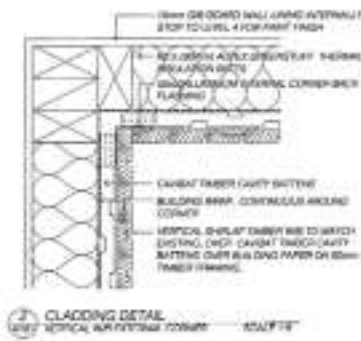
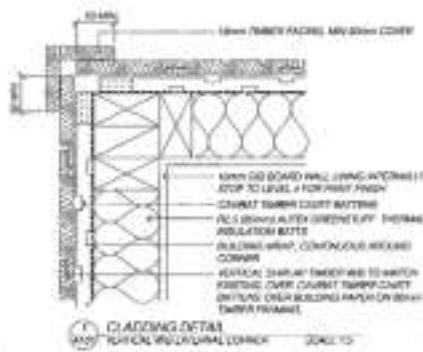
SECTION A



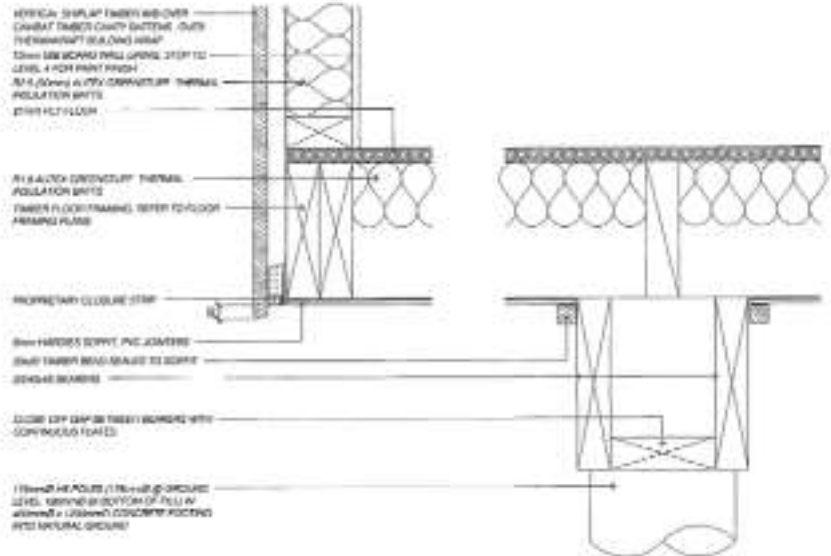
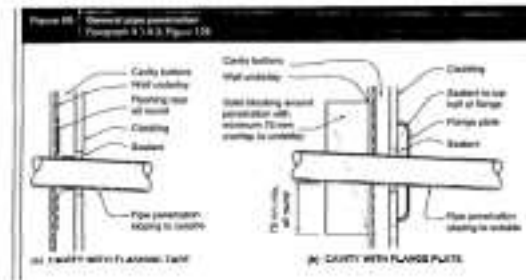
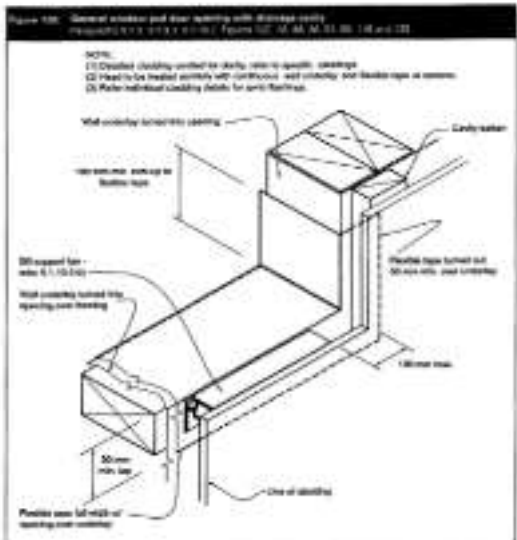
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	125/126 GERRARD ST AUCKLAND 1 PH: 09 300 9100 FAX: 09 300 9101 WWW.DRAFTINGMACHINE.CO.NZ		APPROVED BUILDING CONSENT PLANS PROJECT NO. 2015/664 DRAWING NO. SECTION A	DATE: 16 JUL 2015 DRAWN BY: [Name] CHECKED BY: [Name] APPROVED BY: [Name]	SHEET NO. 1 TOTAL SHEETS: 1
	PROJECT NO. 2015/664 DRAWING NO. SECTION A		DATE: 16 JUL 2015	DRAWN BY: [Name] CHECKED BY: [Name]	APPROVED BY: [Name]



	<p>100/1000 100/1000 100/1000</p>		<p>APPROVED 10/06/2015</p>	<p>10/06/2015</p>	<p>10/06/2015</p>
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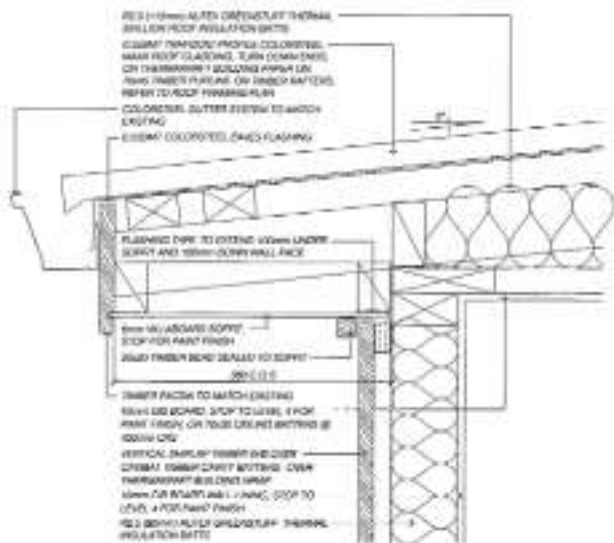
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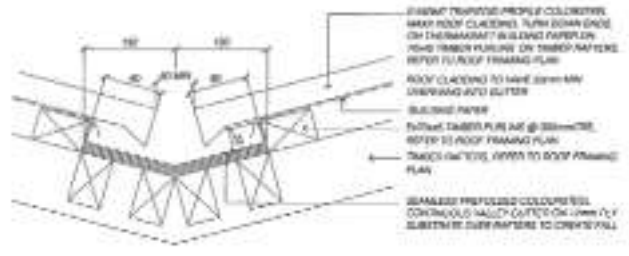
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	200 THE BUSH ROAD SOUTH AUCKLAND PH: 09 252 2222 FAX: 09 252 2223 WWW.THE-DRAFTING-MACHINE.CO.NZ		CONSULTANTS CIVIL, ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL, THERMAL INSULATION, WATER SUPPLY, WASTE WATER, SLOPE STABILISATION, SOIL REMEDIATION, SITE INVESTIGATION, SURVEYING, TRAFFIC ENGINEERING, WATER TREATMENT	CLIENT PREPARED BY CHECKED BY DATE	PROJECT NO. PROJECT NAME PROJECT LOCATION	SHEET NO. SHEET TITLE SHEET TOTAL
				DATE DRAWN BY CHECKED BY DATE	PROJECT NO. PROJECT NAME PROJECT LOCATION	SHEET NO. SHEET TITLE SHEET TOTAL



ROOF DETAIL
GUTTER EDGE



ROOF VALLEY DETAIL

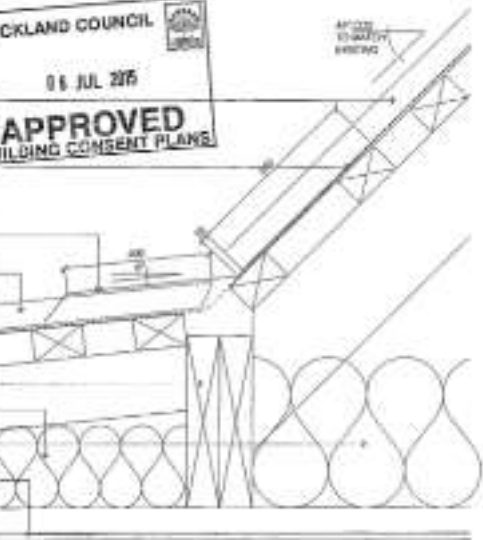
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GUMBIT TRAPWOOD PROFILE COLOURED
 MARK ROOF CLADDING, 2.5mm (MIN) EDGE
 ON THE ROOFING 1 BUILDING PAPER OR
 JOINT PAPER PULP (ON TRUSS RAFTERS)
 REFER TO ROOF FRAMING PLAN
 UPPER ROOF BUILDING PAPER TO LINE
 UP WITH FLASHING

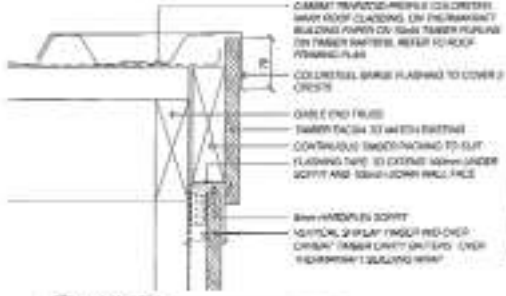
COLOURED BRUSH FLASHING, 150mm TOP
 EDGE OF FLASHING, TURN DOWN LINES
 150mm TO MEET ROOF CLADDING
 GUMBIT TRAPWOOD PROFILE COLOURED
 MARK ROOF CLADDING, 2.5mm (MIN) EDGE
 ON THE ROOFING 1 BUILDING PAPER OR
 JOINT PAPER PULP (ON TRUSS RAFTERS)
 REFER TO ROOF FRAMING PLAN
 BUILDING PAPER

STRUCTURAL TRUSS SCHE REFER TO
 ROOF FRAMING PLAN
 200mm WOODEN SCOFF TO LINE UP FOR
 PAINT FINISH ON TRUSS UNDER BATTING
 BRUSH ROOF INSULATION BATT

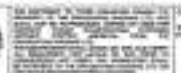
200mm WOODEN SCOFF TO LINE UP FOR
 PAINT FINISH ON TRUSS UNDER BATTING
 BRUSH ROOF INSULATION BATT



ROOF DETAIL
GUTTER EDGE



ROOF DETAIL
GUTTER



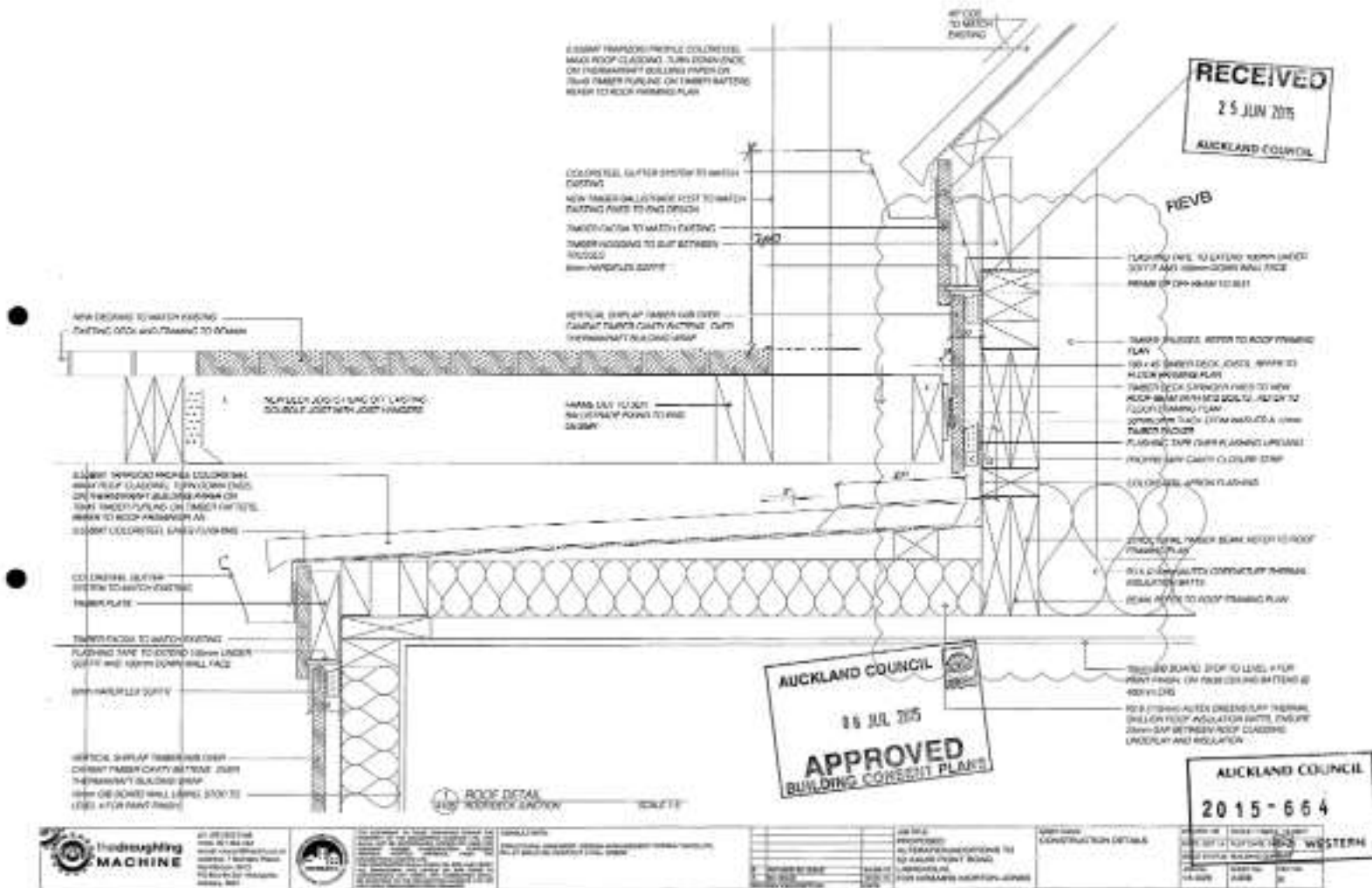
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EXISTING CORRUGATED METAL COLORSTEEL
 ROOF CLASSING TURN DOWN END OF
 ON PERMANENT BUILDING PART OF
 NEW FRAMING PLAN ON EXISTING BATTER
 REFER TO ROOF FRAMING PLAN

COLORSTEEL GALFER SHEET TO MATCH
 EXISTING
 NEW INSULATION LAYER TO MATCH
 BATTERY PARTS TO END DESIGN
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VERTICAL SHIP LAP FRAMING OVER
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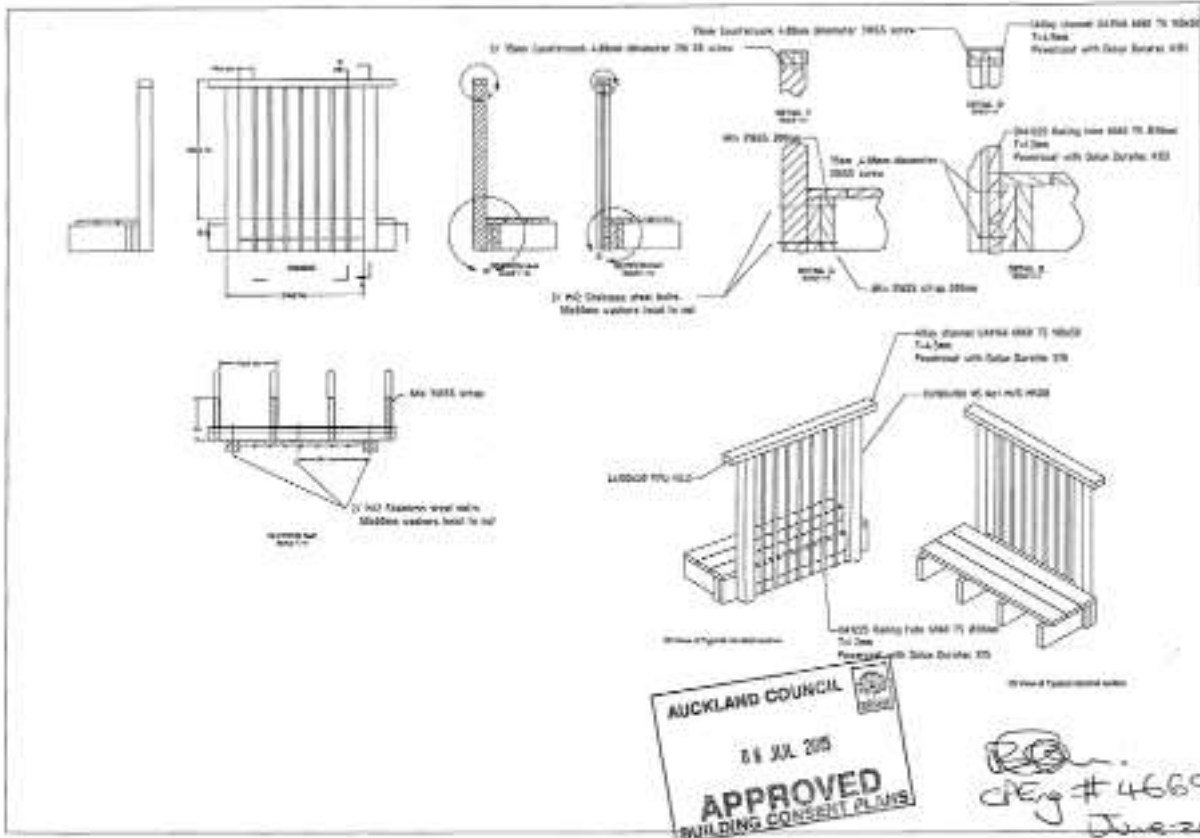


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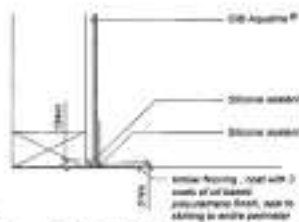


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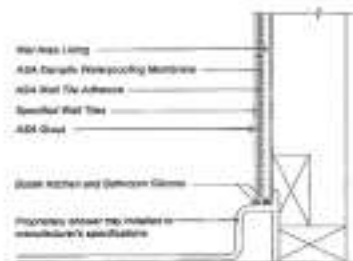
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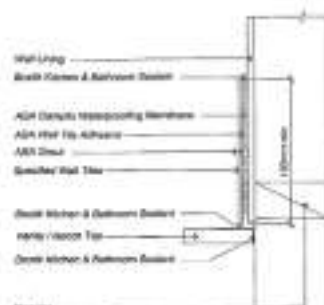


1 Floor-timber floor



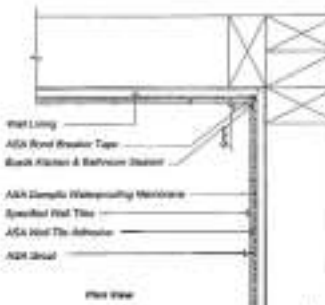
NOTE: Refer to specifications for selected ASA waterproofing, grout and tile adhesive.

2 Shower - Tiled Wall and Acrylic Bath



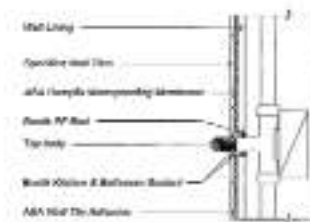
NOTE: Refer to specifications for selected ASA waterproofing, grout and tile adhesive.

3 Tiled Vanity / Bench Top (upside)



NOTE: Refer to specifications for selected ASA waterproofing, grout and tile adhesive.

4 Bathroom Corner Detail



NOTE: Refer to specifications for selected ASA waterproofing, grout and tile adhesive.

5 Penetration Detail



1st Floor
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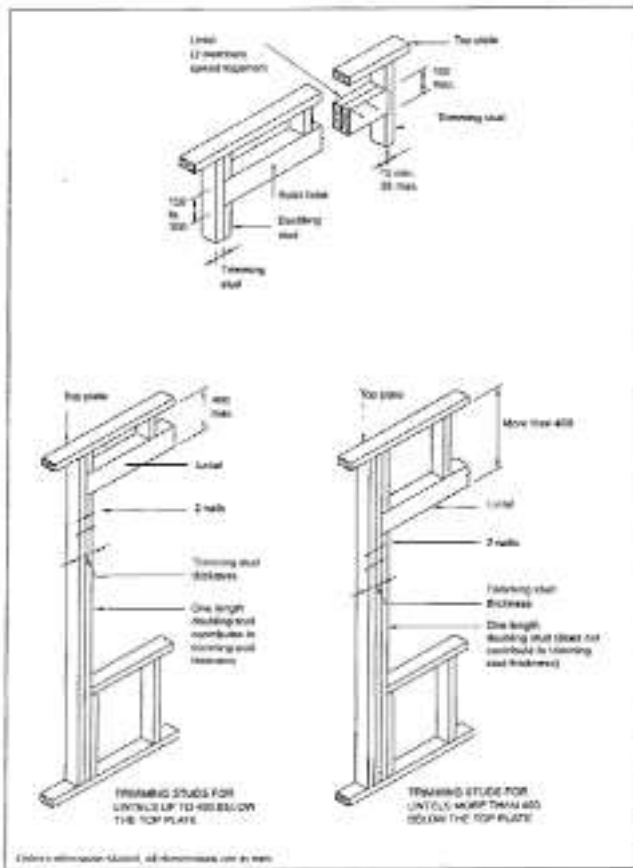


Figure 8.1 – Framing studs and struts (see 8.1.2.1)

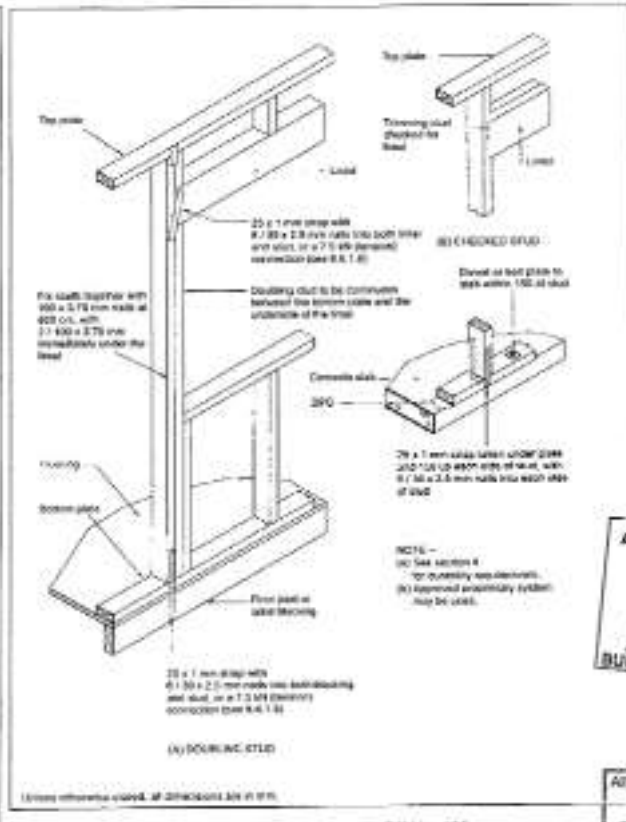


Figure 8.12 – Lateral bracing to prevent uplift (see 8.3.2.2 and 8.4.1.3 and 8.4.1.5)



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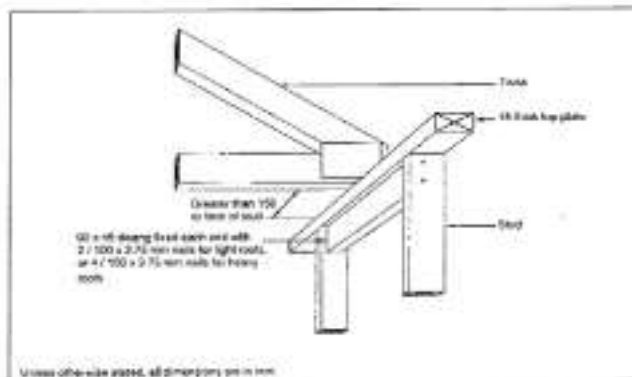


Figure 8.13 – Strengthening top plate joint (see 8.7.1 and table 8.13)

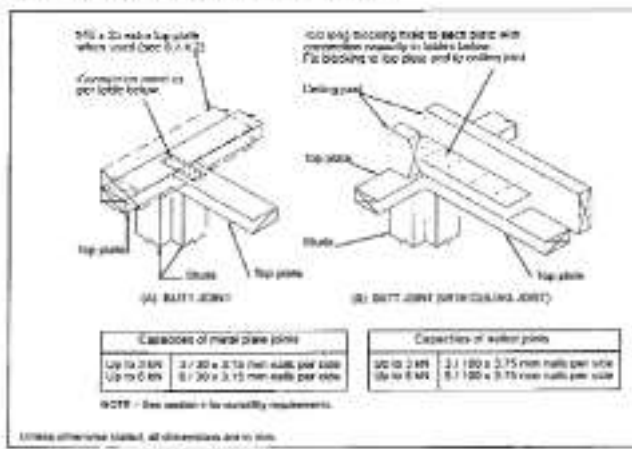


Figure 8.14 – Connecting top plates in external walls at right angles – Walls containing bracing (see 8.7.3.2)

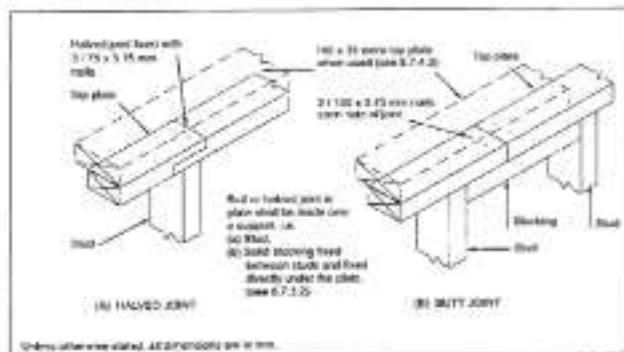


Figure 8.15 – Connecting top plates in walls not containing bracing (see 8.7.3.2)

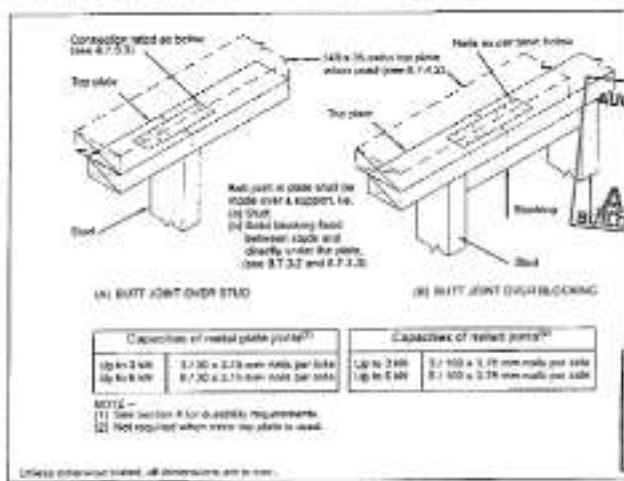


Figure 8.16 – Connecting top plates in walls containing bracing (see 8.7.3.2)

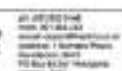


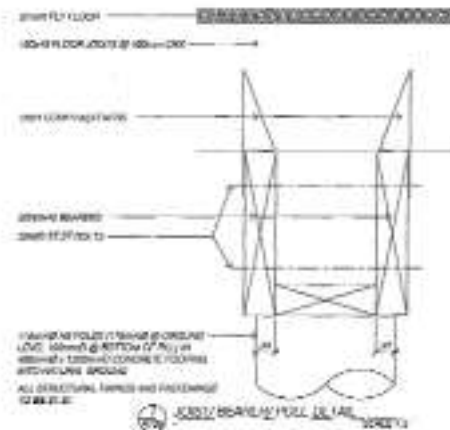
Table 2.2 - Fixing type and capacity reference table (see 2.2.2.2)

Fixing type	Description	Alternative fixing capacity (kN)	See table
A	2 / 60 x 3 / 15 end nails	0.7	
B	2 / 60 x 3 / 15 end nails + 2 wire clips	4.7	3.1.2
C	2 / 60 x 3 / 15 end nails + strap fixing (see figure 2.2.2)	5.2	
D	4 / 60 x 3 / 15 end nails + 2 strap fixing (double stud)	18.8	
E	2 / 60 x 3 / 15 steel nails + 2 wire clips	4.7	3.1.1, 3.1.1.1, 3.1.2, 3.1.2.1, 3.1.2.2, 3.1.2.3, 3.1.2.4
F	2 / 60 x 3 / 15 steel nails + strap fixing (see figure 2.2.2)	7.0	3.1.2, 3.1.2.1, 3.1.2.2, 3.1.2.3, 3.1.2.4
G	2x / 60 x 3 / 15 steel (2 each side)	4.7	
H	1 / 60x bolt	5.8	3.1.2, 4.10.2, 3.1.2, 4.10.2
I	2 / 60x bolts	18.8	
J	2 / 60x bolts	29.0	
K	2 / 60 x 3 / 15 nails	20.0	
L	2 / M12 bolts	16.0	3.1.2, 4.10.2
M	2 / M12 bolts	12.0	
N	6 / 100 x 3 / 15 HDG nails (steel driven)	4.7	
O	2 / M12 bolts (see figure 2.2.2)	6.0	3.1.2, 4.10.2, 3.1.2, 4.10.2
P	2 / HDG 100' straps (see figure 2.2.2)	15.7	
Q	2 / HDG 100' straps (see figure 2.2.2)	25.8	
R	1 / 60 x 3 / 15 nail	3.80	
S	2 / 38 x 3 / 15 nails	2.8	3.1.2, 4.10.2, 3.1.2, 4.10.2
T	1 / 70g self-drilling screws 80 mm long	2.8	3.1.2, 4.10.2
U	1 / 70g self-drilling Type 17 screws 100 mm long	3.8	

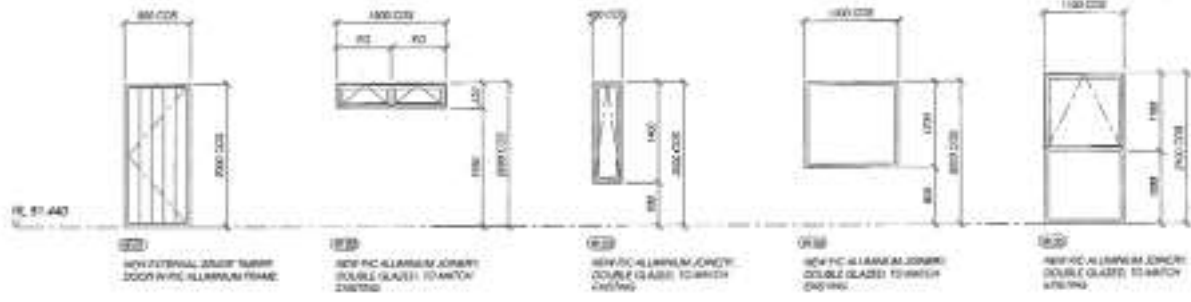
NOTE - Capacities are associated with fix's type, not fasteners. See notes of selection tables for the appropriate fixing type for the application.

FRAMING FIXING REQUIREMENTS:

- Check for top plates to supporting members such as studs and joists.
- Check for fixable to masonry.
- Check for nailing.
- Check for fixable to masonry.
- Check for fixable to masonry.
- Check for fixable to masonry.



14/1/15
 [Signature]
 CREW # 46676



0100 NEW EXTERNAL DOOR WITH TYPICAL DOOR WITH ALUMINUM FRAME
 0101 NEW PVC ALUMINUM JOINT DOUBLE GLAZED TO MATCH EXISTING
 0102 NEW PVC ALUMINUM JOINT DOUBLE GLAZED TO MATCH EXISTING
 0103 NEW PVC ALUMINUM JOINT DOUBLE GLAZED TO MATCH EXISTING
 0104 NEW PVC ALUMINUM JOINT DOUBLE GLAZED TO MATCH EXISTING



0105 NEW PVC ALUMINUM JOINT DOUBLE GLAZED TO MATCH EXISTING
 0106 NEW PVC ALUMINUM JOINT DOUBLE GLAZED TO MATCH EXISTING



EXTERNAL DOOR & WINDOW NODES

- ALL JOINTS SECTION THROUGH TO MATCH EXISTING EXCEPT JOINTS WITH
- JOINTS WITH LAMINATED GLASS DOUBLE GLAZING TO MATCH EXISTING AND OUTSIDE GLAZING FRAME
- ALL WINDOW NODES TO MATCH EXISTING & SET TO BE CHECKED UNLESS OTHERWISE STATED BY JOINTS MANUFACTURER IN ALL CASES FROM TO MANUFACTURER COMPANY AND ACCORDANCE WITH THE ARCHITECT
- ALL JOINTS WITH FROM EXISTING
- ALL TRAYS AND FLASHINGS TO COMPLY WITH SPECIFICATIONS OF THE AISC
- JOINTS APPLICABLE TO WINDOW
- MANUFACTURER DETAILS OF ALL JOINTS EXISTING JOINTS MANUFACTURER TO SUBMIT SHOP DRAWINGS OF DETAILS & WINDOW JOINTS SECTION FOR ARCHITECTS REVIEW FROM MANUFACTURER
- ALL WINDOW AND EXTERNAL DOOR INSULATION TO COMPLY WITH THE MANUFACTURER'S RECOMMENDATION OR NEW THE MANUFACTURER'S RECOMMENDATION
- READ DIMENSIONS TO CONSTRUCTION AND ARCHITECTS SPECIFICATIONS AND INSURE TO QUALITY TO BE UP TO QUALITY FOR FINISHES AND OTHERWISE TO WHICH IS REQUIRED
- GLASS TYPES, GLAZES & FRAME TYPES TO BE CONFIRMED BY JOINTS MANUFACTURER TO COMPLY WITH ALL PARTS OF NZS 4101, UNLESS OTHERWISE STATED IN THE JOINTS
- ALL WINDOW AND EXTERNAL DOOR AND ALL WINDOW TYPES TO BE SAFETY GLAZED ALL GLASS WORK TO BE SAFETY TO AT EXISTING
- REFER PLANS TO CHECK FOR EXISTING WORK TO MATCH EXISTING AND TO CHECK FOR EXISTING WORK TO MATCH EXISTING
- ALL JOINTS TO MATCH EXISTING
- ALL WINDOW AND EXTERNAL DOOR AND ALL WINDOW TYPES TO BE SAFETY GLAZED

Refer to plans for full to quarter door here



<p>draughting machine</p>		<p>100% COMPLETE</p>	<p>DATE: 06 JUL 2015</p>	<p>PROJECT: WINDOW SCHEDULE</p>	<p>DATE: 06 JUL 2015</p>
					<p>DATE: 06 JUL 2015</p>



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- PLUMBING AND DRAINAGE NOTES**
- ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE NBC. ALL STOPVALS ARE TO COMPLY WITH 81 OF THE NBC. ALL WATER SUPPLY AND TO COMPLY WITH 82 OF THE NBC. ALL SANITARY FITS TO COMPLY WITH 83 OF THE NBC. ALL FITS TO COMPLY WITH RULED JOULES
 - ALL CHECKING OR SEALING OF PIPES TO COMPLY WITH 84 OF THE NBC
 - ALL FIXTURES TO COMPLY WITH 85 OF THE NBC
 - ALL FIXTURES AND HOLDERS TO COMPLY WITH 86 OF THE NBC
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- LEGEND**
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 - OC - 100mm Ø PIPING
 - TV - TERMINAL VENT
 - W - WASH BASIN
 - U - URINAL
 - - - - PROPOSED DRAINAGE
 - - - - EXISTING DRAINAGE

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