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REDLBP

BUILDING REPORTS & PROPERTY INSPECTIONS

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PRE-PURCHASE BUILDING REPORT

Property Address	36 Eastglen Road, Glen Eden		
Client	Jesse Staines		
Date of Inspection	13th September 2022	Time	8:30 am
Inspector	Rob Sodeau Peer reviewed by LBP 133644		
LBP Number	Peer reviewed by LBP 133644		
Inspection Type	Pre-Purchase Report		
People Present	Owner, Inspector		
House Occupied	Yes		





CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

REDLBP
BUILDING REPORTS & PROPERTY INSPECTIONS

Company: The Houses of Eden Limited trading as RedLBP

Client: Jesse Staines

Date of Inspection: 13th September 2022

Site Address: 36 Eastglen Road, Glen Eden

Inspector: Rob Sodeau

Qualifications: Peer reviewed by LBP 133644

The following areas of the property have been inspected:

Inspection	Yes	No	Limited	N/A
Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Subfloor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof Exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Roof Space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Services	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Accessory Units, Ancillary Spaces and Buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Rob Sodeau

Date: 13th September 2022

Signature:

(for and on behalf of REDLBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT

PRE-PURCHASE BUILDING REPORT

This report type is to identify the structural aspects of the dwelling, and report on the type, location, and quality of each aspect. It is not designed to replace the input from an engineer, however, will highlight any items that require further investigation from other professionals. This report type will also advise on areas of weathertightness, however, this is a non-invasive visual inspection and further investigation may be required. Should further investigation be required, the correct professional will be recommended. This is not designed to replace a report completed by a qualified Building Surveyor, however, it is designed to satisfy the requirements of lenders and homeowners that the property will fulfil the requirements of being structurally sound and fit for purpose. This report is not a defects list and should not be construed as such. The property report does not contain any assessment in relation to any item which is subject to a special purpose report (items will be mentioned as they are part of the property).

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

VERBAL

This report type will identify and report on all aspects of the property, and information is collected in exactly the same way it is onsite for a written report. A phone call will take place after the inspection to run through all the items of significance that have been identified during the property visit. Verbal reports do not comply with the NZ Standard as they are not in written format, however, the information gathered onsite is the same as when a written report is completed should the report need to be changed from a verbal to a written at a later date.

METH TESTING

This will be completed via samples taken from rooms as required by the homeowner, to test for the presence of methamphetamine in a property. The findings will be tabled and reported on within this document if requested by the homeowner. The testing will be completed by a qualified and experienced laboratory. It is conclusive as per the lab terms and conditions. Turnaround times for testing may be delayed at any time due to issues arising outside the inspectors' control. This includes delays in couriers, holiday closing dates and the like. Meth test results will be passed on as soon as they are available.

FLOOR LEVELS

Floor levels will be undertaken using a Zipline Pro-2000 and will be shown via a grid paper layout of the property that is not to scale. A section of commentary will be given providing general recommendations and tolerances as per NZS3604:2011, NZS 3109-1987, MBIE, BRANZ. This is not designed to replace an engineer; however, the findings will assist in concluding if further professional advice is recommended.

GENERAL

This report has been completed via a non-invasive inspection and provides recommendations only to items that were able to be seen. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report. The Report is to be used by the Client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing Report dealing with the Premises from every aspect. The Report is not intended to provide an indication of value, worth or suitability of the Premises. This report should be seen as a general guide from a qualified trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase, rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective. Where qualified building recommendations have been inappropriate, recommendations from sub-trade experts have been given and noted. The experts may include electrical inspectors, weathertightness experts, engineers, and surveyors. The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property. This report is not a weathertight assessment. Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the qualified LBP completing the report and there may be cause for variation. Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection. In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection,

moving of furniture, appliances or stored items, or excavation. The report is valid only for a period of 30 days after release to the Client, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the Client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

The assessment of any apparent defect which may occur intermittently or usually occurs after regular use will not be reported nor any defect that is only evident with prevailing weather.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

Written reports completed by Red LBP follow the voluntary standard NZS4306:2005.

Note. This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

EXECUTIVE SUMMARY

The overall condition of the house is good to average. This is in the context of the average condition of similar buildings of approximately the same age, construction, and material type. The property has been suitably maintained over its life with some issues as detailed within the report, these do not require immediate attention and can be attended to as part of regular maintenance.

Areas not inspected sufficiently - Roof space, Subfloor, Upper levels exterior cladding and joinery and Roof system. The reason for not inspecting these - Not accessible due to personal belongings stored in and around access points. Not able to be viewed safely from a 3.6-metre ladder.

Confined space. All attempts will be made to safely view, but if unable to inspect the areas, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. A confined space:

- is an enclosed or partially enclosed space and
- is not intended or designed primarily for human occupancy and
- may present a risk from one or more of the following at any time:

Further investigations are recommended in the following areas -

Maintenance to the roof as noted in the roof section of this report.

Maintenance or replacement of the carpet in bedroom one as noted in the bedroom section of this report.

Installation of joinery security stays as noted in the joinery section of this report.

PROPERTY IDENTIFIERS

Address	36 Eastglen Road, Glen Eden
Legal Description	LOT 8 D P 19976
Certificate of Title	NA849/236
Land classification	Residential - Mixed Housing Urban Zone. Wind Zone - High - BRANZ - GIS.
Weather	Recent rain. Overcast
Soil	Wet
Site Exposure	Exposed

BUILDING DESCRIPTION

The property was originally built in the 2000's and is located in Glen Eden. It is a freehold title situated on a front section that is sloping.

The dwelling is two-storey with three bedrooms and two bathrooms. Internally, the property has heating consisting of a log burner in the living room. The water system is heated by an electric hot water cylinder. The internal linings are plasterboard and are decorated with paint. The floors are concrete and chipboard or similar, with floor coverings, timber, tile and carpet.

The foundation system is a concrete slab on grade and timber pile, with the dwelling being timber construction. The exterior joinery is aluminium and single-glazed. The property is clad with a plaster system with a stucco finish. The roof is masonry tiles. There is a double garage with internal access.

The driveway is concrete pavers. Generally, the property has a living aspect north and includes landscaping that consists of a deck, lawn, gardens and trees.

BUILDING ELEMENTS

The following is a summary of the building elements inspected:

Type	Inspected
Foundation	
Type C1	Not viewed
Exterior Cladding	
Stucco/Solid Plaster	Limited access
Exterior Joinery	
Single glazed aluminium joinery with timber reveals.	Limited access
Roof System	
Masonry Tiles	Limited access
Roof Space	
Timber framed - roof	Limited access
Interior Linings	
Plasterboard ceiling and wall linings, timber trims and doors, carpet and tile floor coverings.	Limited access
Entrance, Hall & Stairs	
Living & Dining Room	
Kitchen	
Bathroom One	
Bedroom One	
Bathroom Two	
Bedrooms Two, Three & Four	
Laundry	
Garage	
Wall Framing	
Timber framed - wall	Not viewed

Foundation

Type - C1 - Timber-framed dwelling on a concrete floor with lightweight cladding.

Height above-finished ground - Over 150 mm around the perimeter.

Minimum heights of floor above ground should be 150 mm to paved ground, 225 mm to unpaved ground.

Cracking - As observed in the garage.

Dampness - None visible at the time of inspection.

Recommendations:

The floor levels were checked using a self-levelling laser. The floor levels, in our opinion, are at acceptable tolerances. There are indications of undulations and minor slopes at random locations, however, this is to be expected of properties.

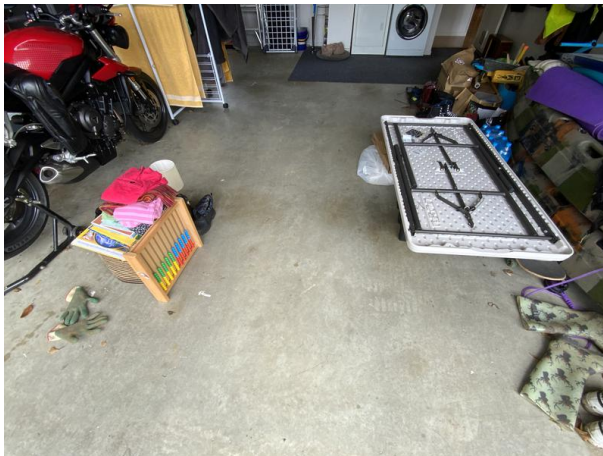


Photo 2

Sample photo of the foundations visible in the garage



Photo 3

Sample photo of the foundation perimeter wall

Exterior Cladding

Plastered

Substrate - Poly panel. On a cavity.

Finish - Light sprayed on plaster or paint.

Overall condition - Acceptable.

Vertical cracking - None visible at the time of inspection.

Cracking at window corners - None visible at the time of inspection.

Horizontal cracking - None visible at the time of inspection.

Staining or moulds visible - Nothing visible.

Window flashing details - Head flashings extend 20 mm beyond the window facing with a 5 mm separation from the flashing and are sealed at the end of the flashing - No. The window is entirely sealed around all sides.

Penetrations - Seal and maintain penetrations as required.

Wall balustrade junctions - None.

Fascia junctions - Clear of cladding.

Cladding to roof flashings and junctions - Adequate kick-outs to direct the water away from the building and into gutters.

Ground clearances - Adequate ground clearances around the dwelling.

Recommendations:

Maintenance would include regularly cleaning all exterior surfaces to remove grime and contaminants, particularly where rain washing is not achieved, typically below spouting and eaves. Cleaning is important as grime and contaminants can cause accelerated deterioration of construction materials. Normal maintenance and repairs will be required over the coming years.

Ensure all cladding joinery, joins, soffit junctions and penetrations are kept sealed and maintained for continued weather tightness.



Photo 4

Sample photo of cladding at the front of the property



Photo 5

Sample photo of cladding on the east side of the property



Photo 6

Sample photo of cladding at the back of the property on the north side



Photo 7

Sample photo of cladding at the back of the property on the north side



Photo 8

Sample photo of the cladding on the side of the garage



Photo 9

Sample photo of the underside of the cladding on a cavity



Photo 10

Sample photo of the joinery to cladding junction, ensure these areas are kept sealed and maintained



Photo 11

Sample photo of the joinery to cladding junction, ensure these areas are kept sealed and maintained



Photo 12

Sample photo of the joinery to cladding junction, ensure these areas are kept sealed and maintained



Photo 13

Sample photo of a cladding corner junction, ensure these areas are kept sealed and maintained



Photo 14

Sample photo of a cladding penetrations, ensure these areas are kept sealed and maintained



Photo 15

Sample photo of a cladding to soffit junction, ensure these areas are kept sealed and maintained



Photo 16

Sample photo of the cavity vent above the joinery at the front of the house



Photo 17

Sample photo of cladding on the west side of the property



Photo 18

Sample photo of cladding at the back of the property on the north side

Exterior Joinery

Single glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - Areas of oxidation visible. Requires cleaning.

Hardware - Functional at the time of the inspection.

Weepholes and tracks - Clear of debris.

Condensation channel - Yes.

Reveals - Timber.

Finish - Painted.

Damage - None visible at the time of the inspection.

Cladding/soffit junctions - Not applicable.

Exterior flashings - Headflashings installed.

Entrance doors - Metal door and aluminium frame.

Garage joinery - Single glazed.

Recommendations:

Have a specialist in exterior joinery investigate and report on maintenance and repairs required.

Keep weepholes and tracks clear of debris. Make sure paint is maintained, and moisture is kept at a minimum. Racking to some original joinery that requires realignment to assist with drafts.

Recommended that security stays are installed on any second-story opening windows with a sill height lower than 900mm to reduce fall hazards.

The paint is flaking on the sills, which may allow moisture to be absorbed into the timbers causing deterioration, correct preparation and decoration is required. Single-glazed joinery needs to have any condensation/moisture addressed daily. To prevent the condensation from forming, the installation of a positive airflow ventilation system such as an HRV, DVS, I-Vent or similar should be considered. These greatly reduce any moisture in the home.



Photo 19

Kitchen joinery



Photo 20

Kitchen sliding doors to rear deck



Photo 21

Living room joinery



Photo 22

Living room joinery



Photo 23

Front door



Photo 24

Bedroom one joinery with one joinery, installation of security stays is recommended



Photo 25

Sample photo of joinery hardware



Photo 26

Sample photo of the internal joinery



Photo 27

Sample photo of the internal joinery

Roof System

All attempts will be made to safely view, but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. The upper-level roof system was not inspected.

Type of roof construction - Gable roof.

Pitch of roofs - 15 - 20 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

Masonry tile roofing

Surface finish - Unknown.

Condition of surface - Have an LBP in roofing advise on repairs and maintenance required. Moss and moulds visible on the surfaces.

Tile and mortar condition - Sections requiring maintenance.

Ridges/Hips/Barges - Areas of cracking to mortar noted, refer to photos below.

Guttering

Type - External.

Material - Profiled metal.

Gutter guard - No.

Falls - Functional.

Fixings/brackets - Not visible.

Obstructions - Areas requiring clearing.

Droppers - No visible issues at the time of the inspection.

Damage/Corrosion/Leaks -

Adequate outlets - Minimum requirements are outlets at 12 m maximum intervals, giving a maximum gutter run of 6 m if regularly spaced (BRANZ).

Rainwater heads and droppers - Not applicable.

Spreaders - No visible issues.

Moss and or lichen visible on or in the guttering system - Areas requiring treatment.

Downpipes

Material - PVC.

Fixings/brackets - Some minor maintenance is required. Corrosion visible.

Damage - No visible issues at the time of the inspection.

Corrosion - None visible at the time of the inspection.

Leakage & discharge - No visible issues at the time of the inspection.

Fascia & bargeboards

Material - Profiled metal.

Finish - Factory finish.

Damage & corrosion or rot - No visible issues at the time of the inspection.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion -

Soffit width from cladding to fascia - 400 - 500mm

Recommendations:

The roof was viewed from the top of a 3.6-metre ladder to all accessible elevations. Have an LBP in roofing complete a roofing inspection to arrange recommendations for future maintenance. Further investigation of the roof to cladding junctions by a roof specialist is recommended.

There were visible areas on the roofing with moss and lichen growing over the surface. It is recommended to treat the surface as part of general maintenance. Upkeep of maintenance of masonry tiles by way of cleaning and sealing. General upkeep of the roofing system to maintain weathertightness.



Photo 28

Sample photo of the roof above the carriage at the front of the property, moss treatment and tile sealing is recommended



Photo 29

Photo shows cracked tile above the garage, further investigation for repair or replacement by a roof specialist is recommended



Photo 30

Sample photo of minor crack in the cement fixing and moss growing, moss treatment recommended, monitor and maintain the pointing as required.



Photo 31

Sample photo of the roof valley, ensure this is maintained and kept clean



Photo 32

Sample photo of debris in the gutters, cleaning recommended



Photo 33

Sample photo of the gutters and metal barge board

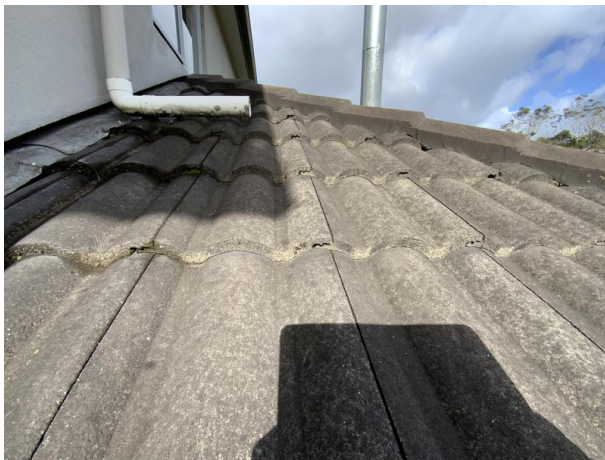


Photo 34

Sample photo of the roof at the back on the north side



Photo 35

Photo showing a hole in the soffit at the back of the property, maintenance recommended



Photo 36

Sample photo of the roof at the back of the house, moss treatment recommended



Photo 37

Sample photo of the roof on the west side of the property



Photo 38

Sample photo of broken down pipe clip, recommend this is replaced



Photo 39

Photo shows flashing tape lifting outside bedroom two, maintenance recommended



Photo 40

Sample photo of the upper level roof valley, sealing and moss treatment by a roof specialist is recommended

Roof Space

All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference. The ceiling space was viewed from the attic ladder via a ceiling hatch in the bedroom. Access hatch size - 500 x 500

Roof frame construction and connections - Manufactured timber trusses. Connections not all visible.

Condition - No issues visible.

Roofing underlay - Bituminous self-supporting paper.

Obvious structural alteration - No.

Ceiling construction - Not visible.

Vermin and insects - Historical signs of vermin.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - All pipework sighted is in tidy order.

Insulation - Glass wool.

Thickness of insulation visible - Over 150mm.

Coverage - Segments - Must be fitted tightly between joists - Acceptable.

Discharges into the roof space - No.

Party walls - checked - NA.

Stored items - No.

Recommendations:

The minimum manhole access size for viewing a roof space is 450 mm x 400 mm. This must also be accessible from a 3.6 m ladder. Where these requirements are not met, a reasonable attempt will be made, providing health and safety requirements can be met. Regular checks for pest activity and ensuring insulation is in place.



Photo 41

Sample photo of the roof framing and insulation



Photo 42

Sample photo of the roof framing and insulation



Photo 43

Sample photo of the roof framing and insulation



Photo 44

Sample photo of the roof framing plumbing and insulation

Interior Linings

Plasterboard ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet and tile floor coverings.

Recommendations:

The inspection and resulting report are not intended to identify or describe minor faults or defects. A minor fault or minor defect is a matter that, given the residential building's age, type or condition, does not require substantial repairs or urgent attention and rectification and could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

There was furniture and items blocking areas, including windows which meant it was not inspected.

Entrance, Hall & Stairs

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Polished timber.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - The cupboard was unable to be viewed fully due to stored belongings.

Stairway Handrail - Secure.



Photo 45

Front door



Photo 46

Stairs

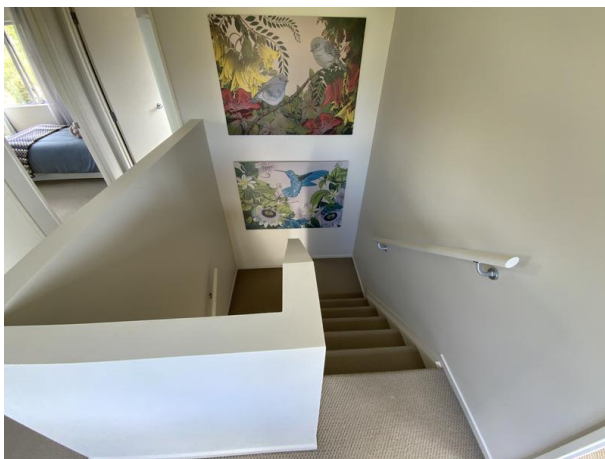


Photo 47

Stairs



Photo 48

Upstairs hall

Living & Dining Room

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Polished timber.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.



Photo 49

Living room



Photo 50

Living room



Photo 51

Dining room



Photo 52

Dining room



Photo 53

Open plan living kitchen and dining

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Solid surface.

Benchtops level - Yes.

Damage - No.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No. Faucet functional - Yes.

Heat shield - Tiled.

Cook-top - Electric - Checked. Functional - Yes.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Garbage disposal - Non-applicable.

Floor coverings - Polished timber.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 54

Kitchen



Photo 55

Kitchen

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard and Tiles - Paint finished.

Exterior joinery - Aluminium - Single glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Tiles.

Cistern & pan - Floor mounted. Tested - Functional - Yes.

Vanity - Floor mounted. Damaged cabinetry.

Taps and waste - Functional - Yes.

Splashback - Tiled.

Bath - Inbuilt (enclosed cradle).

Taps and waste functional - Yes.

Shower - Wet area shower.

Glass type - Safety.

Shower pressure - Good.

Water hammer - No noise or vibration noted.

Ventilation - Opening window sash. Mechanical - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units. It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.



Photo 56

Bathroom



Photo 57

Bathroom

Bedroom One

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Custom - Door - Hollow core. The wardrobe was unable to be fully inspected due to personal belongings.

Defects - Damaged carpet.

Recommendations:

It is recommended the carpet is repaired.



Photo 58

Bedroom one



Photo 59

Bedroom one

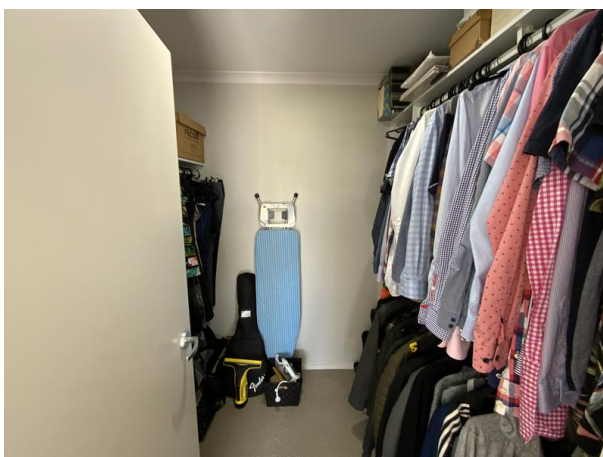


Photo 60

Bedroom one walk-in wardrobe



Photo 61

Damaged carpet, maintenance recommended

Bathroom Two

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Tiles.

Cistern & pan - Floor mounted. Tested - Functional - Yes.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Splashback - Tiled.

Taps and waste functional - Yes.

Shower - Wet area shower.

Glass type - Safety.

Shower pressure - Good.

Water hammer - No noise or vibration noted.

Ventilation - Opening window sash. Mechanical - Functional - Yes. Externally vented - Yes.

Heating - No.

Heated towel rail - Yes.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.



Photo 62

Bathroom

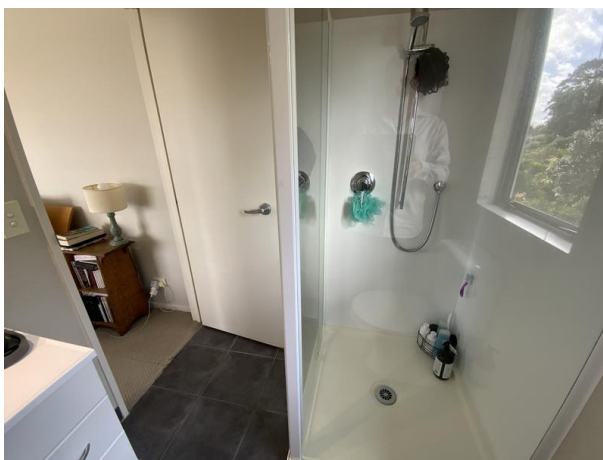


Photo 63

Bathroom

Bedrooms Two & Three

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core. The wardrobe was unable to be fully inspected due to personal belongings.



Photo 64

Bedroom two



Photo 65

Bedroom two



Photo 66

Bedroom three



Photo 67

Bedroom three

Laundry

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Located - Garage.

Floor coverings - Carpet.

Laundry tub/sink - Built in timber with a stainless steel tub. No visible issues. Functional - Yes.

Water hammer - No noise or vibration noted.

Cabinets - None.

Cupboards - Not applicable.

Ventilation - Opening door or window. None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.



Photo 68

Laundry

Garage

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Single glazed - Standard glass - Painted timber reveals.

Garage door - Tilt door - Double - Automatic opener functional - Yes - Aluminium construction - Not insulated.

Internal doors - Hollow core.

Floor coverings - Concrete.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.



Photo 69

Garage



Photo 70

Garage

Wall Framing

Readings using either Trotec T660, a non-invasive moisture tester, were taken from a minimum of three points inside all exterior walls and wet areas where accessible, i.e. around all windows, doors, bottom plates and wet areas.

The condition of the internal framing is unknown. Moisture content readings have not been corrected to consider timber species, preservative treatment or temperature. The readings obtained are, therefore, only indicative and are to be used to indicate locations of likely moisture ingress and the likely overall condition of the timber framing.

Recommendations:

At the time of inspection, an internal surface moisture test was completed, this was consistent throughout the house with no abnormalities. The condition of the internal framing is unknown.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

System	Type
Driveway	Concrete
Boundary Fences & Retaining wall	Timber
Deck	Timber
Drainage	Gully-traps, stormwater risers, sumps.
Heating.Cooling.Ventilation	Log burner
Services	Services

Driveway

Concrete pavers.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 71

Driveway

Boundary Fences & Retaining wall

Painted timber paling fixed to timber rails with timber posts.

Retaining walls

Type - Timber.

Height of retaining wall - 1.4m.

Moisture - Visible at the bottom of the wall.

Damage - No.

Recommendations:

General upkeep and maintenance, keep vegetation and soils clear of timbers as these timbers are only exterior treated and will rot if vegetation or soils are up against them. Some palings may need replacement.

Earth bound, visual inspection to exposed sections of the retaining wall only.



Photo 72

Fence



Photo 73

Fence



Photo 74

Retaining wall



Photo 75

Rear fence



Photo 76

Retaining wall

Deck

Timber deck over timber substrate with nail fixings.
Connected to dwelling - No. Located on the north of the home, accessed from the living room.

Recommendations:

General upkeep and maintenance. Punch nails that are protruding above the decking as required.
Replace timbers as required that are unsafe.



Photo 77

Deck



Photo 78

Deck



Photo 79

Sample photo of the underside of the deck



Photo 80

Deck timber not secured in place by the gate, recommend this is nailed down

Drainage

Drainage. Gully traps, stormwater risers, and sumps were checked with no visible issues at the time of inspection.

Recommendations:

Keep vegetation and soils clear of drainage. Surface water needs to be prevented from flowing into a trap by ensuring that the rim of the gully dish is at least: 25 mm higher than a paved surface and/or 100 mm higher than an unpaved surface. Gully traps should be accessible for cleaning and maintenance.

A deck may be built over a gully trap, but at least 600 mm of clear access space above the trap must be provided. This is for access to the gully trap for drainage inspections and maintenance in the event of blockages.



Photo 81

Storm drain connection



Photo 82

Drainage vent



Photo 83

Storm drain connection



Photo 84

Storm drain connection



Photo 85

Storm drain connection



Photo 86

Drain strip in front of the garage, ensure this is kept clear

Heating.Cooling.Ventilation

Log burner

Recommendations:

Check with territorial authority for solid fuel burners compliance. Have a heating specialist investigate and report on the firebox condition. It is recommended to have the flue cleaned and checked annually.



Photo 87

Fireplace, not tested

Services

Services - Tested - Yes or No

Fire warning & control systems - No.

Heating systems - No.

Central vacuum systems - Not Applicable.

Ventilation systems - Not Applicable.

Security systems - Not Applicable.

Security cameras - Not Applicable.

Electricity services - No.

Gas services - Yes.

Water services - Yes.

Hot water services - Yes.

Foul water services - Yes.

Grey water recycling system - Not Applicable.

Rainwater recycling system - Not Applicable.

Solar heating - Not Applicable.

Solar power/panels - Not Applicable.

Aerials & antennae - Not Applicable.

Shading systems - Not Applicable.

Telecommunications - Not Applicable.

Lifts - Disabled access - Not Applicable.

Water pump - Not Applicable.

Storm-water soak pits - Not Applicable.

Distribution board - No.

Header tank - Not Applicable.

Communications hub - No.

Electrical

Electrical sockets - All accessible sockets throughout the house were tested at the time of the inspection - All sockets tested were operational.

Earth stake - Location - West side next to the garage.

Meter box - Location - West side next to the garage.

Electrical connection - Underground supply.

Water heating

Type - Mains pressure electric cylinder.

Capacity - 180L.

Approximate age - Unknown. 2002

Seismic bracing - Strapping.

Area serviced - Entire house.

Water source - Town supply.

Gas Meter - None.

Sewage Disposal - Council sewer.

Mature trees on the property.

Recommendations:

Engage a registered electrician for all repairs and maintenance. Replace plug covers as required.

Fire and Emergency New Zealand recommend installing a smoke alarm in every bedroom, hallway and living area. You may also choose to install a heat alarm in the kitchen, laundry, bathroom or garage. Regular checks to ensure smoke detectors are functional. All services should be tested and maintained by certified professionals to manufacturer's specifications.

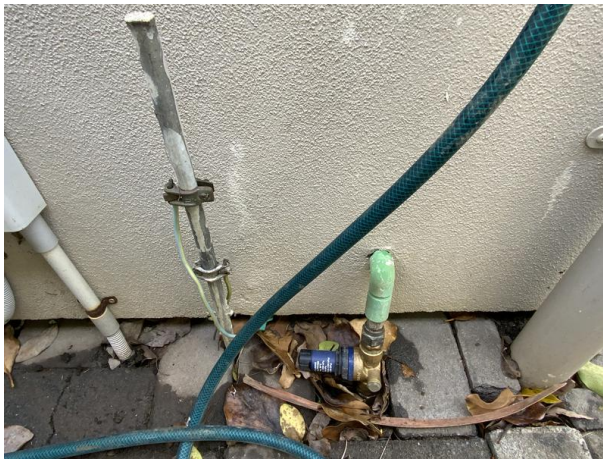


Photo 88

Earth and water connection



Photo 89

Fibre connection



Photo 90

Mains connection



Photo 91

Fuse panel



Photo 92

Smoke alarm



Photo 93

Automatic garage door opener



Photo 94

Sample photo of the electrical plug test, all tested plugs passed



Photo 95

Gas bottle for cooking



Photo 96

Hot water tank

CONCLUSION

This property was furnished at the time of inspection, this obstructs the view of some areas. When the property is vacant, we recommend that a final inspection be carried out before settlement, and areas hidden by furnishings, stored items and appliances be checked for any defects or moisture ingress.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd. Report Types - Only the reports purchased are contained within the following report. For the type of report purchased, please refer to page 3, Inspection Type. One or more of the following will be listed - Pre-Purchase Report. Meth Testing. Floor Levels. This report complies with New Zealand standards for building inspection NSZ4306:2005. We recommend checking local authority records to ensure that any permits, consents and Code Compliance Certificates are complete with the materials and finishes matching and the floor layout matching the plans.

The buildings' age was considered when the inspection and reporting was carried out. The building elements and components were surveyed based on 'the expected condition of the materials' considering their use, location and age. Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident, which are expected and can be attended to as part of normal maintenance. Floor levels were checked using a self-levelling laser, all axis checked were within our building code of +/-10mm.

There are areas, as noted within the report, that requires maintenance. Relevant trade people, such as painters and carpenters, should be engaged to remediate work outside the homeowner's skill level in any required areas. It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major and to maintain weathertightness.

The dwelling is structurally sound and fit for purpose.