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PROPERTY FILE

22-Oct-2014

P and M Ayres
26 Daffodil Street
Titirangi
AUCKLAND 0604

Dear Sir or Madam

Building consent number: ABA-2014-838
Address: 26 Daffodil Street, TITIRANGI
Description: RES1: Bathroom addition.
Area office: Henderson

Code Compliance Certificate (CCC) approved

We refer to the building consent for the above described work. Please find attached your code compliance certificate issued under s.95 of the Act, which confirms the satisfactory completion of this project.

If you have any further queries regarding this matter, please contact the undersigned on (09) 301 0101 extn 42 8084 or email quoting the above building consent number.

Yours faithfully

Kathleen Handley
Process Support Administrator
BUILDING CONTROL- HENDERSON SERVICE CENTRE
Email: InspSupport@aucklandcouncil.govt.nz

Code compliance certificate

Section 95, Building Act 2004
(Form 7 – Building (Forms) Regulations 2004)



THE BUILDING

Building consent number:	ABA-2014-838	Date building consent issued:	27-Jun-2014
Street Address of building:	26 Daffodil Street, TITIRANGI		
Legal description of land where building is located:	LOT 93 DP 55504		
Currently, lawfully established use:	Residential		
Year first constructed:	1972		

THE OWNER

Name of owner:	P J Ayers and M J Ayers		
Mailing address:	26 Daffodil Street, Titirangi, AUCKLAND 0604		
Street address/ registered office:	26 Daffodil Street, Titirangi, AUCKLAND 0604		
Phone Number: Landline:	N/A	Mobile:	027 451 9063
Daytime:	N/A	After hours:	N/A
Facsimile No:	N/A		
Email address:	Philip@advista.co.nz		

BUILDING WORK

The following building work is authorised by this building consent:

RES1: Bathroom addition.

CODE COMPLIANCE

The building consent authority named below is satisfied, on reasonable grounds, that:

The building work complies with the building consent

On behalf of Auckland Council:		Date issued:	22-Oct-2014
Print name:	Ian McCormick	Position:	Manager, Building Control

Auckland Council, Private Bag 92300, Auckland 1142

Important information about the maintenance of your building



New Zealand is one of the few countries in the world that requires buildings and building components to last for specified minimum periods as part of legislation. It is therefore important that normal maintenance is carried out on buildings to ensure they meet legislative requirements.

Normal maintenance is defined as work that is necessary to achieve the expected durability periods for each building component. The frequency and nature of that maintenance will depend on the material or system, its geographical location and position within the building, and may involve the replacement of some components, which are subject to accelerated wear.

The Building Code (B2/AS1, clause 2) states that it is the responsibility of the person specifying (designing) the building elements to determine normal maintenance requirements. This information is usually contained within the specifications attached to your building consent. Maintenance requirements are often based on manufacturer's recommendations and may include the periodic inspection of elements that are not readily visible without special effort (e.g. access to the roof or sub-floor spaces).

Normal maintenance tasks include, but are not limited to:

- Regularly washing down external surfaces, especially those subject to wind driven salt spray
- Regularly cleaning internal surfaces, especially those subject to moisture (bathrooms, laundries, etc)
- Ensure your home / building is well-ventilated; open windows and clean air-extraction systems
 - Dampness encourages mould and mildew which can harm your health
- Ensure ground levels are maintained around the building and kept well below the cladding
 - Don't block subfloor ventilators or weep holes in brick veneer, they are there for a reason
 - Remove all moss, dirt, overgrown vegetation and obstacles
- Removing and cleaning water traps in showers to remove hair and other foreign matter
- Re-coating or painting interior and exterior surface finishes
- Replacing sealant, seals and gaskets in joints
- Replacing valves, washers and similar high-wearing components in service equipment and other building elements
- Cleaning and replacing filters in building services
- Cleaning out gutters and spouting
- Cleaning out cess pits and cut-off drains
- Regular servicing of boilers, cooling towers, lifts, escalators, emergency lighting and fire protection equipment
- Regular servicing of heating, ventilation and air-conditioning systems
- Cleaning and maintaining signs for access, escape routes, emergency equipment and hazardous areas

Maintenance does not include replacing or upgrading building elements to meet the demands of new technology or to increase the environmental expectations of users.

For more information about maintenance, please refer to the Consumer build website at <http://www.consumerbuild.org.nz/publish/maintenance.php>

Building consent

Section 51, Building Act 2004

(Form 5 – Building (Forms) Regulations 2004)



THE BUILDING

Building consent number:	ABA-2014-838	Date building consent issued:	27 June 2014
Street address of building:	26 Daffodil Street, TITIRANGI		
Legal description of land where building is located:	LOT 93 DP 55504		
Building name:	N/A		
Location of building within site / block number:	N/A	Level or unit number:	

THE OWNER

Name of owner:	P J Ayers and M J Ayers		
Contact person			
Mailing address:	26 Daffodil Street, Titirangi, AUCKLAND 0604		
Street address / registered office:			
Daytime phone:		Mobile:	
After hours:		Facsimile:	
Email address:			
Website:	N/A		

FIRST POINT OF CONTACT FOR COMMUNICATION (Must be in New Zealand)

Full name:	Matt Davy		
Mailing address:	PO BOX 32318 DEVONPORT		
Street address / registered office:			
Daytime phone:		Mobile:	0275163717
After hours:	N/A	Facsimile:	
Email address:	matt@heritagearchitects.co.nz		

BUILDING WORK

The following building work is authorised by this building consent:

RES1: Bathroom addition.

BUILDING CONSENT

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Under s.90 of the Act, agents (staff and contractors) authorised by the Building Consent Authority are entitled at all times during normal working hours or while building work is being done, to inspect the building work and ensure the provisions endorsed on the building consent are being carried out.

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COMPLIANCE SCHEDULE

No Compliance Schedule is required for this consent.

ATTACHMENTS *copies of the following documents are attached to this building consent*

- Project Information Memorandum
- Development contribution notice
- Resource Management Act notice
- AC1129 List of approved specified systems included in this building consent
- Other authorisations and approvals required
- Schedule of inspections and documentation required for compliance

OTHER AUTHORISATIONS AND APPROVALS REQUIRED

No additional authorisations or approvals are required for this consent.

SIGNED ON BEHALF OF AUCKLAND COUNCIL BY:

Signature:



Date issued:

27 June 2014

Name:

Ian McCormick

Position:

Manager, Building Control

For all queries regarding your building consent, building inspections and code compliance certificate (CCC), please phone 09 301 0101

Auckland Council, Private Bag 92300, Auckland 1142

Schedule of inspections and documentation required for compliance



Application number:	ABA-2014-838
Property Address:	26 Daffodil Street, TITIRANGI

Introduction

Please read all documentation associated with this building consent in detail; documentation includes:

- the building consent, which lists building consent conditions, compliance schedule requirements and attachments
- advice on any other authorisations or approvals that maybe required; and
- advice notes and an inspection schedule (this document)

As the building owner, you have very significant procedural and legal obligations, which need to be met in order that the building work is properly completed and to enable a code compliance certificate to be issued by Council on completion of the work. If there are details or issues that are unclear, you should clarify these by contacting the Council or seeking independent legal advice.

Council has developed a building consent guidance document, which provides information on your legal obligations and information that will assist you in successfully completing your building project.

How work is certified:

<http://www.aucklandcouncil.govt.nz/SiteCollectionDocuments/BrochHowWorkIsCertified.pdf>

How work is inspected:

<http://www.aucklandcouncil.govt.nz/SiteCollectionDocuments/BrochInspections.pdf>

Section A: Advice Notes

Booking Inspections

Please make sure that you call for the inspections identified in section B of this documentation. It is advisable that you plan your inspections well ahead of time and book these inspections with as much notice as possible. If insufficient notice is given, Council may not be able to schedule the inspection at your preferred time and this may cause construction delays.

Restricted Building Work

The following restricted building work must be carried out or supervised by a licensed building practitioner (LBP)

- foundations (includes floor slab)
- bricklaying
- blocklaying
- carpentry
- external moisture management systems (all wall and roof claddings)

The **owner** is required to notify Council of the name of each LBP involved in this project prior to work commencing. As this project involves multiple elements of restricted building work, please ensure all trades are notified.

As soon as the work is completed, the **LBP** is required to provide a copy of their memorandum (record of work) to the owner and Council.

If an amendment occurs during construction, that affects the primary structure, the **Design LBP** must submit a copy of the amended plan and memorandum (certificate of design) to Council for approval. A copy of the amended plans must be attached to the memorandum and be available on site for inspection.

Compliance with Manufacturers' Specifications

Schedule of inspections and documentation required for compliance

Products and systems incorporated in the proposed building work must be constructed as approved in this consent and in compliance with the manufacturers' specifications.

Note:-

1. The drawings or details referenced in the manufacturers' specification cannot be substituted for specifically approved drawings or details in this building consent.
2. It is the owner(s) responsibility to ensure that the manufacturers' specifications relevant to this building project are on site and available for the Council staff during the inspection process. The manufacturer's specification must be the version that was current at the time your building consent was issued.

Consent Documents on Site

Please ensure that a full copy of the approved building consent documents is on site at all times, together with the previous inspection records so that the Council staff can undertake inspections.

Durability

Clause B2 – Durability (section 2) of the New Zealand Building Code compliance documents specifies the requirements relating to durability of specific building elements. Please note that many of these elements require regular maintenance to be undertaken to maintain the durability requirements, for the specified period, as required by the New Zealand Building Code.

Erosion and Sediment Control

Effective erosion and sediment control measures must be provided on site to ensure that runoff from construction minimises the discharge of silt or sediment as required by the erosion and sediment control plan of the Auckland Council (previously controlled by the former Auckland Regional Council (ARC)).

Notations on Plans

Notations on the plans are as agreed to by you.

Booking Inspections

Please make sure that you call for the inspections identified in section B of this documentation. It is advisable that you plan your inspections well ahead of time and book these inspections with as much notice as possible. If insufficient notice is given, Council may not be able to schedule the inspection at your preferred time and this may cause construction delays.

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Schedule of inspections and documentation required for compliance

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Notations on Plans

Notations on the plans are as agreed to by you.

Section B: List of Notifiable Inspections

In order for a code compliance certificate (CCC) to be issued, Council needs to be satisfied on reasonable grounds that the completed building work complies with the approved building consent. To enable this to be achieved, the building owner is responsible for ensuring the following inspections are booked and undertaken and supplying the documentation listed in Section C Producer statements, testing certificates and warranties to confirm compliance during construction

Req'd	Number of inspections	Inspection type	Description of inspection
<input checked="" type="checkbox"/>		Wall / roof framing IFG	Wall / roof framing To check hold down straps, bolts, wall and roof framing members; bracing; tie downs; wall framing; beams and lintels; plywood substrates for membranes including falls and outlets Note: Timber treatment and truss layout certificates required
<input checked="" type="checkbox"/>		Membrane/Tanking ITK	Membrane roof, deck and wet areas To check the application of the membrane prior to completing decoration, floor coverings and roof claddings
<input checked="" type="checkbox"/>		Plumbing P/L IPP	Preline plumbing To check pipe work is under test (water supply and soil wastes) Note: This inspection maybe included with the preline building inspection
<input checked="" type="checkbox"/>		Final residential IF1	Final inspection To check that all construction associated with the building consent has been completed; this includes painting and decorating; floor coverings; fixtures; fittings; electrical work; heating appliances; etc Note: Electricity must be connected at time of inspection

Schedule of inspections and documentation required for compliance



Section C: Producer statements, testing certificates and warranties required to confirm compliance during construction

Energy Works Certificate - Electrical

The electrician is required to submit an energy works certificate certifying that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the Electrical Regulations

Producer Statement Construction (PS3) Waterproofing Membrane

A producer statement construction (PS3) is to be submitted by the waterproofing membrane applicator for each membrane application, e.g. roofs, decks, tanking and wet areas confirming that construction meets the requirement of this approved building consent and any relevant New Zealand Building Code clauses

Product Warranty - Waterproof Membrane

A warranty certificate from the waterproof membrane supplier or manufacturer for roofs, decks tanking and wet areas membranes is required confirming that the work complies with the design as approved in this building consent and any relevant New Zealand Building Code clauses

9 June 2014

DAVE PEARSON ARCHITECTS
PO Box 32318
Devonport
AUCKLAND 0744
Attn: Matt Dave

Dear Sir

Building consent number: ABA-2014-838
Address: 26 Daffodil Street, TITIRANGI
Description RBW-RES1 Bathroom addition
Area office Henderson

Request for further information

This letter is to advise you that I have received your building consent for the above property and require further information to help progress the application.

Please be advised that the statutory timeframe on your application has been suspended and the clock will not restart until all information has been received and checked.

Please provide your response addressing all the items below, together with two copies of the relevant information and revised plans, (where applicable) and address it to my attention:-

BUILDING SURVEYOR

Please contact Erina Huang on 09 301 0101 extension 8916 or Email: erina.huang@aucklandcouncil.govt.nz for any further clarification relating to the requirements listed below.

Site Plan:

1. Please provide Site Plan and Existing Basement Floor Plan.
2. Please provide existing public & private drainage plan - show location and connections.

E3 Internal Moisture:

3. Please provide ventilation/condensation control details – Mechanical ventilation system?
4. Please confirm for single skin normal weight masonry based wall construction without a cavity, the R-values shall be no less than 0.6 – refer to NZBC E3/AS1 1.1.1(b).

F7 Warning Systems:

5. Please confirm smoke alarm status in existing building as per F7/AS1.

G12 Water supplies:

6. Please confirm the water supply details – refer to NZBC G12.3.5.

Important notes:

- This letter refers to <<Building>> issues only. Other processors may still be reviewing your application and require further information.
- If your response results in changes to engineer designed plans, which are supported by a producer statement; the revised plans must be signed by the producer statement author
- All changes should be clearly marked (i.e. clouded) on the revised plans and each sheet version controlled and dated.
- Council's policy requires that all information be provided within one month or (30 calendar days) from the date of this letter. Failure to provide this information on time may result in the application being refused.

If you have any further queries regarding this matter, please contact your local Council Service Centre or call the Council Call Centre on (09) 301-0101 quoting the above building consent number and service centre.

I look forward to receiving the information requested so that I may continue processing your application.

Yours faithfully

Erina Huang

BUILDING CONTROL-WESTERN

cc: **Owner:**

P J Ayers and M J Ayers
26 Daffodil Street
Titirangi
AUCKLAND 0604

9 June 2014

P J Ayers and M J Ayers
26 Daffodil Street
Titirangi
AUCKLAND 0604

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Important notes:

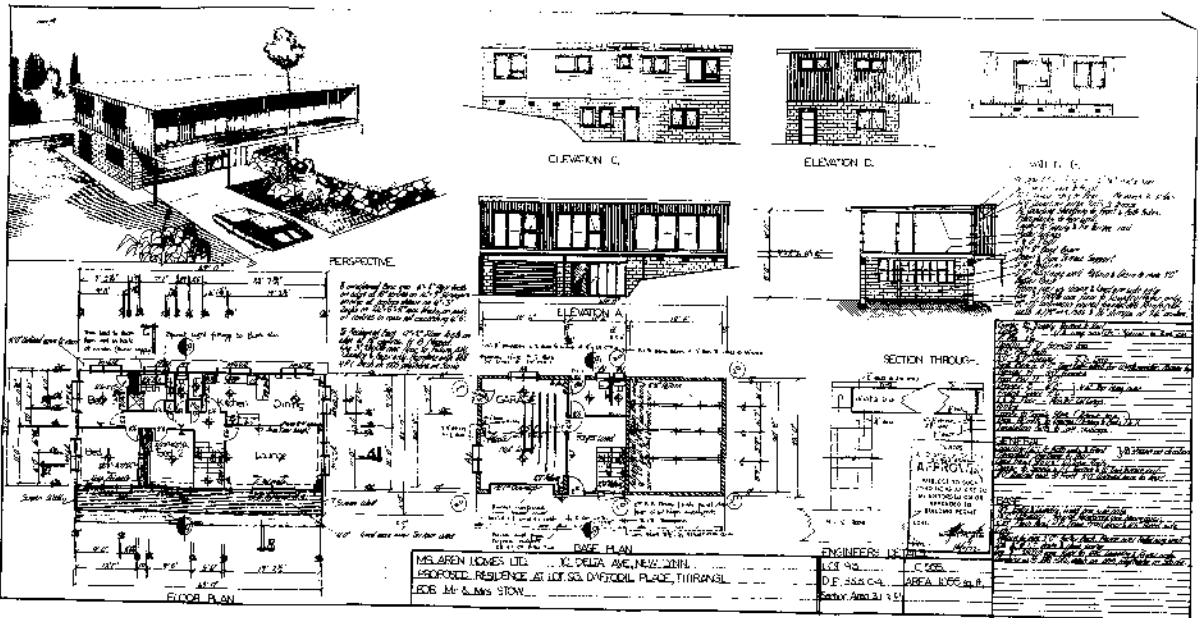
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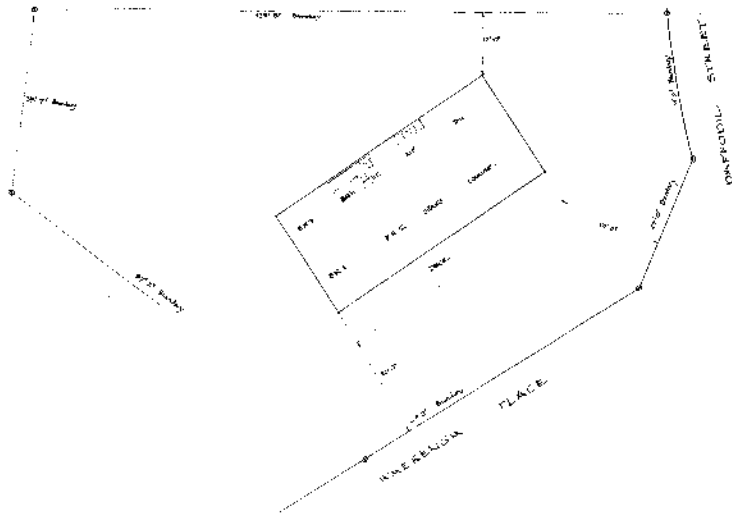
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I look forward to receiving the information requested so that I may continue processing your application.

Yours faithfully

Erina Huang
BUILDING CONTROL-WESTERN





SITE PLAN FOR:
MR & MRS STOW, of:

Lot No. 23, Balfour Street,
Op. No. 55504,
Block 21 & 22,
Strangways.

Scale: 1" = 10'



C. 565

Waitakere City Council

Building Consents

Page: 1

Date: 20/06/96

Property Id	Z0048964000
Legal Desc	LOT 93 DP 55504
Property Address	26 DAFFODIL ST, TITIRANGI WAITAKERE CITY, 1007
Owner's Name	HILKE ROUF & ROSEMARIE
Unauthorised work exists?	N

Riding ~~WAIMANGI C.T.~~

Ref No. 341 / 857 / 12

County of Waitemata

No 20455 //

BUILDING PERMIT

Date 22.11.72

Owner of Section D. Etow

Address Flat 2, 17 Pulcerangi Cres., Ellerslie

This Permit is granted to the undermentioned person authorising the following building work on

Lot No. 93 D.P.56504

on 26 Deffedil St. Road Titirangi

in accordance with the plans lodged and

subject to the following conditions: Subject to the provisions of Sec.22(5) of the Counties Amendment Act, 1961.

Nature of proposed work Dwelling

Value of work, \$16,148

Fee \$57 : 00 : Rec. No. 38647 9/11/72

For the Waitemata County Council.

Melaram Homes Ltd,
72 Astley Ave,
NEW LYNN:

Duty Authorised Officer.

FOR FURTHER CONDITIONS SEE OVER.

18/10/74

Register Noted Date

Final Inspection

18/10/74

Building Inspected Date

Inspector

ent

Rolling CITY COUNCIL C.C.T.

Roll No. 341 / 037/ 12

County of Waitemata

BUILDING PERMIT

No 20455

Owner of Section P. Stow

Address Flat 2, 17 Tekeoheke Cres., Silcock

Date 22.11.72

This Permit is granted to the undermentioned person authorising the following building work on

Lot No. 93 P.D. 55504

on 26 Bedford St. Road Mt. Eden

in accordance with the plans lodged and

subject to the following conditions: Subject to the provisions of Sec. 22(5) of the Counties Amendment Act, 1961.

Nature of proposed work: Walling

Moham Toman Ltd,
72 Astley Ave,
Mt Eden

Value of work, \$16,143

Fee \$57 : 10 : Rec. No. 50087 9/11/72

For the Waitemata County Council.

Duly Authorised Officer.

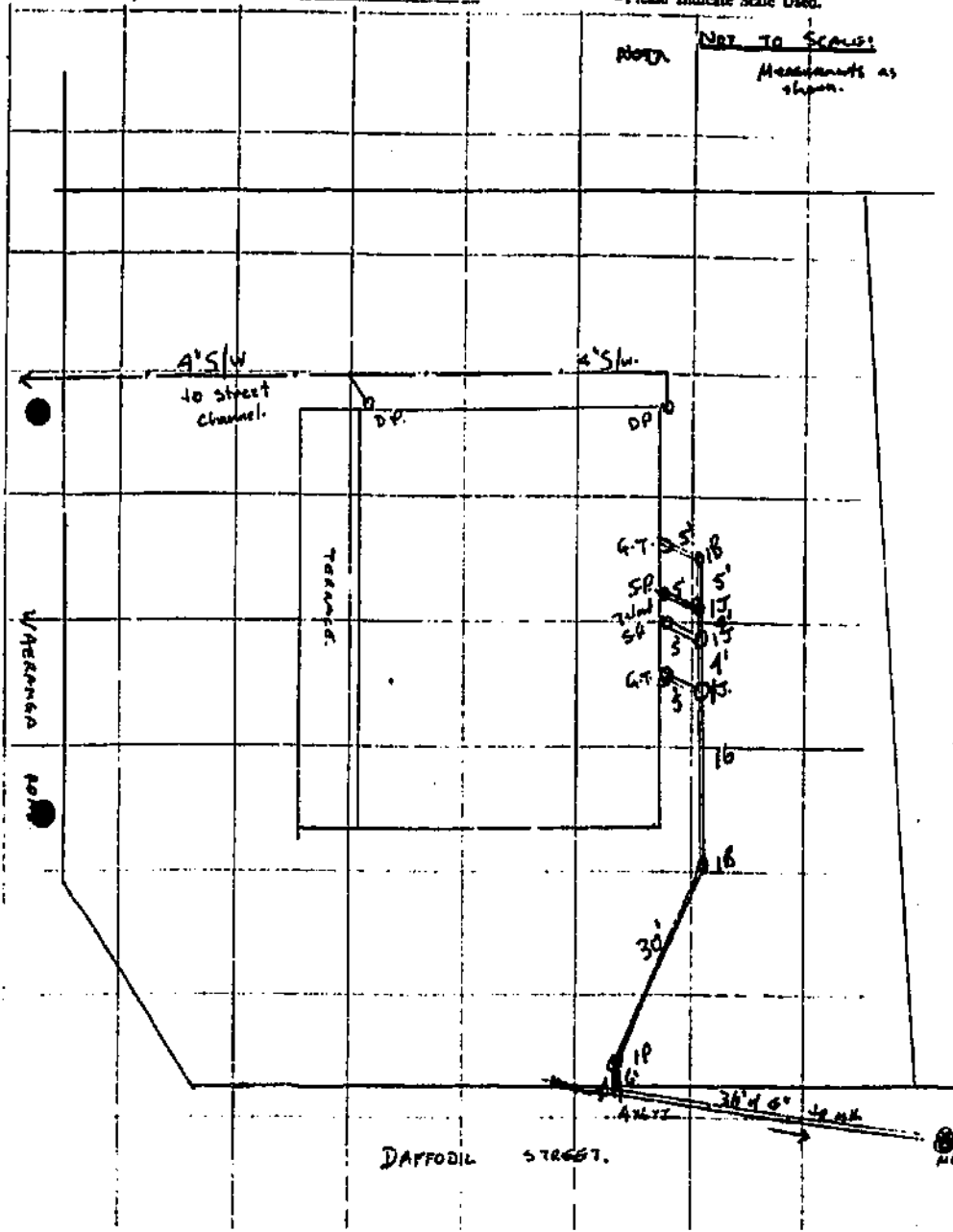
GRAPH FOR PLAN—

Page 3

Where drainage plans are necessary (see page 2) the graph below is to be completed accurately to scale in ink, and must show clearly street boundary, property boundaries, outline of buildings as well as layout of ALL drains & inspection fittings.

Owner's Name: STOW.
 Address of Property: DAFFODIL STREET.
 Lot: 93 D.P. 53504
 Drafter's Name: J. A. NEILL.

Scale:
 Where possible use 1" = 1 foot
 Otherwise use 1/4" = 1 foot
 Please Indicate Scale Used.



NOTE: NOT TO SCALE!
 Measurements as shown.

For Office Use Only:

Drainage Permit No. 46746
 Building Permit No. 20455

Date inspected 11/6/73 Inspector _____

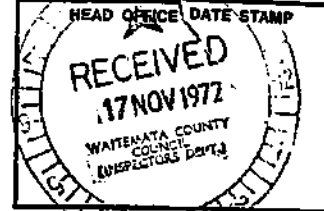
Remarks: _____

Robert Chamberlain 43917

APPLICATION NO. 873/26
DISTRICT OFFICE NO. 123/3

PERMIT NO. 20455
DATE ISSUED 22/11/72

LOGGED AT DISTRICT OFFICE
DISTRICT
DATE 10/11/72 D 25



WAITEMATA COUNTY COUNCIL

68 GREYS AVENUE (P.O. BOX 5440), AUCKLAND. PHONE 33-419.

BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME DAVID STOW (BLOCK CAPITALS) PHONE NO. 662069
PRESENT POSTAL ADDRESS Flat 2 17 Petterangi Cres. Ellerslie
BUILDER: NAME McLAREN HOMES LTD PHONE NO.
POSTAL ADDRESS 72 ASTLEY AVE NEW LYNN.
(Form will be passed to builder unless otherwise requested)
SIGNATURE OF APPLICANT K. H. Hall

NATURE OF PROPOSED BUILDING WORK
PRIVATE RESIDENCE

FLOOR AREA OF PROPOSED WORK
Basement: 400
Ground Floor: 1050
First Floor:
Others:
Total: 1450 sq ft.
PAYABLE ON APPLICATION.

VALUE OF WORK \$ 16,148-00 FEES 57-00

FULL LEGAL DESCRIPTION OF SECTION
(as appears on either rate demand or title deeds)
Lot 93 on Deposited Plan 55504

BUILDING RESEARCH ACT 1969
Levy on Buildings Valued in excess of \$2,000
Amount of Levy \$9-00 (18%)
Receipt No. 38650
Date 9-11-72

VALUATION ROLL NO. 341 / 837 / 12

NAME OF PREVIOUS OWNER OF SECTION Not known

AREA OF SECTION 31.2 P. ACT(S) FRONTAGE 31'2 27'0"

ROAD NAME Daffodil St. LOCALITY Titirangi

IMPORTANT — SEE INSTRUCTIONS ON PAGE FOUR

FOR OFFICE USE ONLY

REMARKS

Permit Issued Subject to the Following Conditions

Approved by [Signature] Building Inspector 16/11/72 Date
Approved by [Signature] Plumbing/Drainage Inspector 16/11/72 Date
Approved by [Signature] Health Inspector 17/11/72 Date
Town Planning Zoning R1A Town Planning Officer [Signature] Date
Building Permit Fee \$ 57-00 Receipt No. 38647 Date 9-11-72
Road Damage Deposit Fee \$ 40-00 Receipt No. 38649 Date 9-11-72
Road Damage Deposit Refund \$ 40 To Older Date 22 APR 1974
Cost of Vehicular Crossing \$ [Signature] Date

Electricity Transmission Lines: Present/Not Present over property*

Location of ARA or NSDB Trunk Sewers Checked — Release/Hold*

*Delete not applicable.

Initials _____ Date _____

PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY

(Full specifications are required for all other work)

FOUNDATIONS

If solid concrete. Size of footings Walls Reinforcing

If concrete blocks. Size Spacing

N.B. All blocks must be at least 12" in to ground and set on a 12" x 12" x 4" concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size .....	.....	.....	Top Plates. Size
Noggins	Size .....	.....	.....	Number of rows of noggins

N.B. (a) Minimum stud height for dwellings is eight feet.
 (b) Top window trimmers must be checked $\frac{1}{2}$ " or otherwise supported.

ROOF

Covering	Size	Ridges. Size	Purlins. Size	
		Sarking. Size	Under Purlins	
Rafters	Size	Spacing	Span	Timber

MISCELLANEOUS

Flooring. Size Exterior Sheathing

Inside Lining

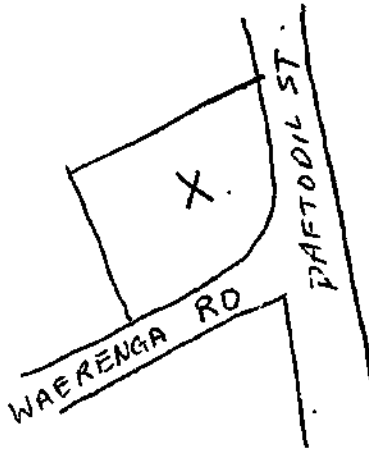
Is any second-hand material to be used in the proposed construction? If YES, then a separate application must accompany this form.

SANITATION

Privy Type e.g. water closet, chemical pan or night soil?

N.B. If chemical pan or night soil pan, the privy building must be at least 15' away from dwelling.

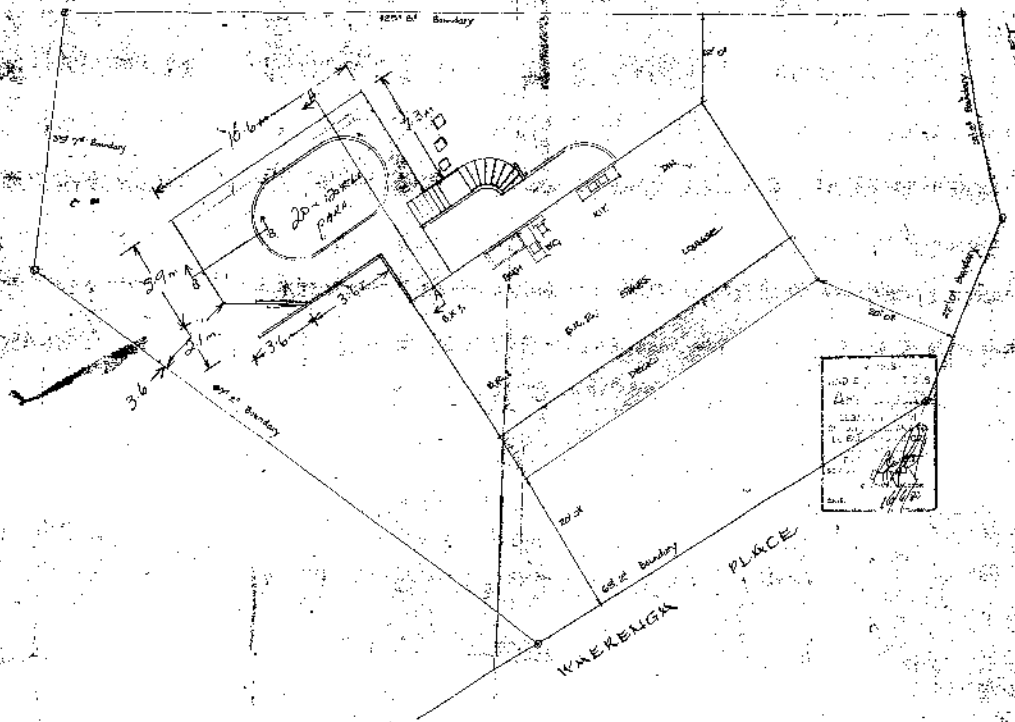
LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



DRAINAGE AND PLUMBING

All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Health Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.



SITE

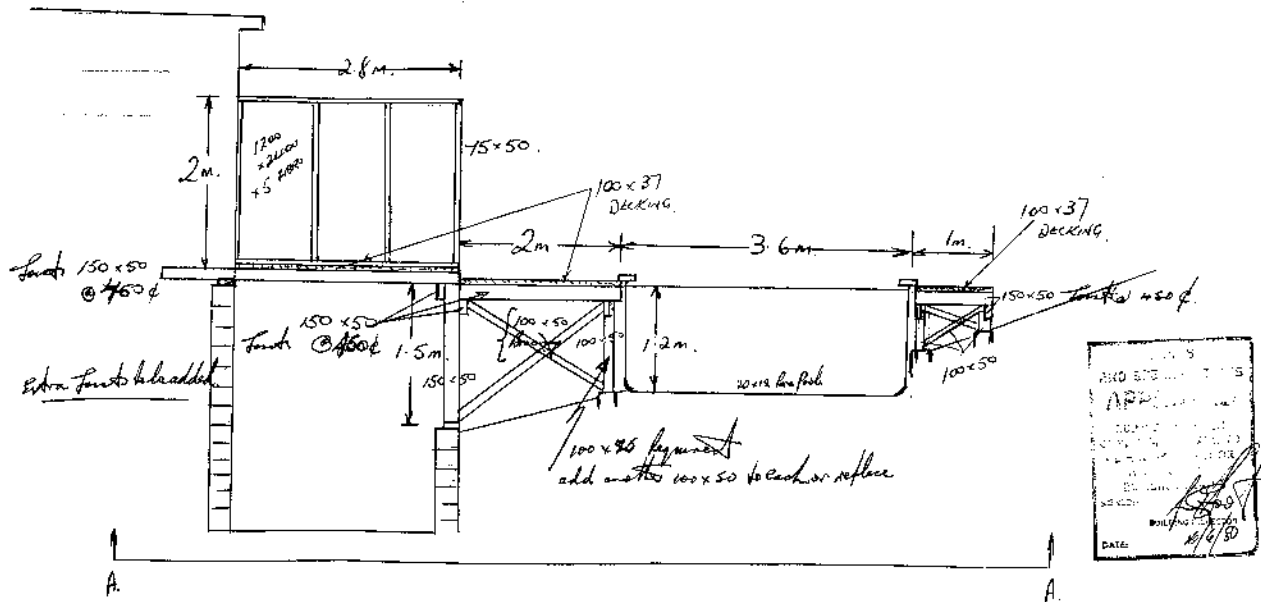
MR

93 Lot No
 SSS04 Dip No
 322 Area :
 Titirangi

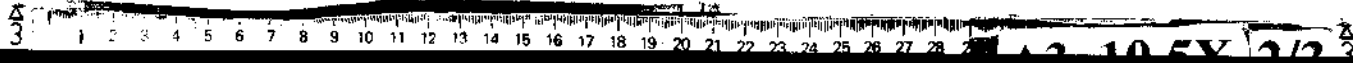
Scale



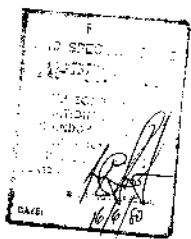
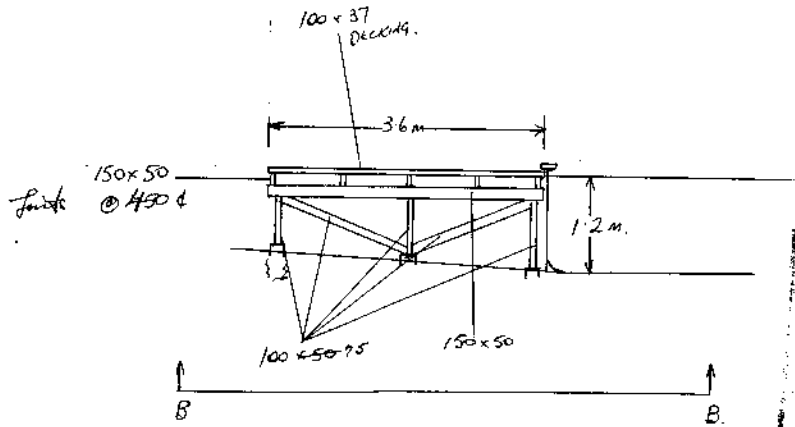
1' - 1m.



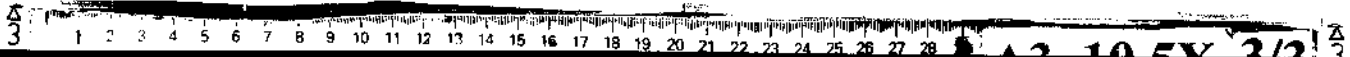
R. D. Stone
26 Dutton St
TITIRANG!



1" = 1 m.



R.D. Spaw
26 Dorrville St
Troy, Calif.



Waitakere City Council

Building Consents

Page: 1

Date: 20/06/96

Property Id	20048964000
Legal Desc	LOT 93 DP 55504
Property Address	26 DAFFODIL ST, TITIRANGI WAITAKERE CITY, 1007
Owner's Name	HILKE ROUF & ROSEMARIE
Unauthorised work exists?	N

CITY OF WAITEMATA

Roll No.

54100/837/12

BUILDING PERMIT

No 14918

18th July 1980

Date 14918

Owner of Section

R. D. STOW,

Address

26 Daffodil St, TITIRANGI.

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No 3 D.P. 55504

on

26 Daffodil St, TITIRANGI.

in accordance with the plans lodged and

subject to the following conditions: 1) This permit is to regularise construction of decks, stairs and screen walls. 2) All construction to be brought up to Council requirements.

3) To notations on plans.

Nature of proposed work

POOL SURROUND.

Decks & Screen Walls unattached

Value of work, \$ 1,200

R. D. STOW

Fee \$ 13: 0 : 0 Rec. No. J1 6/6/1980

For the Waitemata City Council

Duly Authorised Officer.

FOR FURTHER CONDITIONS SEE OVER

980

5504

and

and

Building Inspected. Date _____ Insp. Inst. _____

Final Inspection

OK. dup. still not finished

JSK

Inspector

Register Noted.

Date

6-9-90

CITY OF WAITEMATA

F
Reel No. / /

34100/837/12

BUILDING PERMIT

No 14918

18th July 1980

Date 14918

Owner of Section

R. O. STOW,

Address

26 Daffodil St, TITIRANGI.

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No 93 D.P. 55504 on 26 Daffodil St, TITIRANGI. in accordance with the plans lodged and

subject to the following conditions: 1) This permit is to regularise construction of decks, stairs and screen walls. 2) All construction to be brought up to Council requirements. 3) No notations on plans.

Nature of proposed work

POOL SURROUND.

R. O. STOW

Value of work, \$1,200

Fee \$ 13 : 0 : 0 Rec. No J1 6/6/1980

For the Waitemata City Council

Duly Authorised Officer.

1980

5504

and

and

....

NO AS BUILT

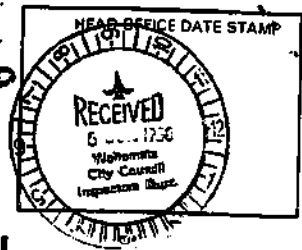
DRAINAGE PLAN

PROVIDED

AT TIME OF MICROFILMING

APPLICATION No. 4400/5
FINAL CHECK Initials [Signature]
Date 17/3/80

PERMIT No. 14918
DATE ISSUED 18/3/80
Authorised Officer [Signature]



CITY OF WAITEMATA
JOHN HENRY CENTRE, 6-8 PIONEER STREET, HENDERSON
POSTAL ADDRESS: PRIVATE BAG, HENDERSON 8 - PHONE: HSN 61-195 and 61-119
INSPECTORS DEPARTMENT C - GROUND FLOOR

BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME STEW R D (BLOCK CAPITALS) PHONE No. 717 780
PRESENT POSTAL ADDRESS 26 DAVENILL ST TITIRANGI
BUILDER: NAME PROVE PHONE No.
POSTAL ADDRESS
SIGNATURE OF APPLICANT [Signature]
(Permit will be issued to builder unless otherwise requested)

NATURE OF PROPOSED BUILDING WORK
floor & kitchen

VALUE OF WORK
Building (including the materials for Plumbing & Drainage) 1200.00
* Building Permit Fee \$
* Drainage (excluding materials) \$
* Plumbing (excluding materials) \$
* Separate permits to be obtained by Drainlayer and Plumber.
* Fee to be assessed on value of work excluding amount upon which Drainage and Plumbing Fees payable and may be paid at time of lodging application.
TA further 25% is payable on this fee where structural check is required.

FLOOR AREA OF PROPOSED WORK
Basement
Ground Floor
First Floor
Others Deck
Total 62 sqm

VALUATION ROLL NO. 34100, 837, 12
FULL LEGAL DESCRIPTION OF THE PROPERTY (as per Rate Demand or Title Deeds)
LOT 93
D.P. 535044

Building Research Act 1968
LEVY ON TOTAL VALUE OF \$3,000 OR MORE INCLUDING DRAINAGE AND PLUMBING WORK
Fee: \$1.00 per \$1000 or part thereof
Amount of Levy
Receipt No. N/A
Date

NAME OF PREVIOUS OWNER OF SECTION
AREA OF SECTION: 31.2 square metres (Show target signs in required)
FRONTAGE: 37m metres
ROAD NAME DAVENILL ST LOCALITY TITIRANGI, 1
IMPORTANT - SEE INSTRUCTIONS ON PAGE FIVE

REMARKS This application is for regularisation of unauthorised construction
FOR OFFICE USE ONLY

Permit issued subject to the following conditions:
This permit is to regularise the construction of decks, stone chimney walls
All construction to be brought up to all requirements of the Building Code

Approved by [Signature] Building Inspector 16/6/80 Date
Approved by [Signature] Plumbing/Drainage Inspector 18/6/80 Date
Approved by Health Inspector Date
Town Planning Zoning Res Low Date and Officer 9-6-80
Approved by [Signature] Town Planning Officer SAC Date

Building Permit Fee \$ 13- Receipt No. 31 Date 6/6/80
Structural Checking Fee \$ Receipt No. Date
Road Damage Deposit Fee \$ N/A Receipt No. Date
Road Damage Deposit Refund \$ To Date
Cost of Vehicular Crossing \$ exists Date

Electricity Transmission Lines: Present/Not present over property Initials <u>[Signature]</u> Date <u></u>	WCC Sanitary and Stormwater Sewers checked - Release/Hold Initials <u>[Signature]</u> Date <u></u>	Location of ARA Trunk Sewers checked - Release/Hold Initials <u>[Signature]</u> Date <u></u>
--	--	--

PLEASE REFER TO NOTES ON PAGE FIVE

SPECIFICATION TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY
(Full specifications are required for all other work)

FOUNDATIONS
 Type of Foundations..... e.g. Solid concrete, Blocks, Timber, Piles, etc.
 Size of footings..... Walls..... Reinforcing.....
 Size..... Spacing.....
 N.B.—All blocks must be at least 450mm into ground and set on a 300mm x 300mm x 100mm concrete pad.

FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size.....			Top Plates Size.....
Noggin:	Size.....		Number of rows of noggins.....	

N.B. (a) Minimum stud height for dwellings is 2.4m.
 (b) Top window trimmers must be checked 15mm or otherwise supported.

ROOF

	Size	Spacing	Span	Timber
Ridges	Size.....			Purlins Size.....
Sarking	Size.....			Under Purlins.....
Rafters	.....	.....	.....	.....

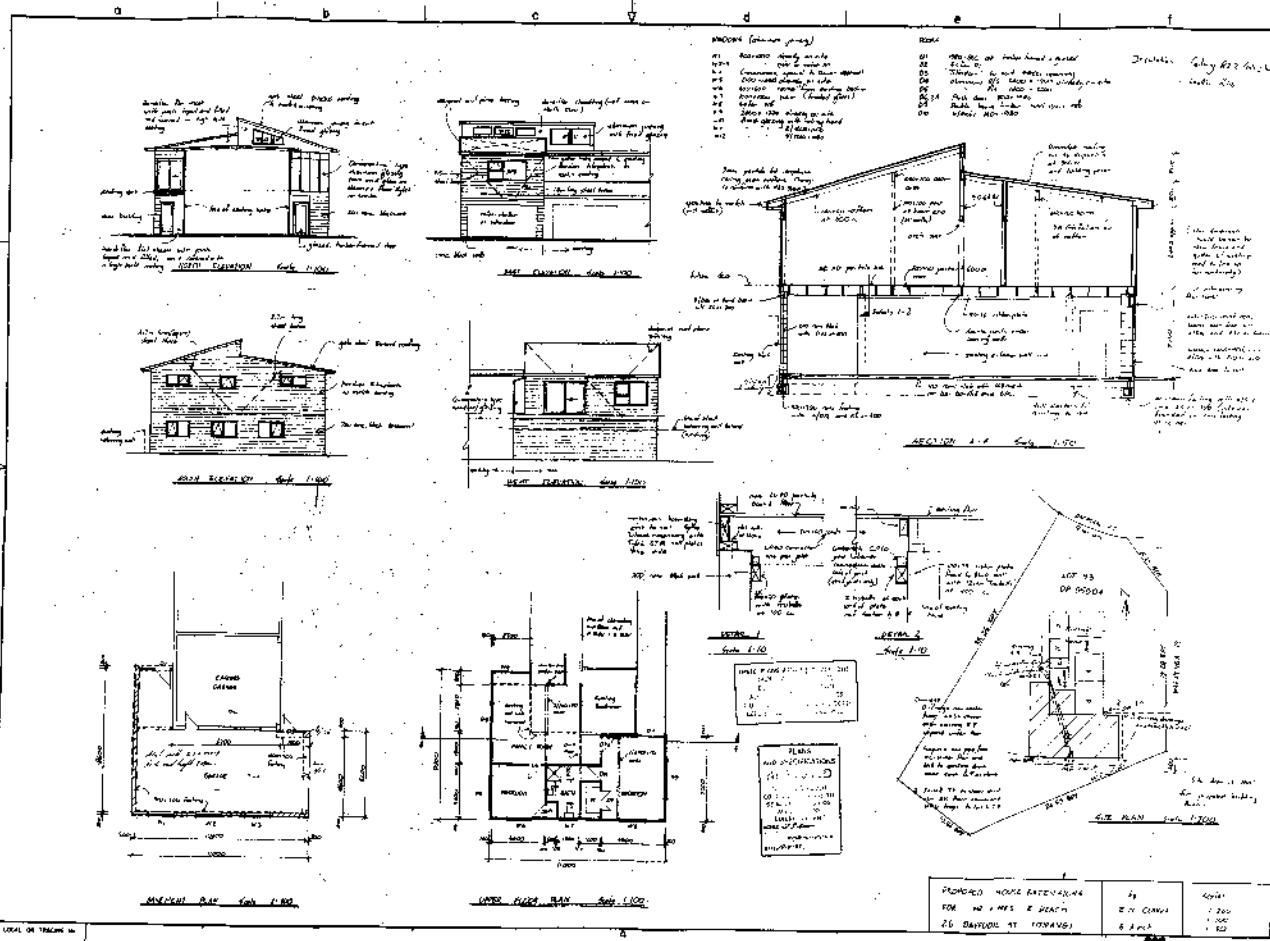
MISCELLANEOUS

Flooring Size..... Exterior Sheathing.....
 Inside Lining.....
 Is any second-hand material to be used in the proposed Construction? If YES, then a separate application must accompany this form.

INSULATION

Floor..... Walls..... Ceilings.....

<p>LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE (Must be completed)</p>	<p><u>DRAINAGE AND PLUMBING</u></p> <p>ALL DRAINAGE AND PLUMBING MUST BE CARRIED OUT BY REGISTERED TRADESMEN. IF IT IS INTENDED TO INSTALL A SEPTIC TANK, NOW OR IN THE FUTURE, THE SITE MUST BE INSPECTED BY THE INSPECTOR BEFORE BUILDING IS COMMENCED.</p> <p>IT IS MOST IMPORTANT THAT BUILDINGS SHOULD NOT BE OCCUPIED BEFORE COMPLETE PLUMBING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED AND OFFICIALLY APPROVED.</p> <p>PLUMBING AND DRAINAGE PERMITS MUST BE OBTAINED BEFORE ANY PLUMBING OR DRAINAGE WORK IS COMMENCED.</p>
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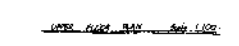
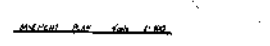
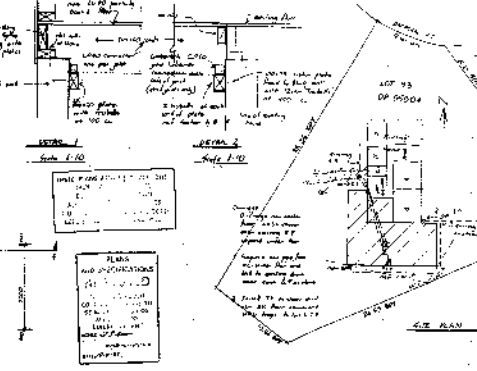
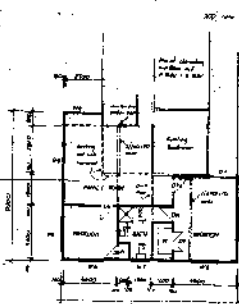
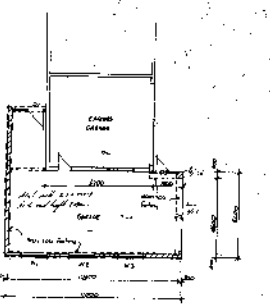
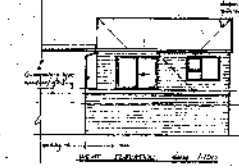
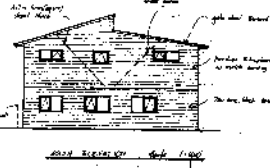
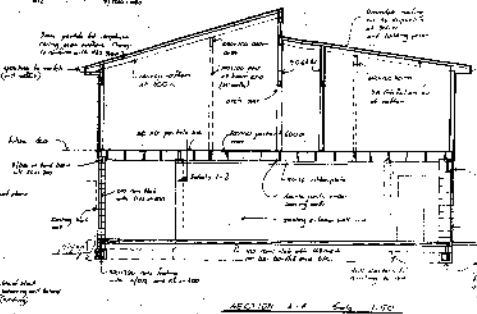
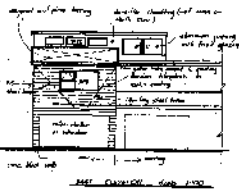
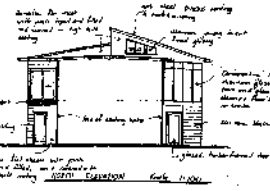
FINISHES (interior only)

- 01. Plaster (interior only)
- 02. Plaster (exterior only)
- 03. Plaster (ceiling only)
- 04. Plaster (wall only)
- 05. Plaster (floor only)
- 06. Plaster (roof only)
- 07. Plaster (chimney only)
- 08. Plaster (porch only)
- 09. Plaster (garage only)
- 10. Plaster (basement only)
- 11. Plaster (attic only)
- 12. Plaster (crawl space only)

ROOF

- 01. Asphalt shingles
- 02. Asphalt shingles (green)
- 03. Asphalt shingles (blue)
- 04. Asphalt shingles (red)
- 05. Asphalt shingles (grey)
- 06. Asphalt shingles (black)
- 07. Asphalt shingles (white)
- 08. Asphalt shingles (brown)
- 09. Asphalt shingles (purple)
- 10. Asphalt shingles (pink)
- 11. Asphalt shingles (orange)
- 12. Asphalt shingles (yellow)

Drawn by G. H. ...



PLANNED HOME PATENTING	29	4041
FOR 100 + RES. & DEATH	200	1.200
26 BAYVIEW ST (TORONTO)	6.000	1.800

Waitakere City Council

Building Consents

Page: 1

Date: 20/06/96

Property Id	20048964000
Legal Desc	LOT 93 DP 55504
Property Address	26 DAFFODIL ST, TITIRANGI WAITAKERE CITY, 1007
Owner's Name	HILKE ROUF & ROSEMARIE
Unauthorised work exists?	N

CITY OF WAITEMATA

34100/837/12

383/4

Roll No. / /

BUILDING PERMIT

29322

Owner of Section **MR B.J. KEACH**

Date **25 SEP 1985**

Address **26 DAFFODIL STREET, TITIRANGI**

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. **93 DP 55504**

on **26 DAFFODIL STREET, TITIRANGI**

in accordance with the plans lodged and

subject to the following conditions: **1. TO NOTATIONS ON PLANS 2. IF ANY FILLING IS DISCLOSED UNDER THE PROPOSED EXTENSION A SOILS REPORT WILL BE REQUIRED INDICATING THE BEARING CAPACITY OF THE GROUND WILL CARRY THE INTENDED LOADINGS.**

Nature of proposed work **ADDITION TO DWELLING**

AS ABOVE

Value of work, \$ 20,550 ~~1/257~~ **25 SEP 1985**

Fee \$ 145 00 : Rec. No. **1/13 23/8/85**

For the Waitemata City Council

.....
Duly Authorised Officer.

FOR FURTHER CONDITIONS SEE OVER

Und. Press

Building Inspected. Date Insp. Intls.

Final Inspection

OK to proceed

Inspector

Register Noted. Date

6-9-90

F

Roll No 34100/S37/12

CITY OF WAITEMATA

333/4

BUILDING PERMIT

29322

Owner of Section MR B.J. KEACH

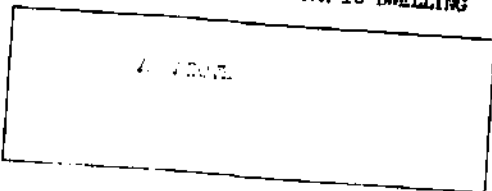
Address 26 DAFFODIL STREET, TITIRANGI

Date 25 SEP 1985

THIS PERMIT is granted to the undermentioned person authorising the following building work on Lot No. 93 DP 55504 on 26 DAFFODIL STREET, TITIRANGI in accordance with the plans lodged and

subject to the following conditions: 1. TO IMITATIONS ON PLANS 2. IF ANY FILLING IS DISCLOSED UNDER THE PROPOSED EXTENSION A SOILS REPORT WILL BE REQUIRED INDICATING THE BEARING CAPACITY OF THE GROUND WILL CARRY THE INTENDED LOADINGS.

Nature of proposed work ADDITION TO DWELLING



Value of work \$ 2,000

Fee \$ 100.00 Rec. No. 1/13 23/8/85 (25) 25 SEP 1985

For the Waitemata City Council

Daily Authorised Officer

Unit Price

No. 20671

Owner of Premises _____

Date 28/1/55

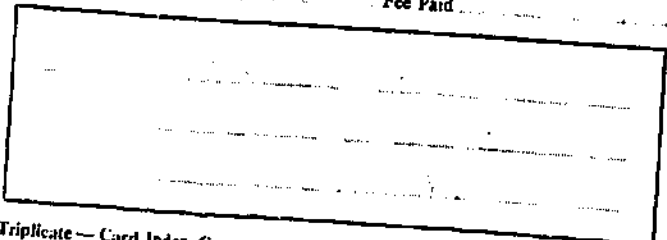
CITY OF WAITEMATA

PLUMBING/DRAINAGE PERMIT

The undermentioned registered ~~Plumber~~^{Drainlayer} is hereby authorised to carry out the work described herein and as set forth on the application deposited with me on the premises situated at _____

Lot _____ Description of Work _____

Value _____ Fee Paid _____ Receipt Number _____



The work is to be carried out in strict accordance with the DRAINAGE AND PLUMBING REGULATIONS 1978 and the Waitemata City Council By-Law.

E. J. A. DONALD,
Chief Health Inspector.

Per _____

Triplicate — Card Index Copy.

CSO B4281

No. 20672

Owner of Premises _____

Date _____

CITY OF WAITEMATA

PLUMBING/DRAINAGE PERMIT

The undermentioned registered ^{Plumber}~~Drainlayer~~ is hereby authorized to carry out the work described herein and as set forth on the application deposited with me on the premises situated at _____

Lot _____ Description of Work _____

Value _____ Fee Paid _____ Receipt Number _____

The work is to be carried out in strict accordance with the DRAINAGE AND PLUMBING REGULATIONS 1978 and the Waitemata City Council By-Laws.

E. J. A. DONALD,
Chief Health Inspector.

Per _____

Triplicate — Card Index Copy.

CSD 84231

NO AS BUILT

DRAINAGE PLAN

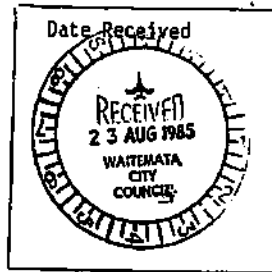
PROVIDED

AT TIME OF MICROFILMING

X
APPLICATION NO. 383/4 PERMIT NO. 29325

CITY OF WAITEMATA

CIVIC CENTRE, 6 WAIPAREIRA AVENUE, LINCOLN
Postal Address: PRIVATE BAG, EDMONTON POST OFFICE,
WAITEMATA CITY,
Telephones: 836-1195 and 836-1119



BUILDING PERMIT APPLICATION

IMPORTANT - Please Read Notes On Reverse And Complete The Following Information

OWNER OF SECTION MR. B. J. KEACH PHONE NO. 81770244
PRESENT POSTAL ADDRESS 26 DAFFODIL ST. TITIRANGI 799922 W
BUILDER A. Above PHONE NO. 31
POSTAL ADDRESS 1

PARTICULARS OF PROPERTY

LOT: 23 D.P.: 55504 VALUATION ROLL NO. 24.100 / 837 / 12
FRONTAGE: 37.94 Metres AREA: 7.89 Square Metres
ROAD NAME: Daffodil St LOCALITY: Titirangi Central
PREVIOUS OWNER: S. Tom
FOOTPATH CONDITION: Grass?
NATURE OF GROUND ON WHICH BUILDING WILL BE PLACED Natural Clay
NATURE OF PROPOSED BUILDING WORK ~~Extension to existing house~~
Add to Dwelling.

FLOOR AREA OF PROPOSED WORK	VALUE OF WORK (REFER NOTE 5)	PLAN REVIEW FEE
Basement	Building \$ 20,000	\$ 72 = 50
Ground Floor.. 65.12	Drainage \$ 150	
First Floor .. 65.12	Plumbing \$ 205.400	Receipt No:
Other floors		
Total 130.24	TOTAL VALUE \$ 20,150	Date:
	620,550	0013A001 23/08/85SUBT 72.50

WILL ANY SECOND-HAND MATERIALS BE USED? YES/NO 3 Alloy windows 6/9/85
ARE THERE HIGH TENSION ELECTRICITY LINES OVER PROPERTY-YES/NO

SIGNATURE OF APPLICANT

72/20455

SPECIFICATION for the ERECTION of a..... Proposed..... RESIDENCE
 at LOT 93, Daffodil Street..... SUBURB..... Titirangi.....
 COUNCIL/BOROUGH of..... W.C.C.....
 FOR.....
 MR. & MRS. Stow.....

INDEX TO SPECIFICATION

TRADE	PREFIX
ADDENDUM	
PRELIMINARY and GENERAL	A
EXCAVATOR	B
CONCRETOR	C
BRICKLAYER	D
ROOFER	E
PLASTER	F
DRAINLAYER	G
CARPENTER and JOINER	H
DOOR SCHEDULE	I
NUMBER	J
ELECTRICIAN	K
PAINTER and PAPERHANGER	L

SCHEDULE "A"

The contractor is to supply and install at his cost the following appointments as part of the contract.

	P.C. Sum	Type
Vanity Bathroom	5'0"	Formica
Hand Basin	.....	.....
Shaving Cabinet	Standard	22" x 16"
Kitchen sink	Twin sink 6'0"	Formica
Laundry Tub	Single	S/Steel
Electric Stove	Supplied by owner	.....
Electric Heater	strip wall heater bathroom	supplied by owner
Fire Surround	.....	.....
Hardware	P.C. Sum \$60	.....
Interior Doors	.....	each D.A. Rimi
Taps	.....	standard
Pelmets	Beds 1 & 2 Lounge & Dine.	.....
Wallpaper	P.C. Sum \$2. per roll	.....
Light Points	No. 23	.....
Power Points	No. 16	.....
Earthworks	P.C. Sum \$150	stock pile on site

ADDENDUM TO SPECIFICATION

This addendum is to form part of the contract and the works described herein are applicable to this job and are not covered or not fully covered by the specification and are to take precedence over same.

Underground power

Concrete floor to foyer, laundry & W.C.

Blockwork ground floor unlined

Foyer, laundry & W.C. lined one side only

Aluminium joinery (1st floor)

Timber joinery (ground floor)

Fibrous ceilings

4" x 1" or 3" x 1" T & G flooring

Stairs open strings with wrought iron balustrade

Terrace handrail to be supplied by owner

5'6" Plix bath

Insulate all ceilings with SF 100 fibreglass sheets

Front door R/Bonded flush drum type

Wastemaster supplied by owner

PRELIMINARY AND GENERAL "A"

1. CONTRACT This contract includes the supply and delivery of all materials, labour, tools, plant, etc. complete and necessary for the due and proper carrying out and completion of the building as shown on the Plans and herein specified in a thorough and workmanlike manner, and in strict accordance with the local authority by-laws, and specifications.
2. DRAWINGS It shall be understood that the drawings and specifications are solely instruments of service and are the property of the Contractor and shall be returned to him at the completion of Contract. Figure dimensions are between rough framing and shall be used in preference to scale. Drawings to a larger scale to be read in preference to smaller scale. No guarantee is made that the drawings are correct in every detail and should there be discrepancies in either the drawing or measurements, the Contractor reserves the right to alter or amend as he thinks fit to suit this contract.
3. CONTRACT DOCUMENTS Are complimentary and comprise :-
 - (a) This specification
 - (b) The accompanying drawings
4. JOB SCHEDULES All job schedules to be completed by owner prior to commencement of work.
5. PERMITS The Contractor to comply with the labour and building by-laws of the District, and to apply for and obtain all permits and pay fees for same.
6. INSURANCE The Contractor to take out an Employer's Liability Policy covering all his employees; and also a Builders Risk Policy insuring against fire for a sum sufficient to cover 95% of the Contract Sum. Both policies to remain in force until the building is taken over by the owner.
7. ESCALATION Should there be either a rise or fall in the price of labour and/or materials between the date of this Contract and the date on which such labour is employed or such materials are procured for this Contract then on final settlement the Owner shall make such additional payment on or receive such allowance from the Contract price as such rise or fall shall cause. The provisions of this escalation clause shall also apply to sub-contractors used in this Contract.

PRELIMINARY AND GENERAL "A" (contd.)

8. EXTRAS AND VARIATIONS Any extras or variations must be notified in writing to the Contractor. Telephone messages regarding extras or variations will not be fulfilled by the Contractor unless confirmed in writing by the Owner. The Contractor reserves the right to either accept or reject any variation or extras after the signing of the Contract. The payment of extras must be made by the Owner to the Contractor before any extras or variations are carried out by the Contractor.
9. AMBIGUITIES Should there be any omission, doubts or ambiguity as to the meaning of any part of the plans or specification the Contractor will complete that portion of the Contract to McLAREN HOMES LIMITED. Standard Construction Methods.
10. P.C.Sums Prime cost sums shall be based on retail price in the district at the time of installation to Contract allow in addition for cartage, fixing and profit. When Owner supplies any of P.C.Sum items he will only be allowed the sum for which Contractor is able to purchase said P.C.Sum article. The Contractor shall state his profit margin to enable adjustments to be made. In this Contract the profit margin shall be 10% of Contractor's price.
11. MATERIALS/WORKMANSHIP All workmanship must be careful, thorough and in accordance with the best known trade practice. In the event of any materials herein specified being unprocurable at the time and thus tending to delay completion of this Contract, other suitable materials for the purpose desired will be substituted providing that they conform to the local by-laws. Any variation of the above clause as may be required in cost of materials and labour to submit unprocurable materials pertaining to this Contract, shall be considered an extra cost or reduction in cost as the case may be.
12. SUB-CONTRACTORS This specification is divided into trade sections for convenience of reference only. While all reasonable care is taken to classify each trade, no claims will be admitted by Sub-Contractors for work not specially mentioned in a trade section but which is expressed or implied elsewhere. Sub-Contractors shall inspect the work of other trades against which their work is to be placed and report immediately any defects. They shall not proceed until such defects have been remedied. Failure to so inspect and report will be taken as evidence that such preparatory work is satisfactory.

PRELIMINARY AND GENERAL "A" (Cont'd)

13. ADDITIONAL SITE CONNECTIONS When the contract calls for any additional power poles or underground piping either power or water as provided by local services body, the Contractor will arrange to have such services installed to the building site and will charge the owner on completion in the extras account.
14. INTERPRETATION The attached specifications and drawings show the extent of the work but there is no warranty expressed or implied that it shows each and every minor detail or item required to be included by the Contractor.
15. GENERAL CLAUSES. The whole of the foregoing preliminary clauses shall be read in conjunction with and shall apply to each and every trade section of the Contract to their full extent and meaning.
16. STABILITY The Contractor shall carefully brace and support all parts of his work and protect same against damage by wind or rain and shall make good any damage to adjoining property, footpaths, etc., arising out of his operations.
17. VEHICULAR CROSSING The Owner is to pay all necessary fees to the local body for installation of a Vehicular crossing. The Contractor may arrange to pay the required amount to uplift the permit and will charge Owner for same on completion of contract in the extras A/C.
18. SITE CLEARANCE: The Owner shall arrange for free and if necessary metal access to the building site for haulage of all materials and plant, i.e. timber, bricks etc., for the carrying out of the Contract. He shall also clear or be responsible for the clearing of the actual building site of all stumps, rocks and obstructions and have grass cut to a reasonable length. The Contractor will inspect the site to see that these requirements have been fulfilled, and shall not be liable to start this Contract until such conditions as described in the above clause have been completed by the Owner. If the Owner has not fulfilled any of the above conditions and the Contractor desires to commence the Contract, the Contractor reserves the right to do any work that may be necessary and to charge all such work to the Owner at completion of the Contract in the extras A/C.

PRELIMINARY AND GENERAL "A" (Cont'd)

19. WATER METER The Builder is to arrange for and pay all necessary fees for the installation of water meter.
20. TEMPORARY SERVICES The Contractor is to arrange for installation of temporary power for the complete building Contract. Final connection power board will be organized through the Contractor's electrician.
21. CLEANING The Owner will clean up any debris which has accumulated during the Contract and place at the front of the building section. The Contractor will then arrange for a truck to call once only on completion of Contract to dispose of any debris that the Owner wishes to be cleared off the building site. The Owner will be responsible for the cleaning of all windows in the contract.
22. GENERAL The Owner is to read and study the Plans and Specifications fully, and any mention of additional work not included on either the plans or the specifications or job schedule as discussed with the Owner by the Contractor at the time of the pricing of the Contract is to be described on the Addendum at front of this specification, and to be signed by the Owner and the Contractor.

IF THE ABOVE CLAUSE IS NOT FULFILLED, THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR ANY ADDITIONAL WORK

23. PROVIDE AND FIX The word 'provide' and the word 'fix' used separately in this specification shall be taken to mean provide and fix unless otherwise stated.
24. LAND OWNERSHIP AND SURVEY PEGS Except where the Owner has purchased the said land from the Contractor or the Company (or any associate or subsidiary of them) it shall be the responsibility of the Owner at his own expense in all things to correctly describe and indicate to the Contractor the land upon which the said dwellinghouse and works are to be erected and to locate define and indicate to the Contractor before commencement of such works the exact boundaries of the said land and all survey pegs with white flags relating thereto and the Owner hereby indemnifies the Contractor and the Company against all costs claims expenses and damages which may arise from an incorrect or inaccurate description or indication of the land upon which the said dwellinghouse and works should be erected or the boundaries thereof. If the pegs are not found the Owner must engage a Surveyor to install new survey pegs.

PRELIMINARY AND GENERAL "A" (Cont'd)

The Contractor may if he so desires engage a Surveyor to install new survey pegs and charge the Owner for any of the above costs on completion of Contract.

25. SITE PLAN Sitings as per site plan but is subject to alterations if required by the Loan Authority or Local Body requirements,

26. LAND TRANSFER SEARCH The Owner must supply to the Contractors a Land Transfer Search for his section. If the above clause is not fulfilled, the Contractor may request the Owner's solicitors to supply such search by post to the Company address. Any cost incurred will be met by Owner and charged through his solicitors as an authorized contract extra.

27 MAINTENANCE The Contractor at his own expense shall maintain the completed building for a period of thirty one days after the Owner has taken possession. The maintenance shall apply only in the case of defective materials or workmanship on the part of the Contractor whether by sub-contract or otherwise. It does not include or cover the following:-

- (1) Damage or defects caused by dampness or condensation due to normal drying out and settling (Hairline cracks to wallboards, scotias, cornices, mouldings, concrete blocks etc.)
- (2) Blemishes caused by negligence or fault of the Owner or his representatives through unnatural wear, tear (carpet and lino layers etc.)

NOTE Liens retention moneys withheld during construction is not a maintenance bond, and this is due to be paid as set out in building contract and completion certificate.

28 MAINTENANCE FORM The Owner is to complete and return the maintenance form attached to these specifications and return the maintenance form not more than 31 days after completion of contract to Contractor's Office. Should the Owner not return the form within the above time (time being strictly essential) the Owner shall be deemed to have accepted the building as completed to his satisfaction and to waive maintenance.

29. COMPLETION OF CONTRACT Upon completion or approval of occupation of the said dwellinghouse by the Contractor, the Contractor will notify the Owner of such and the Owner is required to arrange an appointment at the Contractor's Office for the signing and producing of all necessary documents as described in Clause 6 part iv of the building contract. Until this clause is fulfilled by the Owner, occupation of the said dwelling will be withheld from the Owner by the Contractor.

EXCAVATOR "B"

1. GENERAL CONDITIONS Refer to the Preliminary and General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.
2. GENERAL EXCAVATIONS Excavate as required for all site levelling foundation footings, posts, blocks, walls, water and drain-pipes, etc., to the various depths for levels and grades required for the erection of the building.
3. UNSTABLE SOIL ETC. Any additional excavation for footings, drains, etc., together with additional concrete walling or other materials and labour found necessary because of previously unsound soil conditions, i.e. a filled section or because of voids left by removal of trees, shall be considered an extra cost and will be charged at the completion of the contract.
4. ROCKS The removal of rocks from the foundation or drainage excavation shall be charged as an extra cost.
5. EXCAVATED SPOIL Where necessary the Contractor shall excavate for garage or basement as indicated on drawings. All surplus soil shall be heaped on section where indicated for future use by owner.
Any surplus soil from excavation not required by owner will be carried off the site and cost of removal charged as an extra on completion of contract. OWNER TO NOTIFY CONTRACTOR IN WRITING BEFORE COMMENCEMENT OF CONTRACT IF HE WISHES SOIL TO BE CARRIED OFF SITE. FAILURE ON THE OWNERS PART TO OBSERVE THIS CLAUSE WILL RESULT IN THE CONTRACTOR DEPOSITING SOIL ON THE SITE WHERE IT WILL NOT INTERFERE WITH THE BUILDING OPERATIONS.
6. LEVELS The levels shown on the working drawings are shown as a guide only and McLaren Homes Limited, neither implies or accepts responsibility to their absolute correctness. McLaren Homes Ltd., reserves the right to amend the levels during the course of construction if in their opinion it will improve any facet on the dwelling.

CONCRETOR "C"

1. GENERAL CONDITIONS Refer to the Preliminary and General at the head of these specifications which implies to all parts of the work and is hereby made a part of this section of the specification.
2. MATERIALS Aggregate shall be shingle or approved crushed hard/metal graded coarse ($\frac{1}{2}$) to fine, clean and free from salt and other foreign matter.
3. CEMENT Cement shall be Portland to conform with N.Z. Specifications No.43.
4. CONCRETE MIX Shall be ordinary grade to N.Z.S.S., specified 28 days strength shall be 2500 P.S.I. Concrete shall be mechanically mixed thoroughly, or turned twice dry and twice wet by hand, all to a stiff workable mixture.
5. BOXING All boxing shall be well fitted together and firmly secured into position true, level and plumb. All boxing shall be thoroughly wetted and cleaned out immediately before concrete is placed. All framework shall be so constructed that it can be removed without damage to the concrete.
6. REINFORCING Steel for reinforcing shall be plain, round M.S. bars to N.Z.S.S. 197 free from paint, scale, rust and lapped not less than forty diameters at angles and inter-sections. Binding wire shall be No.16 gauge.
7. FOOTINGS Form trenches or box up if necessary, reinforce and pour all footings, foundations, walls etc., to Council regulations allow for stepping of foundations down to ensure adequate bearing.
8. CONCRETE FLOOR If stated on drawings pour concrete floor slab on scoria hardfill. Refer to drawings for reinforcing and if polythene to be used.
9. CONCRETE FOUNDATION BLOCKS 8" x 8" precast piers bedded on 12" x 12" x 4" concrete pads and carried up to a minimum of 12" above ground level, with malthoid strip on top. Set out piers in accordance with local body requirements.
10. RETAINING WALLS (see blocklayer clause) The design of retaining walls have been taken from Winstone Ltd "Guide to Concrete Masonry Retaining Wall Design".
11. BUILD IN Build in all iron work pipe sleeves N.D. bolts, plugs, etc as required.
12. PIPES UNDER FLOOR SLABS Sub-Contractors to check positions and ensure pipe installations are completed prior to pouring of concrete floor slabs.

CONCRETOR "C" (Cont'd)

13. TERRACE, PORCHES, RAMP & STEPS To be of sizes as detailed on the drawings. The slabs to front and rear porches to be 3" concrete on hard filling. Steps formed in concrete with nominal risers and treads, resting on properly rammed hardfill. All work to be cast true level and plumb and to be left with good key for plastering.
14. CHIMNEY FOUNDATIONS (if applicable) Footing to be 6" thick, at least 6" wider than work above reinforced with $\frac{1}{2}$ " dia. R.M.S. bars at 12" centres both ways. Hearth slab to be no less than 12" wide, 3" thick at the outer edge and 4" thick at the back, cantilevered and reinforced with $\frac{3}{8}$ " dia. R.M.S. bars, all hooked and lapped as specified Reinforcing to be 2" from bottom of slab.
15. LINTELS Form reinforced concrete lintels over all openings where and as required or provide 2" x 2" x $\frac{1}{4}$ " angle irons.
16. PIER & BEAM Should pier and beam foundation or any additional work be required by local council or lending authority, the extra cost will be to the Owners account.
17. PATHS & DRIVEWAYS Provide paths ONLY if indicated on plan. If paths are to be installed a P.C. sum per square yard will be mentioned on addendum at front of the specification.

BLOCKLAYER

1. GENERAL CONDITIONS

Refer to the Preliminary and General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.

2. MASONRY UNITS

The minimum quality of masonry units shall be as specified in N.Z.S.S. 595 Concrete Bricks and Blocks: Class A.

3. MORTAR CONSTITUENTS

Mortar shall be composed of Portlands Cement, Hydrated Lime and Sand. Admixtures may replace lime, wholly or partially, if in the opinion of the Engineer strength requirements will be maintained and bond between units will not be impaired. All admixtures shall be proportioned in accordance with the manufacturer's requirements. Sand shall be composed of clean nonangular particles with a size grading sufficient to produce a sound workable mortar without undue shrinkage. Mix proportions shall be as specified in N.Z.S.S. 1900: 1964 - Chapter 6 - Clause 6.2.4.1, Table 2.

4. MIXING AND RE-TEMPERING
MORTAR

Clause 5.2.5. of N.Z.S.S. 1900: 1964 must be adhered to.

5. LAYING OF CONCRETE BLOCKS

Concrete blocks must be laid dry as possible. All blocks shall be laid in Mortar in courses true to line and plumb and level, all joints being complete filled with mortar not exceeding $\frac{3}{8}$ " thick when the blocks are bedded in. Joints shall be tooled after initial stiffening has occurred.

6. BOND AT WALL INTERSECTIONS

Bond at wall intersections shall be provided by either lapping units in successive vertical courses or by equivalent mechanical anchorage.

7. FILLING OF MASONRY CAVITIES

(a) Mix Proportions The materials used in filling masonry cavities shall be composed of Portland Cement, Sand and Coarse Aggregate.

Where 8" blockwork is used, concrete of $\frac{3}{4}$ " maximum size aggregate may be used. The mix shall be ordinary grade concrete with a minimum compressive strength of 2,500lb per sq.in. at 28 days as specified in N.Z.S. S. 1900: Chapter 9.3. The normal mix proportion for concrete for filling blockwork less than 8" thick shall be composed of: ($\frac{1}{2}$ " to 3/16")

<u>PORTLAND CEMENT</u>	<u>SAND</u>	<u>COARSE AGGREGATE</u>
1	2	2

The water cement ratio shall not exceed 0.7

BLOCKLAYER (Cont'd)

- (b) Filling in cavities Reinforce corners and walls ends with one $\frac{1}{2}$ diameter rod vertically. There shall not be less than one $\frac{1}{2}$ diameter rod on all sides of and adjacent to every opening exceeding 24" in either direction.
- (c) Bond Beams Where bond beams (either poured concrete or bond Blocks) are used the tops of unfilled cells below shall be covered to support the concrete fill, but not so as to destroy the bond between block courses or the beam and the blocks. Steel in bond beam shall be continuous and laps shall be not less than 40 times the diameter of the bars. Concreting beams over openings shall be continuous. All poured concrete beams shall comply with N.Z.S.S. 1900: 1964 Chapter 9.3

ROOFER "E"

GENERAL CONDITIONS

Refer to the preliminary and general at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.

Frame up in proper manner with pitch as shown on working drawings. Rafters to be 4 x 2 at 3'0", centres nailed to outside plates and ridges. Fix 2 x 1½ tile battens and cover whole of roof with pebble finish metal tiles and ridging to manufacturer's specifications. All rafters exceeding 7'0" in length shall be strutted with off partitions with 4 x 2 struts and under purlins.

GANG NAIL TRUSSES

In lieu of above framing approved Gang Nail Trusses may be used.

COLOUR

To be as per Job Schedule Sheet.

NOTE: Premium colours will be charged as an extra.

SPOUTING

Supply, fix spouting as specified under 'Plumber'

PLASTERER "F"

GENERAL CONDITIONS

Refer to the Preliminary and General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.

2. MATERIALS

Cement shall be approved N.Z. Portland cement. Sand shall be graded, clean sharp, washed free from iron, earthy, vegetable and saline matter.

3. MIXTURE

All plaster shall be properly mixed and shall be used immediately and no more than can be worked off before initial set has taken place shall be mixed at any one time. Re-tempering or re-mixing of plaster after initial set will not be permitted.

4. EXTENT OF WORK, TERRACE, PORCHES, RAMP STEPS

All exterior surfaces of front and back entrances, and outside steps will be plastered, and thoroughly cleaned, hacked and well soaked with clear water. Render and straighten with three to one sand and cement compo, plaster shall not be less than $\frac{1}{2}$ " thick and finish with steel float to perfectly clean, smooth, straight and even surface.

5. BASE WALLS

Only if indicated on job-schedule sheet plastered base work to be one $\frac{3}{8}$ " coat thick, 3 to 1 sand cement. Finish with splash coat $\frac{1}{8}$ " thick 2 to 1 sand cement.

Ensure first coat keys to base walls prior to splash coat.

DRAINLAYER "G"

1. GENERAL CONDITIONS. Refer to the Preliminary and General at the head of these Specifications which applies to all parts of the work and is hereby made a part of this section of the specification.
2. GENERAL The whole of the drainage work shall be carried out in accordance with the by-laws of the Local Authority and to the satisfaction of its Inspectors. Provide all fittings necessary to complete the work and lay all drains to an even consistent fall to satisfaction of Local Authority.
3. STORMWATER DRAINS Fix 4" e.w.p. bend to each downpipe and take 4" e.w.p. stormwater drains from all downpipes to soak holes, or to be disposed off as required by the Health Inspector.
4. SOIL DRAINS SEPTIC TANK Fix 4" g.e.w. gully traps to take wastes and 4" bends to take soil pipe, terminal vent etc. Each gully trap shall be set on a concrete bed and shall have concrete kerbs and c.i. grating. Take 4" g.e.w. drains from gully traps and bends and connect with all necessary inspection fittings to Septic tank or sewer and connect to soakage system to the instructions of the Health Inspector. For the purpose of quoting for this contract the P.C. Sum of \$250.00 (two hundred and fifty dollars) will be allowed for all drainage both sewer and stormwater, and any field tiles drains necessary as required by Local Authority.

IF THE LENDING AUTHORITY STATES IN THEIR MINIMUM SPECIFICATIONS, WHICH THE CONTRACTOR HAS TO SIGN FOR LENDING PURPOSES, THAT THE P.C. SUMS ARE NOT ACCEPTABLE THE CONTRACTOR REQUIRES THE OWNER TO CONFIRM WITH HIM WHETHER THE P.C. SUM WILL COVER THE COSTS OF ALL THE DRAINAGE TO THIS CONTRACT AS REQUIRED BY THE LOCAL AUTHORITY.

FAILURE ON THE OWNERS PART TO CONFIRM THIS PRICE OF ALL DRAINAGE WITH THE CONTRACTOR AT THE TIME OF SIGNING THE BUILDING CONTRACT WILL BE ASSUMED BY THE CONTRACTOR THAT THE OWNER WILL ADJUST WITH THE CONTRACTOR ANY DEBITS OR CREDITS TO THE P.C. SUM AT THE TIME OF SIGNING THE COMPLETION CERTIFICATES ON THE FINAL A/C FOR THE BUILDING CONTRACT. IF ALL DRAINAGE INCLUDED IN CONTRACT PRICE, IT MUST BE STATED ON THE ADDENDUM AT THE FRONT OF THIS SPECIFICATION.

CARPENTER & JOINER " H "

1. GENERAL CONDITIONS Refer to the Preliminary and General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.

2. GENERAL (To comply with N.Z. Standard Spec) Where required, timber shall be treated so as to obtain the best results for both seasoning and straightness, all joints to be scarfed, checked or otherwise jointed in approved manner with nails, bolts, straps, screws etc. In exposed woodwork all nails to be punched, all work to be fixed level, true and plumb, concealing all butts where possible. All joinery timber shall be seasoned or kiln dried before being machined. Upon delivery to site joinery and dressed timber to be stacked under cover.

3. SCHEDULE OF TIMBERS The sizes, quality, etc of unwrought timbers, unless otherwise specified or shown shall be in accordance with the following schedule. The external face and laps of all exterior finishing timber, joinery, etc, shall be primed before fixing.

4. SCHEDULE OF MATERIALS

<u>Materials</u>	<u>Size</u>	<u>Grade</u>	<u>Spacing</u>
Jackstuds	4 x 3	B.H.R. or Tr. Pine	8' max, crs
Stringers	4 x 3	" " "	
Bearers	4 x 3	" " "	
Vermin Plates	4 x 2	" " "	
Floor Joists		B.H.R. or Tr. No. 1 Pine	
Studs Ext	4 x 2	Pinus Tr	18" max, crs
Foundation bracing	4 x 2	"	" " "
Bearing partitions	4 x 2	"	
Partitions studs	4 x 2 3x2	"	" " "
Plates	4 x 2 3x2	"	
Nogging	4 x 2 3x2	"	three rows
Ceiling Joints	4 x 2	"	20' max, crs
Rafters	4 x 2	B.A.R or Tr. Pine	19" or 26" crs
Eave Bearers	4 x 1	" " " "	
Collar Ties	6 x 1	" " " "	
Ridges & Hips	6 x 1	" " " "	
Purlins	3 x 2	" " " "	30" max, crs
Roof Bracing	4 x 2	" " " "	
Under Purlins	4 x 3 4x2	" " " "	7' " "
Valley	6 x 1	" " " "	
Fascia Board	ex 1"	Native timber or Tr	
Flooring	4 x 1	Boric Tr. Native timber Pine or Plyco Pine	
Int. Door Jambs	1"	D. H. Rimu or D.A. Pine with 1/2" stop	
Window sills	6 x 2	" " " " " " "	
Window jambs	6 x 1 1/2	" " " " " " "	
Mullions	4 x 3	" " " " " " "	
Door sills	8 x 2 1/2	" " " " " " "	
Weatherboards as specified on plan,		Imported pinus or D.A. Rimu or approved Native timber.	

All interior finishing work not specially mentioned to be D.A. Rimu, D.A. Pinus, or approved Native Timber.

All exterior finishing work not specially mentioned to be D.A.H. Rimu or treated timber.

CARPENTER & JOINER "H" (Cont'd)

NOTE All framing timbers shall be O/B/RIU or Douglas Fir as an alternative to treated radiata in all sizes as shown above.

5. LINTEL SCHEDULE

Openings up to 3' 1" wide	4 x 2	rimu B. A. or Bor Tr. Rad
" from 3' 1" to 4' 6"	4 x 3	" "
" " 4' 6" to 6' 8"	5 x 4	" " or two 5x2
" " 6' 9" to 8' 10"	6 x 4	" " " 6x2
" " 8' 11" to 11' 0"	8 x 4	" " " 8x2
" " 11' 0" to & over 10 x 4	" " " 10x2	" " " 10x2

6. FRAMING

The whole of the building is to be properly framed and the various sections securely spiked together. Plates and sleepers shall be halved together at joints and angles which in all cases shall be over solid bearings. Sleeper plates shall be set on edges not more than 8'0" centres. Floor joists shall be gauged over sleeper plates to a uniform level with laps not less than 6" and well spiked together. Two joists shall be provided under all main bearing partitions running parallel with floor joists. Braces shall be cut in flush with face of studs at an angle of 45° approx. Stud height on solid shall be 8'0". Ceiling joists shall be securely spiked to wall plates and to feet of rafters.

6A. STRUTTING

Where floor joists exceed the span of 8'0" solid or herring bone strutting to be cut between joist members and securely spiked (min. size of herring bone strutting 2" x 1½").

7. DAMP PROOFING

All frame timber supported on or in contact with concrete or masonry shall be protected by a 2-ply walthoid or similar damp proof course.

8. INTERNAL FINISHES

All architrave, skirtings, timber cornices and scribes to be native timber as normally used by McLarens, unless otherwise indicated on job schedule under sundry items.

9. BACK PORCH WALL LININGS

Line walls of back porch with 3/16" flat Fibrolite sheets. Sheets shall be fixed with 1¼" clout nails, joints and angles covered with suitable battens.

10. EAVES

As indicated on Plan. All rafters to overhang clear of studs and cut off plumb. Line under with 3/16" flat fibrolite sheets and finish with suitable moulding at wall and joints. Porch ceilings to be lined as for eaves.

11. WEATHERBOARDS

Size and shape indicated on job schedule. to be Dressing & Heart or approved treated timbers fixed in as long as supplied by timber merchants to true lines, ¾" finished thickness and primed before fixing. All external angles shall be mitred, all internal angles shall be neatly scribed. Butt joints shall be suitable grouped. Cover all mitres and butt joints with metal soakers if necessary.

CARPENTER & JOINER "H" (Cont'd)

12. FLOORING Lay flooring as per job schedule out close to all sides, cramp close and double nail. No two adjacent boards to butt on same joist. Machine sand one cut all floors with the exception of kitchen cupboards, with the grain and close to skirting, flooring may be laid on completion of floor joists before erection of frame if treated with hurstseal or equivalent water-proofing material.
13. WALL LININGS
Gib. Board Line the whole of the interior walls, including the interior and ceilings of cupboards, (linen, hot water etc), and laundry with first grade Gibraltar Board sheets $\frac{3}{8}$ " thick, securely nailed to studs with edges kept $\frac{1}{8}$ " apart. All joints and nail holes shall be carefully filled and flushed off.
14. CEILINGS
GIBRAITAR BOARD The ceilings of W.C. bathroom, laundry shall be finished with ceiling quality Gibraltar Board sheets $\frac{3}{8}$ " thick. All joints and nail holes shall be filled and flushed off with pure plaster of paris filled to an even surface and trowelled smooth, the whole to be left free from all defects and irregularities.
15. CEILINGS,
FIBROUS PLASTER Ceilings of lounge, bedrooms, hall and kitchen to be of ceiling quality Fibrous Plaster sheets, flush jointed and wadded and strapped to joists with plaster of paris and sisal fibre. All joints and nail holes shall be filled with pure plaster of paris and flushed off, the whole to be left free from irregularities and defects.
16. CORNICES All cornice moulding will be timber unless indicated as otherwise on job schedule sheet.
17. HOT WATER CUPBOARD To be constructed where shown, to allow for removal of cylinder, and access to be easy to element. Fix slatted shelves in top of cupboard.
18. LINEN CUPBOARD Provide linen cupboard with full depth shelves of 1" material spaced at normal McLaren Homes spaces centres and supported at ends of $\frac{1}{2}$ " ledges.

CARPENTER & JOINER "H" (Cont'd)

19. WARDROBES Finish wardrobes internally with full length shelf out of 12" x 1" at height of 5'0". Provide and fix $\frac{1}{2}$ " galvanised pipe hanging rail.
20. BATHROOM CABINET Construct a recessed cabinet as per schedule 'A'. Cabinet to be constructed out of 1" dressed timber.
21. FINISH TO BATH Frame up front with 2 x 2 timber and form toe recess. Line with $\frac{3}{8}$ " Gibraltar board as for walls. Finish intersection of bath flange and wall with suitable splash scribed accurately to bath, mitred at angles and finished with suitable mouldings.
22. SKIRTING & ARCHITRAVES Provide throughout skirting of Ex 3 x $\frac{1}{2}$ ". Scribe accurately to floor and mitre or scribe at angles. Architraves shall be Ex 2 x $\frac{1}{2}$ " mitred at door heads and scribed to all sillboards and floor.
23. BUILT IN PELMETS Construct built-in pelmets when indicated on plan. To standard detail.
24. SWITCHBOARD Form recess for switchboard in thickness of wall at back porch of the house where possible.
25. MANHOLE Provide a 20" x 20" opening in ceiling and provide cover where possible in linen cupboard.
26. SHOWER Frame up where shown on plan. Finish with materials as per job schedule sheet. Install stainless steel shower tray unless indicated otherwise on job schedule.
27. LAUNDRY Provide single compartment tub as per schedule 'A' sheet and fix on dressed timber frame, and hang one door under tub.
28. WINDOW FRAMES Sills to be double sunk, weathered and throated out of 6 x 2 D.A.H. Matai or Totara, heads and jambs shall be 6 x 1 $\frac{1}{2}$ " and 4 x 3 solid rebated mullions and transoms D.A.H. Matai, Rimu or Totara. Frames shall be rebated, throated and grooved at sashes and outer edges and are to be primed before fixing.
29. WINDOW SASHES As indicated in plan. To be constructed of Redwood or approved materials 1 $\frac{3}{4}$ " finished thickness moulded, rebated and weathergrooved right round.
30. SASH BUTTS Side hung on one pair 3" galvanised butts with fixed pins and made complete with telescopic stays and wedge fasteners. Top hung shall be hung on awning type fittings in accordance with the manufacturer's specifications, using

CARPENTER & JOINER "H" (cont'd)

1" galvanised screws. Fasteners as per job schedule sheet.

31. WINDOW SCHEDULE Sizes sashes opening as shown on the plan.

32. DOOR FRAMES External Door Frames: Sills shall be D.A.H. Rimu or Matai, out of 6" x 2½" and jambs and heads shall be D.A.H. Rimu or Matai, out of 6 x 2 all rebated, throated etc., in accordance with trade practice and are to be primed before fixing.

Internal door Frames: 13/16" finished thickness the full width of walls with ½" planted stops. All doors to finish 13/16" off floor for future carpets.

33. KITCHEN The kitchen cupboards to be as follows; Framing ex 3 x 1 toe space to be 5½ x 3" and false floors ex 1" solid. Cupboard doors ¾" shore board with ball catch. Finish both sides for painting. Drawers dovetailed ¾" fronts ½" sides and back, hardboard bottoms. All bench and counter tops etc., selected laminated plastic veneer unless otherwise indicated on job schedule sheet. Sink bench to have one stainless steel bowl. High level cupboards ex 12 x 1 carcass finished suitable for painting. All cupboard shelving ex 1".

BATHROOM VANITY

(If applicable) as per schedule "a".

34. HARDWARE Allow the P.C. sum as per schedule 'A' for the cost only of all door locks, furniture, fasteners, bolts, hooks, sash fasteners, drawer pulls, toilet paper holder, cupboard pulls, catches, but not including butt hinges of any description or WHITCO fittings. The Contractor shall allow for taking delivery fitting and fixing complete all furniture and fittings.

35. GLAZING As per job schedule sheet. Glass of approved manufacture shall be cut with allowances for expansion. Type shall be Cotswold unless specified on schedule sheet "A"

36. FIRE SURROUND
(for Electric Heater) When indicated on the drawings a P.C. sum of \$40.00 is included in contract price for the fixing of a tunnel brick surround 6ft long x 3ft high and tunnel brick hearth, 6ft long x 16" wide. If the owner requires a special surround it must be nominated on the job schedule with a sketch supplied by owner any extra cost of surround will be charged as an extra on completion of the contract.

38. INTERIOR HANDRAIL Only where indicated on drawings a P.C. sum of \$3.00 per linear foot is allowed in the contract for the installation and painting of a wrought iron handrail. If any other type of handrail is required it must be described on job schedule 'A'. When a handrail is required on an enclosed staircase, this will be dressed 3 x 2 timber supported off the wall on suitable steel brackets.

CARPENTER & JOINER "H" (Cont'd)

39. EXTERIOR HANDRAIL Only when indicated on drawings a P.C. sum of \$2.00 per linear foot is allowed for the installation, galvanising and painting of a wrought iron handrail.
40. EXTERIOR HANDRAIL Only where indicated on drawings a P.C. sum of \$2.00 per linear foot is allowed for the installation and painting of a timber handrail.
(Timber)

DOOR SCHEDULE "I"

1. GENERAL CONDITIONS Refer to the Preliminary and General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.

2. DOORS
 - External Glazed Doors Shall be Redwood or any approved materials.
 - Flush Doors Exterior shall be tempered hardboard sheathed both sides. Hardware as per Job Schedule Sheet.
 - Front Door As per plan
 - Back Door As per plan
 - Internal Doors As per schedule 'A'
 - Internal sliding glass door, 3 pane with obscure glass with 2 Chrome Handles. To McLaren Homes, profile
 - All doors unless indicated as otherwise will be 6'6" high with width as indicated on plan.

3. DOOR BUTTS
 - External doors shall be hung on $1\frac{1}{2}$ pairs $3\frac{1}{2}$ " galvanised butts and screws and main internal doors to be hung on $1\frac{1}{2}$ pairs of $3\frac{1}{2}$ butts with 1" screws.
 - Wardrobe, linen, cupboard doors to be hung on $1\frac{1}{2}$ pair $3\frac{1}{2}$ butts with 1" screws. Basement door to be hung on one pair suitable galvanised hinges with galvanised screws.

4. GARAGE DOOR
 - If indicated on drawings the P.C. sum of \$85.00 each is allowed to install a Fifield standard tilt-a-door or a similar manufactured door. This P.C. sum will include the sum of \$10.00 each for the installation and painting of the garage door or doors. Any variation to a standard door must be described on the job schedule otherwise contractor will only be required to install a standard garage door for the above P.C. sums nominated.

PLUMBER "J"

1. GENERAL CONDITIONS

Refer to the preliminary & General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.

2. GENERAL

The Contractor shall provide all materials, labour, plant etc., necessary for the completion of all work in accordance with the drawings and specifications, Local Authority and Health Department by-laws; give all necessary notices and arrange for the inspection and testing of all work in accordance with the drawings and specifications, Local Authority and Health Department by-laws, give all necessary notices and arrange for the inspection and testing of all work. All fittings and work to be left in perfect working order.

3. FLASHING

Flash as necessary to render the building watertight. Fit 26g. g.i. trays with shoes to all windows. Flash and overflash all vents, chimneys and other upstands through roof with 5lb. sheet lead and or g.i. flat sheet. Line all valleys with plain galvanised iron sheet. Valleys shall not be less than 12" wide with rolled edges, 6" and laps and finished well down into spouting.

4. SPOUTING

To be 5" x 3" x 24 gauge galvanised iron with soldered joints. Fix to spouting, downpipe outlets. Support on 1" x 18g. galvanised iron clip brackets securely fixed to fascia at 3ft 0" centres, allowing for necessary falls to outlets.

5. DOWNPIPING

Provide two 26g galvanised iron downpipes seamed with slipped end joints. Strap downpipes to wall using stand off clips. 3" fibrolite pipe maybe used under house for disposal of stormwater from roof if practicable.

6. FITTINGS

Bath Standard 5'0" quality N.Z. pressed steel enamelled bath, complete with waste connection and plug.

Handbasin: Size and type as per schedule 'A'
Vanity Top (if applicable). As nominated on Schedule 'A'.

W.C. Pan One approved make low type plastic cistern, earthenware pan with plastic seat etc.,

Taps All taps and extensions, except standpipes, shall be chromium plated bib and pillar cocks marked HOT and COLD

respectively. Standpipe taps shall be brass with hosepipe connection. All taps to be nominated on Job Schedule.

Shower: Shower to be fitted with C.P. rose and tray as per Job Schedule.

PLUMBER (Cont'd)

7. WASTES

into gully traps.

Wastes from bath, sink, and tub to be 1½" handbasin 1¼" P.V.C. pipes and shall discharge

8. VENTS

carried up above roof level and fitted with galvanised wire balloon cowls.

Main and terminal vents shall be placed where required and shall be 3" diameter P.V.C.

9. COLD WATER

½" P.V.C. piping to bath, W.C. cistern, H.W. cylinder supply valve, shower basin, sink, tub, to floor level and two hose points, one at front of residence directly above where main supply enters dwelling. Rear hose point to be at end of cold water reticulation system.

Introduce water from main in ½" P.V.C. buried at least 9" into ground. Supply in

10. HOT WATER SERVICE

outside wall. Supply ½ copper pipe to sink tub, washer, shower, bath and basin.

Provide and fix where shown one approved make of standard 30 gal. domestic hot water

11. TAPS: SHOWER ROSE

12. P.V.C PIPES

authority approval form.

Where P.V. C. pipes are used in contract the owner is required to sign local body

ELECTRICIAN "K"

1. GENERAL CONDITIONS Refer to the Preliminary and General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.
2. GENERAL The Electrician shall make all necessary notifications to the Power Board and local authority and is to take out all necessary permits for work and pay all fees for same. All work shall be in strict accordance with the latest electrical wiring regulations.
3. PREPARATION All cutting and drilling and all fittings necessary for the admission of conduits, wires and fixtures are included in the work, but the work of other trades shall not be cut into without prior permission and any damage to buildings shall be made good by the Contractor at his own expense. The Contractor shall notify other trades of his requirements and any material to be included in the work of others shall be applied at the proper time and with proper assistance and instructions for their erection well in advance of such work.
4. MAINS Shall be overhead or undergrounds as per street installation. For the purpose of this contract the normal allowance by the local authority has been allowed for any additional cable, phases or poles to complete this contract will be charged as an extra on completion.
5. SWITCHES All switches shall be flush type with flush boxes and bakelite plate complete, and shall be placed at 40" above the floor and adjacent to door openings etc.,
6. LIGHTS Shall be 60 watt of coiled type, pearl or inside frosted, and shall be complete with white opal shades. Allow to provide and fix number of light points as per Schedule 'A'. Bracket lights shall be fixed at 6'6" unless otherwise indicated.
7. LIGHT FITTINGS No allowance has been made in this contract for light fittings. If light fittings are to be supplied either by Owner or Contractor note is to be made on Job Schedule Sheet in Sundry items. Installation of light fittings supplied by Owner will be charged as an extra. When wall and ceiling lights are used, owing to on the site difficulties such as bad light conditions etc., the Contractor will not be responsible for any defects which may appear in the walls and ceilings at night time. The Contractor suggests that discussion should be held with the Electrician or Supplier to what type of light fitting is to be installed on any particular wall or ceiling.

ELECTRICIAN (cont'd)

8. POWER POINTS

Shall be 10 amp capacity with three pin receptacle, complete with bakelite flush plate. Allow to provide and fix number of power points as per Schedule 'A'. Points to be mounted at 1'0" or 4'0" above floor line unless otherwise indicated.

NOTE:

Owner must supply to contractor either plan where lights and power points to be installed or make arrangements to meet electrical contractor on the site. Owner is to state which arrangements he desires and to be mentioned on Job Schedule under Sundry Items. If not mentioned on Job Schedule, contractor to site power light points.

9. RANGE

Wire up and connect electric range as scheduled in accordance with the requirements of the local electrical power board. Allow the P.C. sums as per Schedule 'A' to supply selected electric range.

10. HEATER

If indicated on drawings install heater as per Schedule 'A'.

11. HOT WATER CYLINDER

Allow to make connection to hot water cylinder.

12. SWITCH BOARD

Fit standard G.I. switch board into wall of rear porch where possible. Otherwise meter only board will be sited most convenient to interior sub board.

PAINTER AND PAPERHANGER " L "

1. GENERAL CONDITIONS Refer to the Preliminary and General at the head of these specifications which applies to all parts of the work and is hereby made a part of this section of the specification.
2. WORKMANSHIP All work shall be of the highest standard, performed by skilled tradesmen. No paint shall be applied to damp surfaces and no external painting is to be done in frosty or unsuitable weather. Between each coat rough patches shall be rubbed down with glass paper to obtain good surface. Each coat of paint is to be finished over all surfaces before a further coat is applied.
3. PROTECTION OF WORK The Contractor is to take adequate precautions during and after painting operations, both inside and out, to protect his work from dust, dirt, or any disfiguration whatsoever. Any work damaged by dust, rain or by other cause shall be rubbed down and re-coated by painter.
4. EXTERNAL WORK The whole of the exterior ~~woodwork~~ usually painted, whether particularly mentioned or not, including weatherboards, joinery, exterior of doors, and both sides of sashes, etc. shall be treated as follows:
 - 1st Before erection, prime all external finishing timbers, all window frames and sashes including rebates before glazing, and all frames and finishing woodwork which comes into contact with concrete or brickwork etc., with a good coat of priming paint approved brand.
 - 2nd After the foregoing, stop all nail holes and defects with best linseed oil putty.
 - 3rd After priming and stopping, apply one coat approved undercoat in various tints.
 - 4th To exposed external woodwork, joinery, etc. previously specified or mentioned, also to glazing putties, apply over all one coat ready mixed approved brand high gloss paint in tints, applied pure, making three coats in all, including priming.
5. SPOUTING AND DOWNPIPES To be painted in two coats work.
6. IRON ROOF The Owner shall paint the roof.
7. WARDROBES - COAT CUPBOARD Apply 2 coats P.V.A. above shelf and wallpaper below

Note: Linen & H.W. cupboards are not painted inside unless specified on addendum.

7. INTERIOR PAINT WORK Work schedule enamel, primed stopped and given one coat sealer one coat undercoat one finish coat of selected enamel high gloss or matt finish. Work schedule varnish to be three coats of satin clear varnish.

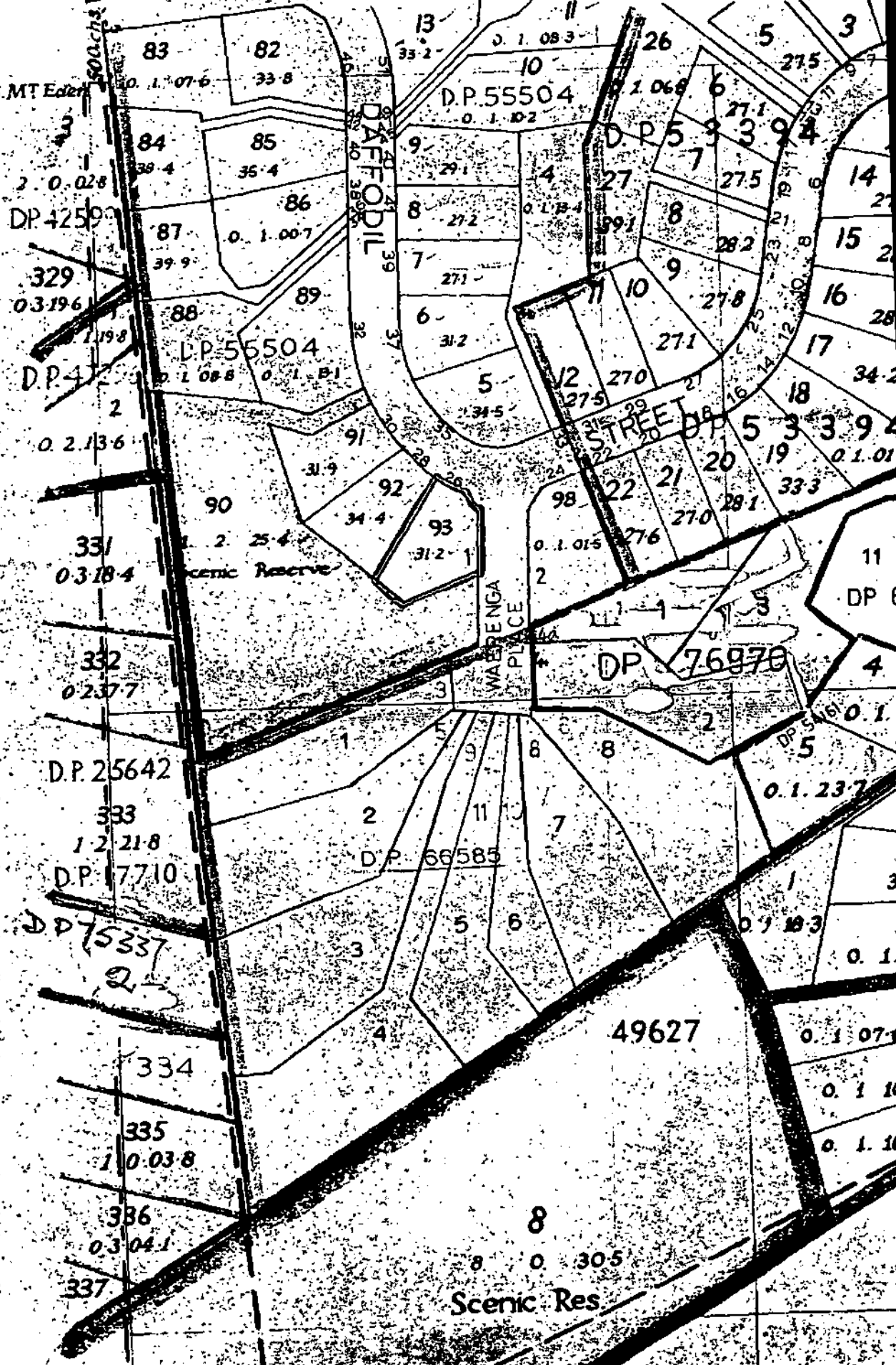
PAINTER & PAPERHANGER (Cont'd)

8. DOORS All internal doors to be either paint or varnish as per job schedule sheet.
9. ENAMEL FINISH All windows, frames, sashes, sills, skirting architraves, etc., throughout contract unless otherwise specified on the addendum, shall be enamel finish.
10. KITCHEN CUPBOARDS The interior of cupboard doors only to be painted or varnished. If kitchen cupboards are to be painted on the inside, it MUST be mentioned on addendum at the front of these specifications, otherwise Contractor will not be responsible for the painting of same.
11. CEILINGS Ceilings in kitchen, bathroom, W.C. and laundry to have one coat of approved selected sealer, one undercoat and one coat of "HIEHLOSS". The remainder of the ceilings to have $\frac{1}{2}$ -sealed $\frac{1}{2}$ alkyd flat in equal quantities for 1st coat. Finished coat to be alkyd flat. Semigloss ceilings in papered rooms will be charged as an extra.
12. PAPERHANGING All walls, except where otherwise specified are to be prepared for papering, v On these walls hang selected colour matched papers priced as per Schedule 'A' per roll. Patterned papers shall be matched and all papers shall be trimmed, butt joined, hung true and plumb and with necessary lap at architrave, etc.
13. Colour SCHEDULE The Owner is to provide the Contractor with a completed colour scheme prior to the commencement of construction. An appointment will be made by McLaren Hemes Ltd., with a colour consultant if the Owner so desires.
14. GARAGE DOOR Allowance has been made to apply two coats of PVC paint to a Fifield standard door. If patterns or any cutting in around door is required this will be charged as an extra at completion of job.
15. EXTERNAL BASEMENT WALLS When nominated on Job Schedule for base to be painted, 2 coats of P.V.A. paint will be applied. This paint is not waterproof. If the Owner requires a waterproof paint, it must be stated in the addendum at the front of this specification. If this is not stated in the addendum and the job schedule calls for a painted base, only P.V.A. base paint will be used.

Ross David Chow

300 chs S.MT Eden

500 chs W.MT Eden



DAFFODIL

STREET

WARRENGA PLACE

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 42599

DP 55504

DP 55504

DP 76978

DP 66585

49627

Scenic Res

Scenic Reserve

Full PA

WAITEMATA CITY COUNCIL

Attn: Mr. _____

Lawfoot

Inspector

RE: _____

Stow

Has the matter referred to in the attached correspondence been settled to your satisfaction?

Please attach your report to this memo and 'green copy' and return it to me.

A.B. Robertson
CITY INSPECTOR

Date: _____

MX

4/15

Number

Building application received and on the system being processed. Conditions, an issue, that all work to be upgraded to meet by law requirements

R 27/6

with ref

*MR STOW
PH 642306*

27/6

WAITEMATA CITY COUNCIL

Date..... 7/5/85..... 19

MEMORANDUM for:- 80/14918.
Mr Forster

No 7905

BP14918

Subject: Property enquiring 26 Defford Ct Lot 193 DP 53304

Further to another inspection on this property today 7/5/85 it is found that the regularising of this work has not been done.

Mr Stow advised on the 22/4/85 that he would have the work rectified in seven days

I feel that a letter to Mr Stow should now be sent asking him to rectify the work.

[Handwritten signature]
7/5/85

WAITEMATA CITY COUNCIL

Date.....19

MEMORANDUM for:-

Mr Foster

No 7904

Subject: *Property enquiry 26 Daffodil RD STOW*
LOT 93 DP 55504 BP 14918

This work required to regularise the unauthorised work has not been done

According to Mr Stow he will have this done within 7 days so I would suggest a further inspection at the end of the month

[Signature]
22/4/85

1126/1009

WAITEMATA CITY COUNCIL

Attn: Mr. PARFITT

Inspector

RE: STON

Has the matter referred to in the attached correspondence been settled to your satisfaction?

Please attach your report to this memo and 'green copy' and return it to me.

A.B. Robertson
CITY INSPECTOR

Date: AK

2/5

(5)

Ston called into the office today with plans & application forms.

Further information required details of construction.

Measurements of the work. Heights from ground.

in m/s
in duplicate.

Application will be lodged before the end of the week.

R 6/5/80

Callahan

bu again 6/5

ARR:HDB
Ref:1126/1011

28 April, 1980

Mr. R.D. Stow,
26 Daffodil St.,
Titirangi,
AUCKLAND 7.

Dear Sir,

Re: Unauthorized Building Work.

Following a visit from Council's Building Inspector, Mr. R. Parfoot on the 22nd February 1980, who called and discussed the abovementioned matter, and your visit to Council's Offices on the 23rd February, we are most concerned to note that no Building Permit application has yet been received, and as a consequence we have little alternative but to require demolition and removal of the unauthorised work.

The service of formal notices will however be delayed for a period of seven days from the date hereon in order to give you an opportunity to meet your obligations in this matter.

Should you wish to discuss the matter further, please do not hesitate to contact Mr. R. Parfoot at the above address between the hours of 8.30 a.m. and 9.45 a.m.

Yours faithfully,

A.B. Robertson
CITY INSPECTOR

⑤ (25RP)

26/5 LA

30/5 Home Improvement

13/6 Info from [unclear] 28/6/80
29/6

460/5 Feb

ABR:EDB
Ref: 1126/1011

BPA

28 April, 1980

Mr. R.D. Stow,
26 Daffodil St.,
Titirangi,
AUCKLAND 7.

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Should you wish to discuss the matter further, please do not hesitate to contact Mr. R. Parfoot at the above address between the hours of 8.30 a.m. and 9.45 a.m.

Yours faithfully,

A.B. Robertson
CITY INSPECTOR

City Director

Unauthorized Construction on Lot 93 DP55504
Owner Ross David Stow.

(28 Jaffa Street)

on the 22/2/80 I observed & discussed with Mr Stow
the construction of a pool - deck - screen walls in the
side yard encroaching on to a possibly over the boundary
up to a Screen reserve, also a deck to the side of the
house.

Mr Stow called in to the office 23/2/80
this work was re-discussed and an application was to be
made within 7 days to try & regularise the situation.

To date no application has been received.

Please request Stow to advise his intentions within
7 days so that we may be guided on what further
action we should take.

[Signature] 22/4/80.

(C.A. 23/4)

275 Rd

Mrs Rutt:CB

10 September 1985

Mr B J Keach
26 Daffodil Street
TITIRANGI 7

Dear Sir

BUILDING PERMIT APPLICATION NO. 383/4
LOT 93 DP 55504, 26 DAFFODIL STREET

In connection with the above application we have to advise that the following details are required in order to process this further:-

1. Details for tie beam/post connection.
2. Nailing schedule for diaphragm floor.

We look forward to receiving these requirements as soon as possible.

Yours faithfully

Ann Rutt (Mrs)
for SENIOR BUILDING INSPECTOR

383/4 Keach.

~~/~~ S.C.E. to complete. 20/9/05

Ann,

Please request S.C.E. req'ts (white)

~~✓~~ 6/9/05

STRUCTURAL ENGINEER'S REPORT

REPORT C(1)

B.P. AMENDMENT NO: 29322

APPLICANT'S NAME: B. KEACH

BUILDER'S NAME: SAUJE

PROPOSAL: DWELLING ADDITION

LEGAL DESCRIPTION: LOT: 93 D.P. 5550A

ROAD NAME & LOCALITY: DAFFODIL ST. TITIRANGI

CALCULATIONS AND STRUCTURAL CHECK

1. THE FOLLOWING AMENDMENTS, ALTERATIONS OR ADDITIONAL INFORMATION MUST BE MADE (OR SUPPLIED), BEFORE APPROVAL CAN BE CONSIDERED:
(Please list clearly, and date and sign requirements)

*(a) RECOMMENDATION:

The matters listed in (1) above (when applicable), have been settled to my satisfaction and I recommend that the application be APPROVED subject to the following conditions:-

Piling done to comply with NZS3654

*Added Plans
Drawn 8-10-84*

*(b) ~~I recommend that the application be NOT APPROVED for the following reasons:~~

STAMPED APPROVED
SUBJECT TO ENDORSEMENTS

7/10/84
Delete not applicable *PS.*

Dealt with by _____
(STRUCTURAL ENGINEER)

Date _____

REPORT ON COMMERCIAL OR INDUSTRIAL BUILDING

STRUCTURAL ENGINEER'S REPORT

REPORT C(1)

B.P. APPLICATION NO:

383/4

APPLICANT'S NAME:

B. KEACH

BUILDERS' NAME:

SAME

PROPOSAL:

DWELLING EXTENSION

LEGAL DESCRIPTION:

LOT: 93 ; D.P. 55504

ROAD NAME & LOCALITY:

DAFFODIL ST, TITIRANGI

CALCULATIONS AND STRUCTURAL CHECK

1. THE FOLLOWING AMENDMENTS, ALTERATIONS OR ADDITIONAL INFORMATION MUST BE MADE (OR SUPPLIED), BEFORE APPROVAL CAN BE CONSIDERED:
(Please list clearly, and date and sign requirements)

*** (a) RECOMMENDATION:**

The matters listed in (1) above (when applicable), have been settled to my satisfaction and I recommend that the application be APPROVED subject to the following conditions:-

- * (b) I recommend that the application be NOT APPROVED for the following reasons:**

* Delete not applicable

Dealt with by _____

(STRUCTURAL ENGINEER)

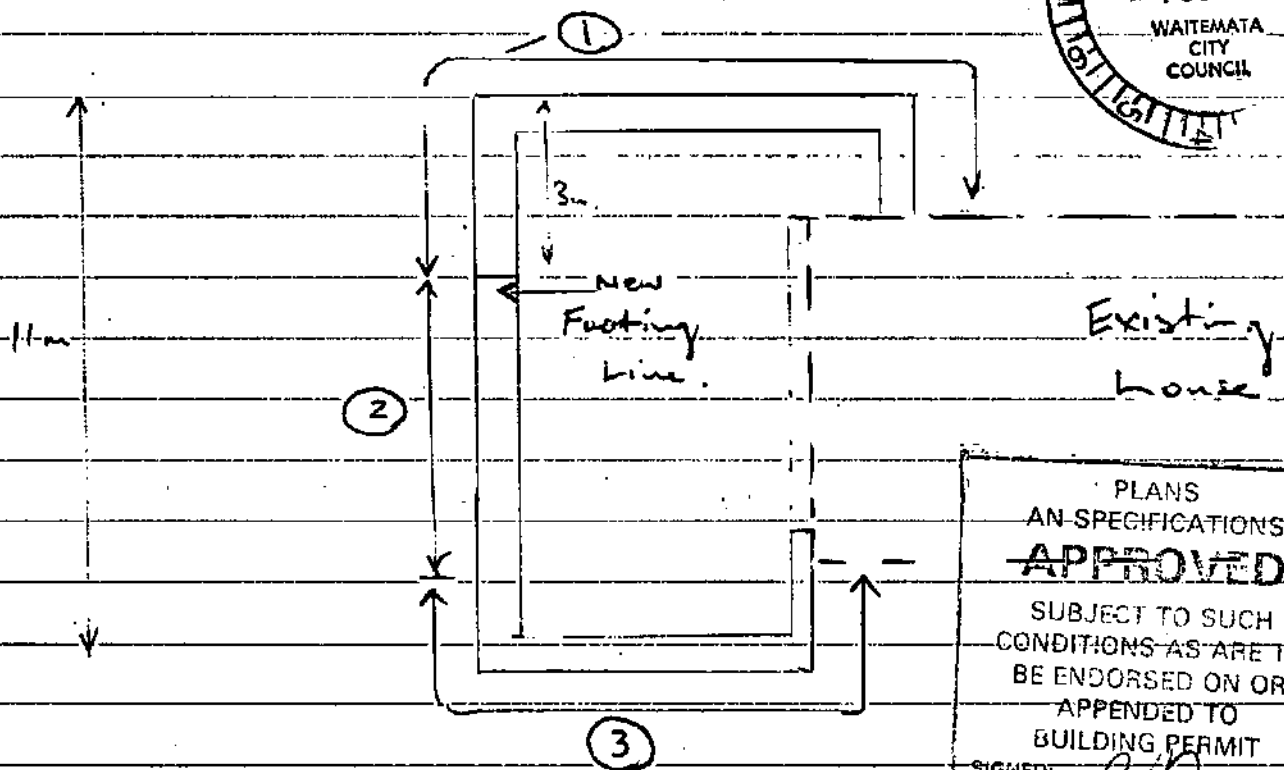
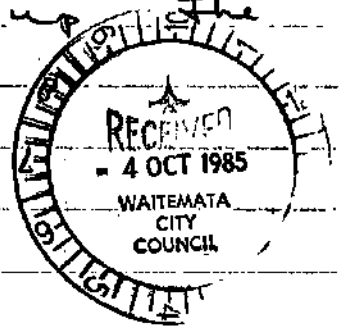
<p>STRUCTURALLY APPROVED SUBJECT TO ENDORSEMENTS</p> <p><i>[Signature]</i></p> <p>Date: <u>20/9/85</u></p>
--

Relating to 26 Daffodil St, Titirangi
owner: Mr B. Keach.

Permit No 29322. 25/9/85.

Site inspection of footings

On footings being opened up the following was observed: -



① - original ground - clay - allowable bearing $> 50 \text{ kPa}$ - (approaching 100 kPa)

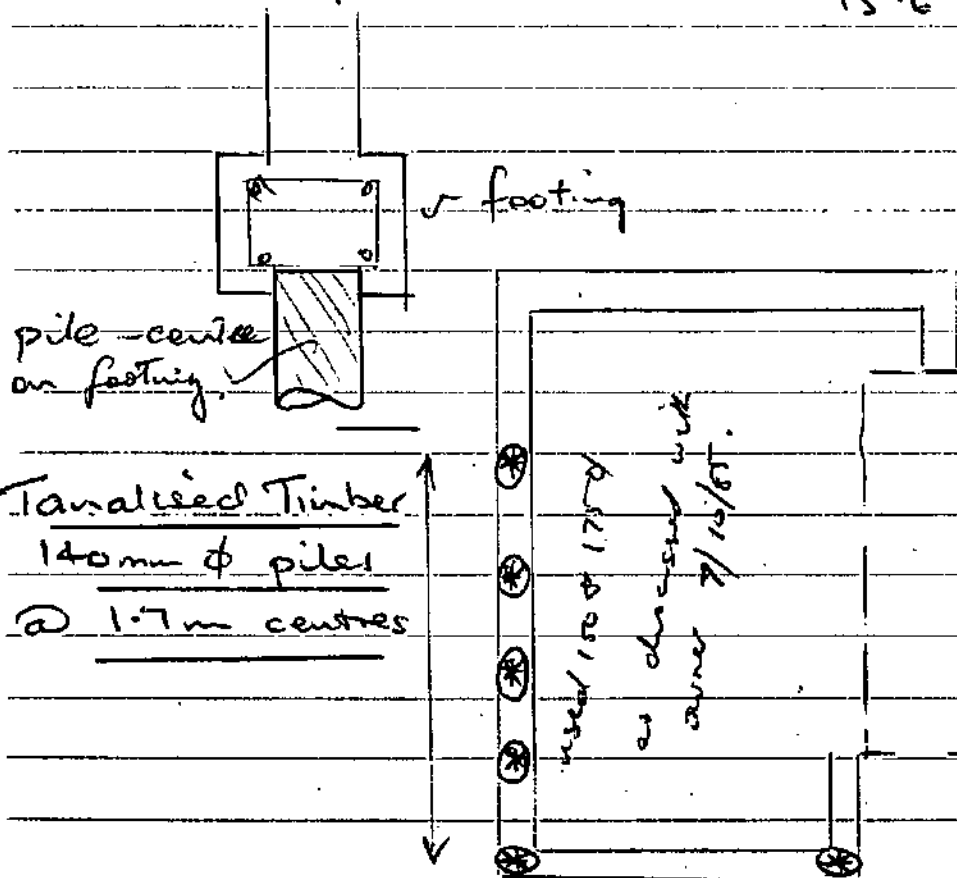
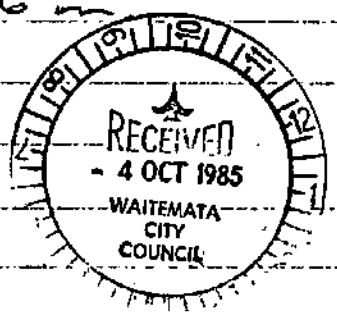
② 'Sub-division' fill - poorly compacted high m.c. - rodded to depth $> 2 \text{ m}$.

③ similar to ② - lower m.c., poorly compacted.

From calcs. footing load = 13.6 kN/m.

for 140 short end diameter timber piles driven to a set of 25mm, $P_{allow} = 24$ kN.

spacing of piles = $\frac{24}{13.6} = 1.76$ m



PLANS AND SPECIFICATIONS
EXISTING **APPROVED**
SUBJECT TO SUCH CONDITIONS AS ARE TO BE ENDORSED ON OR APPENDED TO BUILDING PERMIT
SIGNED: *[Signature]*
BUILDING INSPECTOR
DATE: 1.10.85

⊗ - position of piles

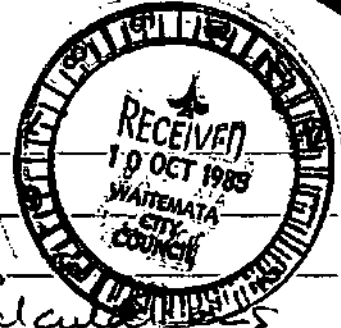
Note

Piles - materials and driving - are to be in accordance with that specified in NZS 3604:1984 - in particular appendix D.

Refer calculation of 19.8.85.

Returned
Registered Engineer
3.10.85

BP 29322.



26 Daffodil St, Titirangi

Owner; MR B. Keach

Driving of Timber piles - refer calculation

and specification of 3.10.85.

Comment on:-

Information supplied by owner as record of driving.

175φ piles used - refer 140φ specified

	Pile,	embedment,	blow/distance
	1	2.	to solid
6 x	2	2	10/100mm
5 x	3	3.6	10/40mm
4 x	4	3.4	10/125
3 x	5	2.3	10/75
x	6	2.0	to solid.
	2	1	

maximum penetration/blow = 100/10 = 10mm

which is less than 25mm required. OK.

Pile 6 is not now critical (based on above information) as foundation beam and block wall act as deep beam to distribute loads to other piles which on above record would have a greater capacity than required. If for pile 1 "to solid" indicates refusal, then it also is adequate.

Piles driven by George Markovina.

10/10/85.

Reg. Engineer
10.10.85

DATE: 5/9/1985

APPLICANT: Keach

The following are required before structural checking can proceed on Building Permit Application No. 383/4 (i.e. those ticked below)

1. Design Certificate as per Memo dated 19/10/81 to Chief Building inspector.

Design Certificate to State -

"This design certificate covers all parts and portions of the structure non-complying with NZS 3604 and NZSS 1900 Chapter 6.2 and their associated amendments.

Design Certificate to state -

- (i) Plan No's
- (ii) Title
- (iii) Street Address
- (iv) Legal Description

to which it applies.

4. Calculations for:-

5. Details for:-

Tie beam/post connection.
Nailing schedule for diaphragm floor.

6. Other Requirements:-

SIGNED: Arthur

HOUSE EXTENSIONS FOR MR B KEACH
26 DAFFODIL ST TITIRANGI.

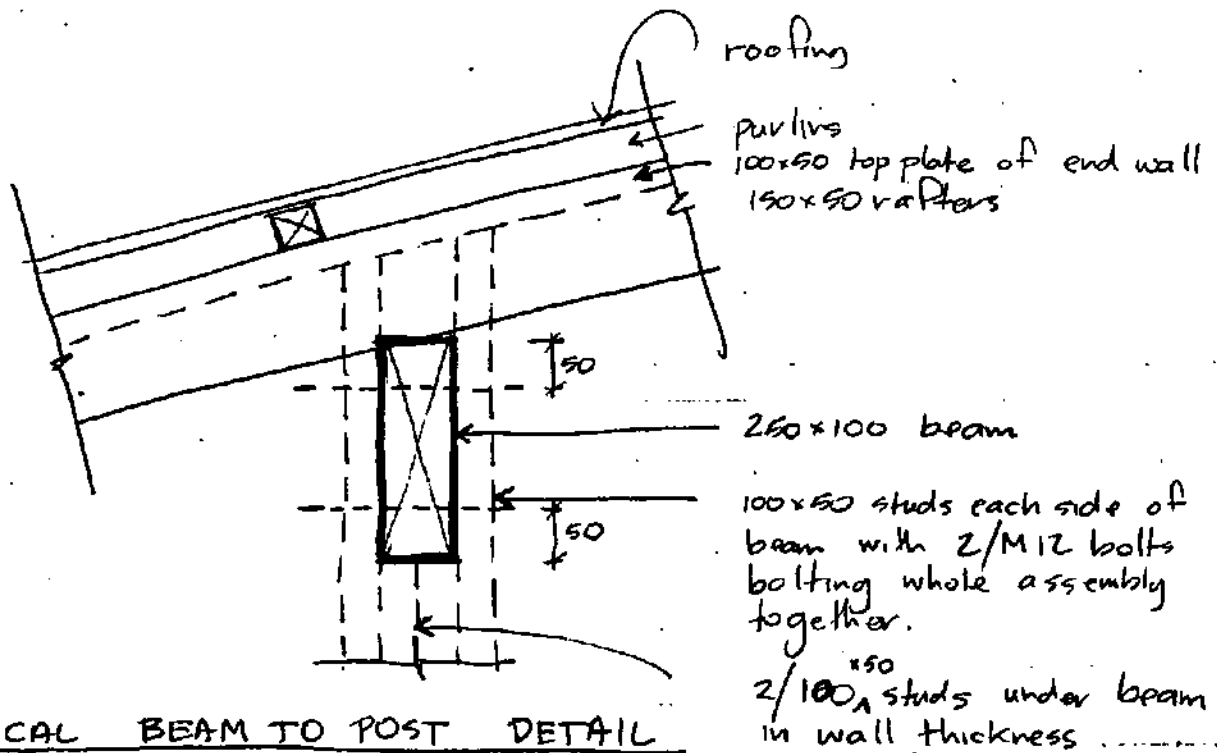
In response to queries from Waitemata City Council, the following additional information is supplied.

1. Nailing for floor diaphragm

- At all sheet edges 60mm x 2.8mm at 150mm centres
- At all intermediate supports 60 x 2.8mm nails at 300mm cc.

2. Detail of Beam to Post Connection

Refer to drawing for positions of roof beams



23 August 1985

This is to certify that the attached calculations relating to timber beams, masonry walls and foundation footings thereof for extensions to dwelling at 26 Daffodil St, Titirangi (Lot 93 DP 55509, CT 220/1302) the owner being Mr. B. Keach, as shown on Architects drawings.

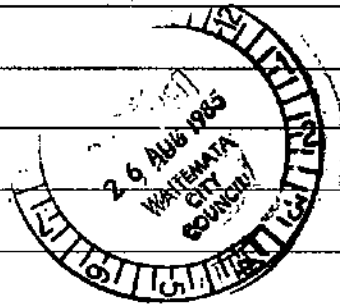
The calculations have been carried out in accordance with the appropriate New Zealand Standards.

P. Turner

P.M. Turner

Registered Engineer.

23.8.85



Specific design applying to property of:-
 MR. B. Keach, 26 Daffodil St, Titirangi.

Timber roof beams, concrete block masonry walls
 and footings - design only.

Roof Beams

4.75 span supporting rafter span 5.5/2
 + 5.00 " " " " 5.2/2.

roofing, galv iron	0.08 kpa	
rafters, insul.	0.1 kpa	
plaster ceiling	0.1 kpa	
	<u>0.28 kpa</u>	D.L
	<u>0.25 kpa</u>	L.L.
	0.53 kpa.	

by inspection D.L critical over 0.7D + Wind.

$$\frac{5.2}{2} \times 0.53 = 1.38 \text{ kN/m}$$

by 250x100 (No 1 framing)

$$M = \frac{1.38 \times 25^2}{8} = 4.31 \text{ kNm.}$$

$$\frac{M}{Z} = \frac{4.31 \times 10^6}{932 \times 10^3} = 4.62 \text{ MPa.}$$

$$K_8 = 0.95 \quad K_1 = 1.35, \quad F_b' = 5 \rightarrow F_b = 6.41 \quad \checkmark$$

$$\Delta_D = 0.0143 \omega L^4$$

$$= 0.0143 \times 0.73 \times 5^4 = 6.5 \text{ mm} \quad \checkmark$$

$$K_2 = 2.0 \quad \Delta = 13 \text{ mm}, \quad \frac{5000}{13} = 385 \quad \checkmark$$

Use 250x100, No 1 Framing for span of 5.0 + 4.75m
 100x100 post (2/100x50) tie beam to post at 21-

2/

100x100 (2/100x50) post to ends of beams

- post positioned within existing structure
fitch 200x50 to existing joist under post.
between bearing lines.

- Tie beam/post as per truss/top plate
connection NZ 3604.

—||—

Reinforced beam over door opening.

$$L = 4.6 \text{ m}$$

$$\left. \begin{array}{l} \text{WS} = \text{Self } 0.4 \times 0.2 \times 24 \\ \text{wall above } 0.5 \text{ kPa} \times 2.4 \\ \text{L.L. } 1.5 \text{ kPa} \times 0.6 \end{array} \right\} \begin{array}{l} \\ 3.12 \text{ kN/m} \\ 0.9 \text{ kN/m} \end{array}$$

$$1.4D + 1.7L = (3.12 \times 1.4) + (0.9 \times 1.7) \\ = 5.9 \text{ kN/m}$$

$$M_u = \frac{wL^2}{8} = \frac{5.9 \times 4.6^2}{8} = 15.6 \text{ kNm}$$

$$\frac{M_u}{\phi b d^2} = \frac{15.6}{0.9 \times 200 \times 350^2} = 0.7 \times 10^{-6}$$

provide min reinf $\rightarrow p < 0.005$

$$A_s = 0.005 \times 200 \times 350 = 350 \text{ mm}^2$$

400x200 R.C., 2 D16 T+B, R6 ties @ 200 c/c.

—||—

Beams. 2.2 m span

$$w = 2 \text{ kPa} \times \frac{2.2}{2} = 2.2 \text{ kN/m}$$

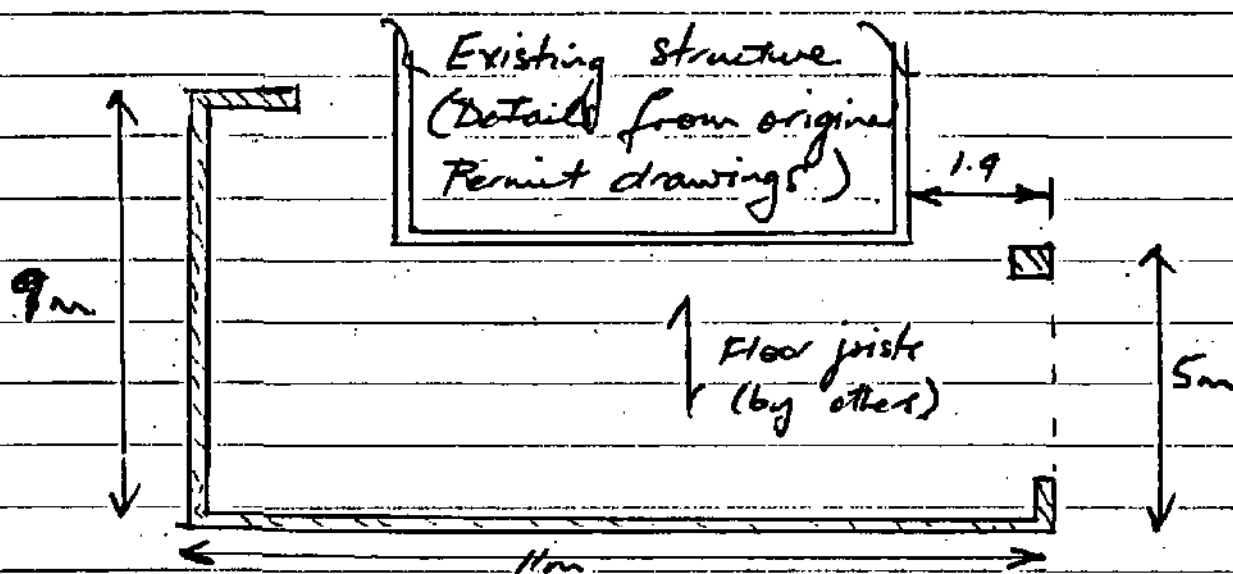
$$M = \frac{wL^2}{8} = \frac{2.2 \times 2.2^2}{8} = 0.67 \text{ kNm}$$

$$Z = \frac{M}{F_y} = \frac{0.67 \times 10^6}{5 \times 1.35} = 100 \times 10^3 \text{ mm}^3$$

$$F_y = 5 \times 1.35$$

use 250x100

Concrete Block Basement walls.



Plan on block walls

System: Face loaded walls spanning between footing and floor diaphragm above, which in turn is tied to existing structure.

face loaded wall (partially filled) - 3 kpa.
 $w_{\text{wall}} = \frac{2.4 \text{ m} \times 3 \text{ kpa}}{2}$

$$C_p = \alpha \cdot K_{\text{ex}} \cdot Z \cdot R \cdot C_{\text{ms}} \quad (\text{A203:1984})$$

$$= 1 \times 1 \times \frac{2}{3} \times 1.0 \times 0.2 = 0.133$$

$$w_T = 3 \times 0.133 = 0.4 \text{ kpa}$$

for vert reinf at 800 c/c

$$= 0.8 \times 0.4 = 0.32 \text{ kN/m}$$

$$M_u = \frac{w l^2}{8}$$

$$= \frac{0.32 \times 2.4^2}{8}$$

$$= 0.23 \text{ kNm}$$

D12 - 800

$$\rho = \frac{113}{200 \times 95}$$
$$= 0.006$$

$$\left(\frac{A_s}{b.d.} \right)$$

$$\frac{M_u}{\phi b d^2} = \frac{0.006 \times 275}{4} \cdot f_y \cdot \left(1 - 0.59 \cdot \rho \cdot \frac{f_y}{f'_c} \right)$$

$$= 0.006 \times 275 \left(1 - 0.59 \times 0.006 \times \frac{275}{4} \right)$$

$$= 1.25 \text{ MPa}$$

$$M_u = 1.25 \times 0.85 \times 200 \times 95^2$$
$$= 1.92 \text{ kNm}$$

D12 - 800 vertically

D16 - mid height bond beam.

Grout (17.5 MPa) reinforced cells

Timber diaphragm. -

N25 4203 : 1984 →

$$S_p, M_p = 1.0$$

$$C_p = \alpha \cdot K \cdot Z \cdot R \cdot C_{pane}$$

$$= 1.0 \times 1.0 \times \frac{2}{3} \times 1.0 \times 0.2$$

$$= 0.13$$

Contributing masses:-

$$\text{block wall} = \frac{2.4 \times 3.0 \text{ kpa}}{2} = 3.6 \text{ kN/m}$$

$$\text{timber top storage} = 0.25 \text{ kpa floor}$$

$$= 0.3 \text{ kpa walls}$$

$$= 0.5 \text{ kpa roof}$$

$$= 0.5 \text{ kpa (L.L. } 1.5/3)$$

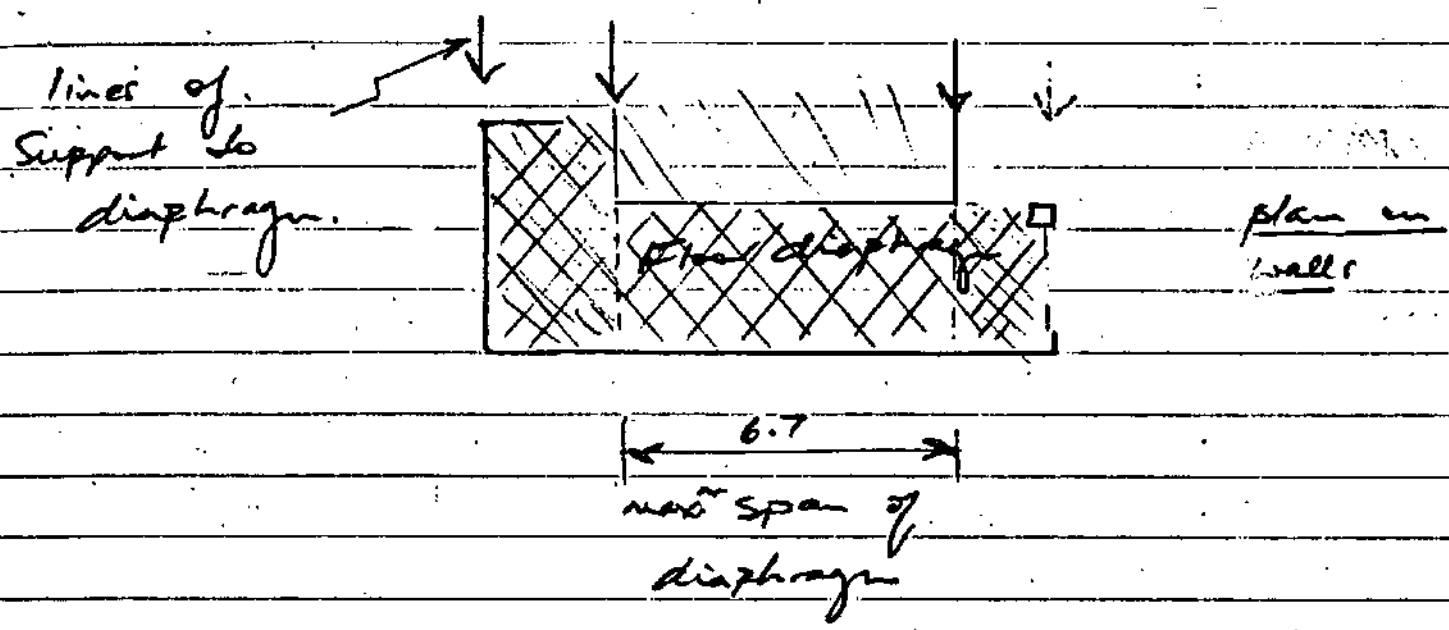
$$\underline{1.55 \text{ kpa}}$$

$$\times 5 \text{ m width} = 7.75 \text{ kN/m}$$

$$\underline{11.35 \text{ kN/m}}$$

$$V = W_T \cdot C_d$$

$$= 11.35 \times 0.13 = 1.48 \text{ kN/m}$$



Particle board floor

$$\text{Max moment} = \frac{wL^2}{8} = \frac{1.48 \times 6.7^2}{8} = 8.3 \text{ kNm}$$

$$\therefore \text{chord (boundary member) force} = \frac{8.3}{5} = 1.66 \text{ kN}$$

butt splice with Tylok 6T15 nail plate

shear transfer load at edge of diaphragm

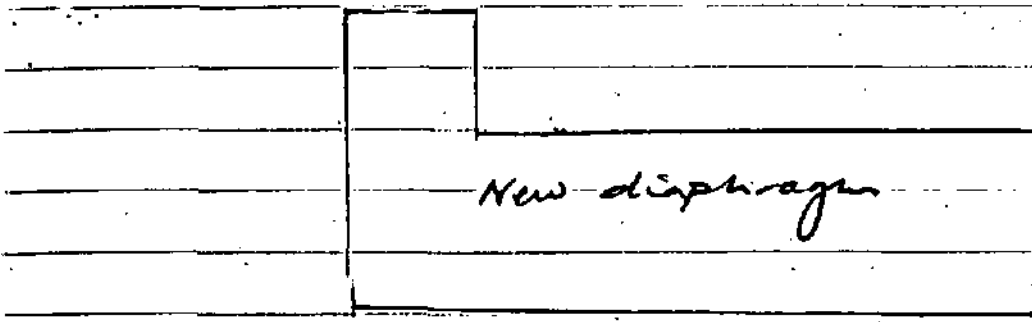
$$= \frac{6.7 \times 1.48}{2} = 4.96 \text{ kN}$$

$$\text{Shear flow} = \frac{4.96}{5} = 1.0 \text{ kN/m}$$

for nails at 150 c/c - 6.67 nails/m

$$\rightarrow \frac{1}{6.67} = 0.15 \text{ kN/m} \text{ OK}$$

Nail diaphragm as required by NZS 3604.



lines of restraint

new wall.

existing masonry walls - bond beam detailed (shown on permit drawing) full length hence imposed load distributed over full length of existing wall.

add^d shear in existing walls. (\approx 8m long)
 $\frac{4.95}{8} = 0.59 \text{ kN/m. (N/mm)}$

$$\frac{0.59 \times 10^{-3}}{2 \times 85} = 0.012 \text{ MPa, ie v. small. OK}$$

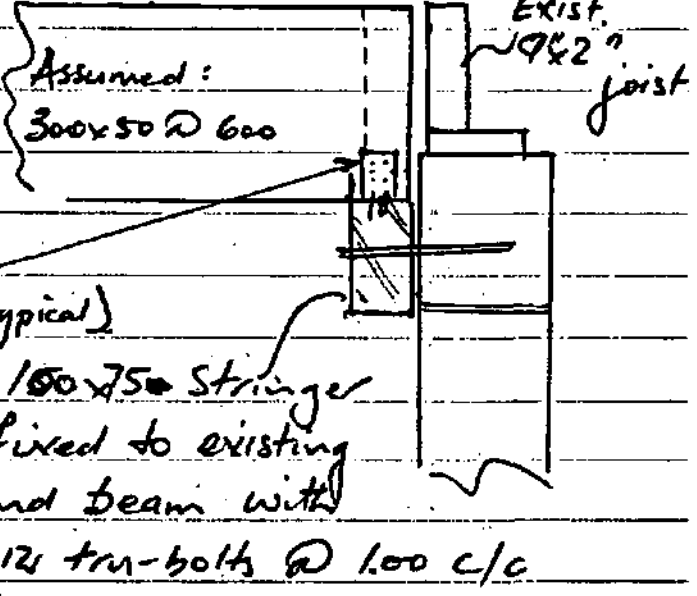
● Foundations

wall	3×2.4	$= 7.2 \text{ kN/m}$
above (cf. p. 4)	$\frac{(1.55+1) \times 5}{2}$	$= 6.4$
		$\underline{13.6 \text{ kN/m}}$

for 300 ftg. $\frac{13.6}{0.3} = 45 \text{ kpa. - allowable brg. required.}$

Note: Foundation soils will be required to be inspected on opening up footings to check allowable bearing and more particularly check for presence of fill material.

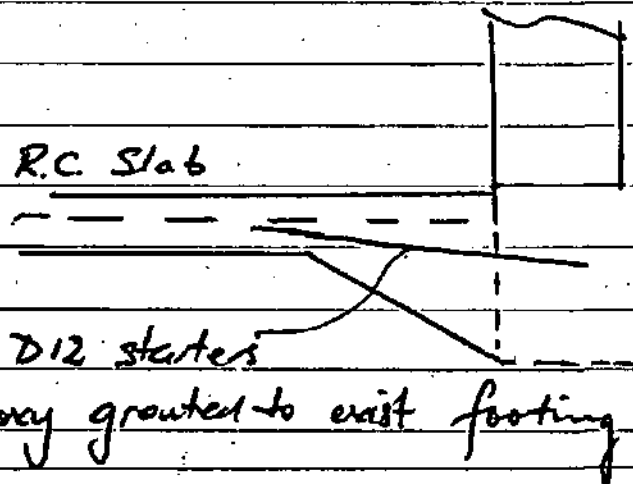
Section A-A
+ B-B



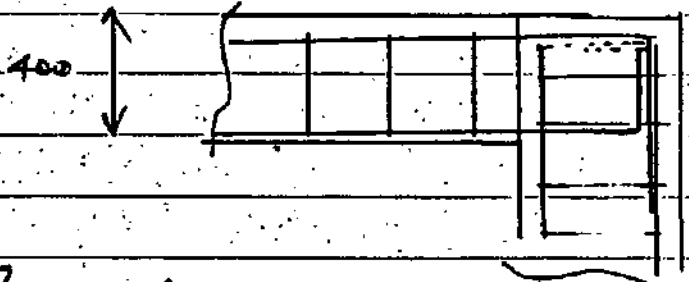
Lumberlok CP60 each side A-A
.. .. to one side B-B (typical)

(Nailed in accordance with
● manufacturers specification)

150x75 Stringer
fixed to existing
bond beam with
M12 tru-bolts @ 1.00 c/c



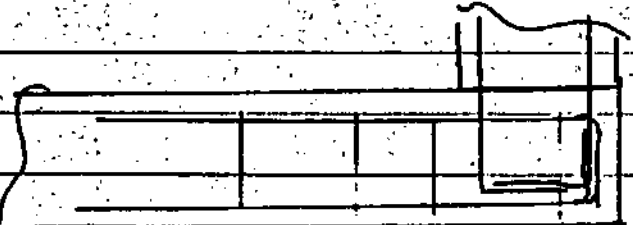
400x200
R.C. beam
2 D16 T+B
R6-200 ties



400x400
pillaster
4-D16
R6-200

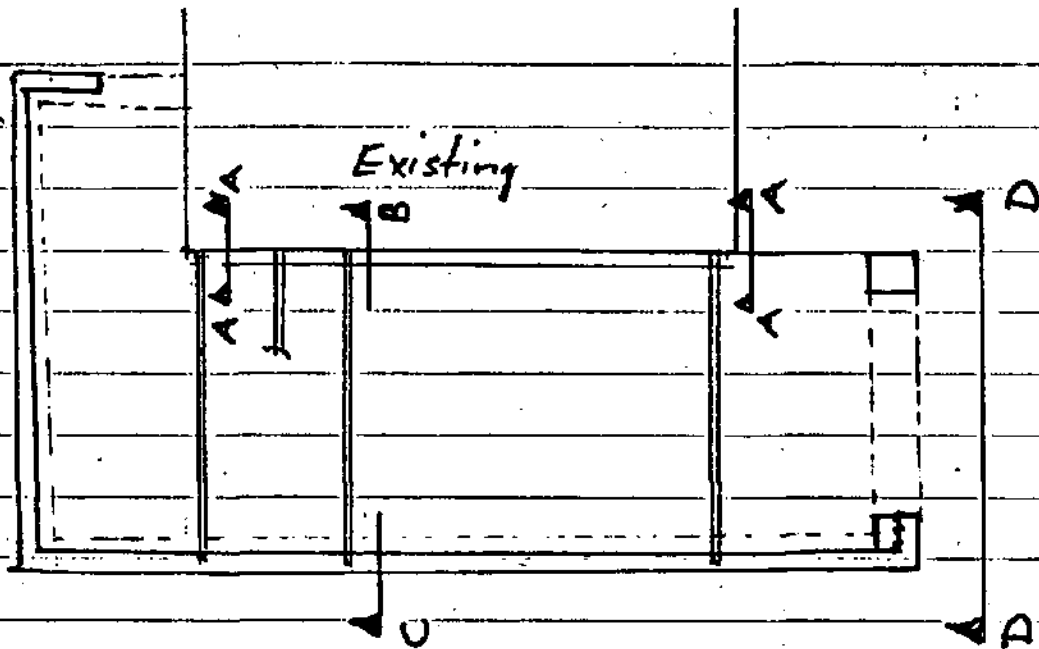
Same other end
of opening

300 min
into ground



Se-T. D-D

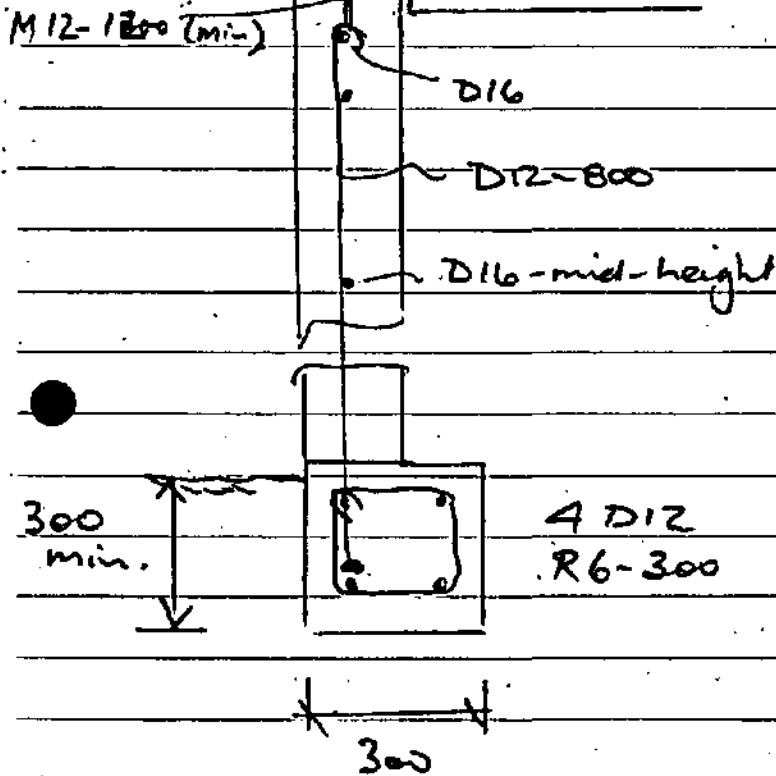
400x300, 4 D12
R6-200



Continuous
Splice with
Tylok 6T15

Lumberlok CP40
each joist/plate.

Section C-C.



Resumed (P.M. Turner)
Reg. Engineer
19-9-85

SPECIFICATION

Specification of the work to be done and the materials to be used in the erection and completion of the building as per the accompanying drawings

for:

----- Mr + Mrs B Koch -----
----- 26 Daffodil St -----
----- Titirangi -----

Standard Documents

N.Z.S. 1900	Chapter 6.2	Blockwork
N.Z.S. 1900	Chapter 9.3A	Concrete Work
N.Z.S. 3604	Timber Framed Construction	

PRELIMINARY AND GENERAL (ALL TRADES)

1. Permits

The Contractors shall arrange to obtain all permits to build etc., arrange all inspections and pay all fees as required by the local authorities.

2. Protection of work

All parts of the work liable to injury and all adjoining property, existing work, footways, trees etc., are to be protected until completion of the contract.

3. Site

The site of the works will be pointed out to Tenderers who are advised to visit same and check the slope of the ground, quality of the soil etc., as no extras will be paid for foundation work, site drainage and levelling not detailed or specified.

4. By-laws

The whole of the work in this contract is to be carried out in strict accordance with the local authorities' regulations, and to be of a standard as approved by the loan company.

5. Extent of work

This contract comprises the erection and completion in the soundest and most workmanlike manner of all the work shown or reasonably implied on the accompanying drawings and in accordance with this specification and the supply of all plant, tools, labour, materials, fixtures and fittings required for the due completion of the work.

6. Insurance

The Contractor shall at all times, keep the whole of the works fully covered by insurance. Fire. Public liability. Workers' Compensation etc.

7. Temporary Services

The Contractor shall arrange for all temporary services, pay all fees in connection therewith and remove same on completion of the contract. Sheds, toilet, power, water, access to the building site, scaffolding.

8. Maintenance

The Contractors shall maintain the property for a period of 30 days after completion, and any damage done, arising during that time through faulty workmanship or materials shall be made good at the Contractor's expense.

9. Completion

On completion all trade debris is to be removed from the site and the building left clean and ready for occupancy, with all services and mechanical parts in good working order.

10. Engineers Calculations

Where supplied engineers calculations and detailing shall take precedence over any work shown or implied on the drawings.

EXCAVATOR

1. Generally

Remove all turf or other vegetation, including trees, stumps etc., from the area to be built on.

Bulldoze the site to the levels shown on the drawings. (Check original conditions).

Excavate as required for all wall footings, pile footings, steps etc., as shown on the drawings.

Footing excavations are to be taken down to a solid bearing and to be not less than 300 mm deep.

Excavations are to be stepped to suit the slope of the ground, and kept level at the bottom, maintained free from water or fallen material and shall be firm before placing reinforcing or concrete.

Backfill and ram earth around the foundations after concrete work has firmly set.

Deposit the surplus spoil on the site as directed by the Owners.

The Contractor is to locate all existing drains before excavation work starts, as any drainage done will be remedied at the Contractors expense.

CONCRETOR

1. Materials

Concrete to be pre-mixed with a test of 17,500 kPa after 28 days.

Reinforcement to be round mild steel rods or reinforcing mesh, as detailed, free from scale, loose rust, paint, grease, dirt etc.

Formwork shall be erected and braced in such a manner that the concrete shall finish to the dimensions shown or specified. The formwork is to be hosed out and kept wet before and while the concrete is being placed.

2. Concrete Work

Construct the various footings, base walls and other work as detailed on the drawings and reinforced as shown.

Hard filling to be 75 mm down scoria or 'run of the pit' metal compacted in layers of (150 mm) depth maximum. Blind with 25 mm of sand and overlay with black polythene damp proof course with taped joints.

All floor slabs to be laid to true and straight surfaces, screeded, wood floated and finished with a steel float or power float to a fine finish. Thickness and reinforcing as detailed on the drawings.

Allow to build in all holding down bolts, pipes, wires etc., as required, prior to the pouring of the concrete. Holding down bolts to be 375 mm maximum from corners and at 1.2 m centres maximum.

All exposed concrete work (except floors) to be roughened or scratched for subsequent plastering.

If shown piles to be pre-cast, 600 x 200 x 200 mm set out as shown on the foundation plan and supported on 300 x 300 x 100 mm thick concrete footings.

BLOCKLAYER

1. Materials

Blocks are to be of the sizes as shown on the drawings, delivered to the site on pallets and to be free from cracks and chipped edges.

Mortar is to consist of sand, cement and a liquid lime based plasticiser, mixed according to the lime manufacturer's directions.

2. Laying

Construct the various block walls as shown on the drawings.

Corners to be plumbed both ways, courses to be level and straight.

The blocks are to be kept dry before and during laying and while the mortar is setting.

Sills are to be purpose made masonry unit sill blocks. Jamb blocks are to be rebated.

Ventilators are to be matching in colour and size, spaced 600 mm from the corners and at 1.8 m intervals.

Joints are to be 10 mm thick max, rounded on exposed faces.

Build in holding down bolts 300 mm from the corners and at 1.2 m centres.

Reinforce and concrete fill the various bond beam courses and vertical cavities as shown on the drawings.

On completion clean down all exposed faces of the block work and leave free from all defects and mortar stains.

CARPENTER

1. MATERIALS SCHEDULE

Material	Size	Grade	Remarks
Sub-floor jack studs	100 x 75mm	Radiata No 1 fr BT or M/S	
Sub-floor bracing	100 x 75mm	Radiata No 1 fr BT or M/S	
Bearers	100 x 100mm min	Radiata No 1 fr BT or M/S	Wired or bolted
Wall plates	100 x 50mm	Radiata No 1 fr BT or M/S	Bolted down
Floor joists	150 x 50mm or as detailed	Radiata No 1 fr BT or M/S	At 400mm to 600mm crs
Herringbone strutting	40 x 40mm	Radiata No 2 fr BT	At 2.5m crs
Solid bridging	Joist depth x 40mm	Radiata No 2 fr BT	At 2.5m crs
Top and bottom plates	100 x 50mm 75 x 50mm	Radiata No 1 fr BT	Long lengths
Studs	100 x 50mm 75 x 50mm	Radiata No 1 fr BT	At 600mm crs max.
Trimmer studs		Radiata No 1 fr BT	See table below
Lintels		Radiata No 1 fr BT	See table below
Nogging (Dwangs)	100 x 50mm 75 x 50mm	Radiata No 2 fr BT	1 row to walls 4 rows to vert. boards
Bracing	galv. metal angle or 100 x 25mm	Radiata Merch BT	Checked in flush
Ceiling joists	100 x 50mm	Radiata No 1 fr BT	At 900mm crs max
Ceiling bracing	100 x 25mm 100 x 50mm	Radiata Merch BT	Diagonal
Ceiling nogging	75 x 50mm	Radiata No 2 fr BT	At 1.8m crs max
Rafters	100 x 50mm or as detailed	Radiata No 1 fr BT	At 400mm crs to 900mm crs
Ridge Boards and Hip rafters	150 x 25mm	Radiata Merch BT	Minimum
Valley rafters	100 x 50mm	Radiata No 1 fr BT	Minimum
Valley boards	150 x 25mm	Radiata Merch BT	
Underpurlins	100 x 50mm	Radiata No 1 fr BT	Minimum
Roof struts	100 x 50mm	Radiata No 1 fr BT	As detailed
Collar ties	150 x 25mm	Radiata Merch BT	1.8m crs max.
Purlins (Iron roof)	75 x 50mm	Radiata No 1 fr BT	750mm crs max
Roof trusses	Gangnail or similar		At 900mm centres
Eaves framing	75 x 40mm	Radiata No 2 fr BT	
Fascia boards	ex 200 x 25mm	Radiata M/S finger jointed grooved	
Barge Boards	ex 200 x 25mm	Radiata M/S finger jointed grooved	
Weatherboards	ex 200 x 25mm	Radiata M/S finger jointed BB or 'Hardplanks'	
Vertical boards	ex 200 x 25mm	Radiata M/S finger jointed or as detailed	
Exterior facings	ex 75 x 25mm	Radiata M/S finger jointed	
Scribers	Standard	Radiata M/S White pine M/S Cedar (pre primed)	
Flooring	3600 x 1800	HD particle bd 3600 x 1200	
Interior door jambs	ex 25mm	DA Rimu or Radiata FJ	10mm bevelled stops
Architraves	40 x 10mm	DA Rimu or Radiata FJ	Bevelled two edges
Skirtings	65 x 10mm	DA Rimu or Radiata FJ	Bevelled one edge
Sill boards	ex 25mm	DA Rimu or Radiata FJ	Sanded. Grooved back
Cornices	40mm	DA Rimu or Radiata FJ	Bevelled or splayed
Splash boards	ex 25mm	DA Rimu or Radiata FJ	Primed. Grooved back
Shelving	ex 25mm	Dressing grade or particle board	
Exterior Trim	Mouldings as required	Radiata M/S	
Interior trim	Mouldings as required	Radiata FJ or DA, Rimu or clean Radiata	

Abbreviations used:

BT - Boric Treated (or equivalent)
fr - framing
DA - Dressing A (grade)

MS - Multi salt pressure treated
Merch - Merchantable (grade)
FJ - finger jointed

Trimming Studs (Light roof and heavy roof). See also NZS 3604

Single or top storey

Openings up to 1.8m wide	100 x 50mm
Openings 1.8m to 3m	100 x 75mm Solid or built up
Openings 3m to 3.6m wide	100 x 100mm Solid or built up

Lower of two storeys

Openings up to 1.8m wide	100 x 75mm
Openings 1.8m to 3.0m wide	100 x 100 mm Solid or built up
Openings 3.0m to 3.6m wide	100 x 125 mm Solid or built up

Lintels (light roof 8m truss span) See also NZS 3604

Opening Width	Lintel Size
Up to 0.95	100 x 100 mm
0.9 to 2.45m	150 x 100 mm
2.45 to 3.05m	200 x 100 mm
3.05 to 3.65 m	250 x 100 mm

2. Construction

All materials are to be the best of their respective kinds and grades, laid true to their various lines and levels and constructed in a proper tradesmanlike manner, to make the whole of the works a sound construction in accordance with the local by-laws.

All timber work abutting or resting on masonry units, concrete or brickwork is to be protected with a bitumen-fabric damp proof course.

Sub-floor jack studs are to be wired to foundation piles with 4mm galv. wire ties passed through the piles and well stapled to the jack studs.

Bearers to be in long lengths, butted over jack studs or piles where joined, and supported with 100 x 50mm fitches. Sub-floor bracing to be diagonal, as required by NZS 3604 and as directed by the local authority inspector.

Floor joists to be on edge, set out to suit the flooring sheets, nailed with two 100mm nails at every crossing and trimmed as required for stairwell openings, slabs, etc.

Double the floor joists at each end of the building and under the bearing partition. Floor joists spanning more than 2.5m are to be stiffened with herringbone strutting or solid bridging in rows at 2.5m centres maximum. Plates to be in long straight lengths. Bottom plates and wall plates to be butt joined over continuous support, top plates to be halve jointed or butt jointed and fastened with nail plates.

Studs are to be set out to accommodate 2.4m high wall lining sheets, and are to be held to the plates with two 100mm flat headed nails at each end. Bowed studs are to be straightened with sawcuts, wedges and with 2 pieces of 100 x 25mm timber 450mm long (1 piece each side).

Lintels are to be checked 15mm minimum into solid trimmer studs. Where built up trimmer studs are used one 100 x 50mm stud is to be run up past the trimmer to the top plate and the remaining 100 x 50 or 100 x 25 is to run up to the underside of the lintel, and blocked above.

Nogging (dwangs) shall be 50 x 50mm min spaced in rows at 1.350m centres, maximum, set out to accommodate the wall lining sheets and where required drilled or notched for ventilation. To be nailed with two 75mm nails at each end.

Ceiling nogging (dwangs) to be set out to accommodate the ceiling lining sheets and cornices. Around the perimeter of each room and in rows at 900mm centres maximum.

Bracing to be let in flush with the face of the wall frames and raked as nearly as practicable to 45 degrees and not more than 55 degrees from horizontal max.

To be positioned as shown on the drawings and the bracing calculation sheet.

The wall frames are to be assembled, squared, braced and erected. The bottom plates are to be straightened and fastened down, the corners are to be plumbed both ways using a plumb bob and line and the top plates are to be held straight with temporary bracing until the ceiling and roof framing and bracing has been completed.

Ceiling joists to be on edge and spiked to the wall plates with two 100mm nails at each end. Where practicable, the ceiling joints are to come alongside rafters and to be spiked thereto.

Ceiling joists spanning more than 2.0m are to be stiffened with ceiling runners well spiked at every crossing.

150 x 50mm runners will span up to 3.1m

200 x 50 mm runners will span up to 4.2m

250 x 75mm runners will span up to 4.9m

Rafters to be plumb cut to ridges and hip rafters and to be birdsmouthed to plates and fastened with two 100mm nails to the plates.

Supply and fix the necessary ridge boards, hip rafters, valley rafters, valley boards, underpurlins, roof struts, strutting beams and collar ties and braces as required to complete the roof framing and as detailed on the drawings.

Alternatively, where detailed, the roof framing is to be constructed with Engineer designed 'Gangnail' roof trusses fixed plumb, fastened to the plates with framing anchors, stiffened with runners and braced at each end of the building. The trusses are to be positioned directly over studs or supporting noggings is to be fixed between the studs directly under the top plate.

Purlins galv. steel (roof) to be spaced to accommodate the roof covering and ridging and fastened to the rafters with one 100mm nail and one 75mm skew nail at every crossing.

Eaves runner to be nailed to the outside of the wall frames.

Eaves bearers to be nailed securely to each rafter overhang.

3. Exterior finish

All exterior joinery, exterior timber linings or trim and all end grain joints are to be given a coat of primer or stain prior to fixing.

Behind all wall cladding fit a breather type building paper lapped 100mm and carried up to top plate level.

Grooved fascia and barge boards are to be fixed to level and straight lines, mitred where joined and fastened with galvanised nails.

Wall areas are to be covered with exterior lining as shown on the drawings.

Weatherboards are to have scribed internal corner joints and mitred external corners without soakers. Fix with 60mm galv. nails minimum.

Vertical boards are to be fixed plumb and in single lengths with 60mm galv nails.

Soffits, verges and porch ceilings to be lined with flat fibre-cement sheets with plastic jointer moulds.

Build in the various exterior joinery frames as supplied under 'Joiner'. Fit sill trays, head capping and flashing, trim at sides with scribes and under the sill with a quadrant mould, all as required.

Exterior doors to be fitted on one and half pairs of 100mm galvanised loose pin (brass) butts.

Provide and fix a ledge and brace type foundation, access door and frame, positioned as directed.

4. Interior Finish

Flooring to be laid in large single sheets of high density particle board or wood fibre board with joints in alignment both ways. All joints and edges to be continuously supported by floor joists or nogging cut between the floor joists.

Check with the Owners regarding the laying of flooring before the wall framing is erected.

Nail the flooring with 60mm galv. jolt head nails at 150mm centres on the joints and at 300mm centres on intermediate floor joists.

On completion of the contract the floor nails are to be punched and the floor machine sanded with two papers to a fine finish.

Care must be taken that the flooring is not stained by rust marks, tea or coffee stains etc.

Interior wall linings generally to be 9.5mm gibraltar board sheets fixed with vertical joints and nailed with flat headed galvanised clouts, double nailed to studs and nogging. Sheets to service rooms may be glue fixed with horizontal joints. Sheets to be used as bracing panels must be nailed at 150mm crs around the perimeter with the appropriate nails.

All joints, nail holes and other imperfections are to be stopped flush and left ready for the paperhanger.

Shower linings to be selected formica wallboard with plastic jointer and corner mouldings.

Ceiling linings to be fibrous plaster sheets, well glued or wadded to ceiling framing and with all joints, nail holes and other imperfections stopped flush and left ready for the painter, or plaster board sheets with taped joints.

Nog for and build in the various joinery fittings as supplied under 'Joiner' and trim to walls, floor and ceiling with quadrant and bevelled mouldings as required.

Nog for and build in the various fittings as supplied under 'Plumber' and trim around with splash boards primed and set in mastic and other finishing trim and mouldings as required.

Interior doors are to be fitted with 1½ pairs of 90mm AC or FB loose pin butts.

Architraves to be fitted in single lengths, with glued mitred joints.

Skirtings to be scribed to the floor and internal corners and mitred at external angles.

Sill boards to be housed to jambs and mullions and bevel scribed to sashes. To finish flush with the inside of the jambs and to be finished with a returned architrave.

Coat cupboard and wardrobes to be fitted with one shelf ex 300mm wide fixed 1.750m above the floor and with a 20mm galv. pipe hanger rail under.

Linen, hot water and other cupboards to be shelved with slatted shelves ex 100 x 25mm as directed.

Allow the PC sum of \$..... for all hardware, and allow to order, take delivery of and fix same.

Form a ceiling access door in a convenient and inconspicuous place (wardrobe).

Co-operate with the Electrician in the building in of a meter box and the building of a switchboard recess lined with fire resistant material and trimmed around as required.

Supply and fix the sundry internal finishing mouldings and trim as required. 12mm quadrants to internal corners of service rooms, etc.

Cut for, attend on, and make good after all trades and provide and fix all necessary blocks for securing the work of all other trades.

All internal finishing timbers shall be sanded to remove machine marks and on completion, shall be free from all hammer marks, splits or other defects.

All nails in exposed work (interior and exterior) are to be punched.

JOINER

1. Timber Grades

Exterior Joinery	Heart Rimu or Rad. P. P. T. Huttloc
Door Sills	Heart Matai
Sashes	Redwood, or Rad. P. P. T. Huttloc
Interior Joinery	D.A. Rimu or as specified

All to be dry seasoned timber to standard profiles.

2. Windows

Aluminium windows where detailed shall be delivered to the site, stored on edge and protected from breakages, damage, plaster splashes etc. To be installed as per the manufacturer's directions.

Timber windows to be of the sizes and types as indicated on the drawings with all members run to standard or J.M.F. 'Sundyne' profile, of standard construction and high class workmanship. Opening awning type sashes to be fitted with 'Interlock' stays of approved sizes.

The windows are to be glazed with standard quality glass, with selected obscured glass to bathroom and W.C. windows and as directed.

3. Doors

Exterior door frames and doors are to be of standard sizes and of the types as shown on the drawings.

Interior doors are to be flush type, with D.A. Rimu facing sheets and clashing strip to the closing edge.

Interior door jambs are to be ex 25mm with 15mm bevelled planted stops.

Glazing to doors or door frames to be selected obscured glass.

4. Fittings

Construct the various fittings as shown on the drawings.

Cupboards are to be of standard construction and divided into door and drawer units as directed.

Sink top as specified under "Plumber". Other bench tops to be selected "formica" or "laminex" with matching edges.

Cupboard doors to have solid core hardboard faced doors. Drawers to have sides dovetailed to fronts and hardboard to bottom.

5. Stairs

CLOSED TYPE: To be constructed with strings ex 250 x 50mm treads ex 40mm thick and risers ex 25mm thick. The treads and risers are to be housed 15mm glue wedged and glue blocked to the strings. Nosing to be 30mm maximum.

ROOFER

1. Generally

Refer to the drawings for the type of roofing to be used.

2. Concrete Tiles

Tile battens are to be nailed firmly to the rafters and spaced to suit the gauge of the tiles.

50 x 25mm battens for rafters at 450mm centres.

50 x 50mm selected quality Douglas Fir battens for rafters or roof trusses at 900mm centres.

Tiles are to be set out with a full tile at the top.

Tiles to be laid with standard laps and nailed or wired down in accordance with standard practise.

Hips and ridges to be covered with hip tiles bedded in mortar.

Parge all hips, ridges and barges with coloured mortar to suit the colour of the tiles.

On completion leave 5 ordinary and 2 ridge tiles under the building for future maintenance purposes.

Supply the Owners with a guarantee for the tiles and a separate two year guarantee for the laying of the tiles.

3. Coated galvanised tiles

Supply and fix an approved breather type underlay on top of the rafters and under the tile battens.

Battens to be splay cut, two ex 75 x 50mm timber and set out to suit the gauge of the tiles, and nailed firmly to the rafters. Co-operate with the Carpenter in the determining of the rafter length to finish with a full tile at the top.

Ridges, hips and barges to be covered with purpose made accessories, coated as for tiles.

Fix the tiles and accessories in accordance with standard practise and touch up all exposed nail heads with bitumastic coating coloured as for tiles.

Supply the Owners with the standard guarantee for the laying of the tiles.

4. Galvanised Steel

The roof area is to be covered with 75mm x 1mm galvanised wire mesh stretched taut and securely stapled to the purlins. Overlay with breather type building paper. Alternatively use a breather type underlay which will span over the purlins.

Roofing to be 0.5mm galvanised corrugated steel sheeting, with primed laps, in single lengths, with 1½ corrugations side lap and nailed with purpose-made nails in accordance with standard practise.

Ridges and hips to be covered with lead edged ridging, primed on the underside in long lengths, with the lead edge dressed down into the corrugations of the iron.

Barges to be covered with purpose made barge flashings with a nailing edge on to the barge board.

Supply and fix all flashings, lead caps, etc. to make the roof thoroughly watertight and birdproof.

Priming to be calcium plumbate.

5. Flat roofs

Supply and fix over galv. netting and breather type building paper and as per the manufacturer's directions, the flat roofing as shown on the drawings, complete with matching spoutings, downpipes, barge flashings and flashings as required.

PLUMBER AND DRAINLAYER

1. Generally

The whole of the plumbing and drainlaying shall be done in strict accordance with the local authorities' by-laws and drains shall be laid by registered workmen only.

The plumbing contractor shall obtain all necessary permits for the work and pay all fees in connection thereto.

2. Exterior work

Supply and fix all necessary flashings, lead caps, sill trays etc., in conjunction with the Builder to make a thoroughly watertight job.

Supply and fix galvanised spouting to all eaves, laid with even falls to 75mm diameter galvanised downpipes.

Valleys to be standard, galvanised, laid over building paper.

3. Water Services

Where necessary lay on cold water from the main, feed through a pressure reducing valve to a hot water cylinder, set up as shown on the drawings. Provide and set up the cylinder, complete with casing, lagging and thermostatically controlled electric element.

Lay on hot and cold water services to the various fittings as shown on the drawings and to 2 hose standards positioned if directed. Hot water service to run in copper. Main and cold water may run in plastic if approved.

4. Fittings

Provide and set up the fittings as shown on the drawings and provide regulation traps and wastes to same. Traps and wastes may be plastic if approved.

All fittings are to be selected by owner and fixed by Contractor.

5. Drains

Stormwater to be taken in second quality socketted earthenware pipes to stormwater main connection, or standard soak holes.

Sewer drains to be first quality glazed socketted earthenware pipes, 100mm laid with even falls and easy bends to a main connection as directed.

Provide and fix all necessary gulley traps, terminal and back vents, cleaning eyes, inspection junctions and bends etc., as may be necessary to comply with the local authorities' regulations.

Provide and set the field tile drains set in scoria, if shown on the site or basement plan.

ELECTRICIAN

1. Generally

This contract includes the supply and installation of the electric wiring system complete. The whole of the work shall be carried out strictly in accordance with the local authorities' by-laws and the electrical contractor is to obtain all permits from the supply authority, pay all fees in connection therewith and arrange for all inspection required.

2. Supply

Arrange for a mains supply to the building, or extend existing supply from existing board to any new extension.

3. Boards

If required provide and set up as required one meter board and case with all necessary equipment thereon neatly labelled.

Provide and set up where directed a switchboard panel with all necessary fuses, switches and main switches properly mounted and labelled, and hinged on one side. This panel can be combined with the meter board if convenient to the Owners.

4. Lights

Provide and fix the lights, switches and power outlets as listed hereunder, all to be positioned by the Owners after the floor has been laid.

Passage and stairwell lights to have two way switches.

- Interior lights
- Exterior lights
- Power outlets with switch gear

5. Fittings

Allow to wire up and supply if necessary or shown on the drawings for Contractor to provide all electrical fittings listed or shown.

Earth all metal waste pipes and metal fittings as required by the regulations.

PAINTER AND PAPERHANGER

1. Exterior

Woodwork - Prime, stop and paint in one undercoat and one finish coat with a high gloss finish.

Stained work - One coat of stain prior to fixing, the nail holes etc. are to be stopped with coloured stopping followed by one further coat of the stain.

Metalwork, including spoutings, downpipes, wrought iron work etc. Approved primer for galvanised iron, one undercoat and one finish coat.

Asbestos - cement sheets. Two coats of plastic paint. Solid plaster and concrete block work to be left unpainted.

Iron roof - to be left unpainted.

2. Interior

Interiors of all service rooms to be primed or sealed, stopped, undercoated and finished with high gloss enamel.

All other ceilings to be given two coats of flat ceiling paint.

All other wall areas to be lined with wallpaper, hung in single lengths, plumb, and with butt joints.

Flush doors only to be sealed, and given two coats of satin finish varnish. To be rubbed down between coats.

All other interior finishing woodwork to be primed, stopped, undercoated and finished with a semi-gloss paint.

3. Completion

On completion the residence is to be left clean and tidy, window and other glasswork is to be cleaned. All trade debris is to be removed from the site and the building left clean and ready for occupancy.

APPLICATION NO. 383, A /

BUILDING PERMIT PROCESSING SHEET

Town Planning Zoning Res. 2 Date & Officer 23.9.85. Prabhu

Complies with district scheme

Approved by C.S. Brown Building Inspector 28.8.85 Date

Approved by D. Hall Plumbing/Drainage Inspector 4.9.85 Date

Approved by Health Inspector Date

Approved by Dangerous Goods Inspector Date

REMARKS
.....
.....
.....
.....
.....
.....
.....

Permit Issued subject to the following conditions ^① **TO NOTATIONS ON PLANS**

② If any filling is required under the proposed extension... a soil report will be required indicating the bearing capacity of the ground which will carry the intended loading.

INITIALS

Planning Consent Resolution File
Second-hand Materials Report Attached
Electricity Transmission Line Clearance Received
WCC Sanitary Sewers Checked: Release/~~Hold~~ OK
ARA Sewers Checked: Release/~~Hold~~ OK
WCC Stormwater Sewers Checked: Release/~~Hold~~ OK
Programmers Certificate Attached
Plans Checked by Fire Officer
Fire Officer's Report Received

FINAL CHECK Initials BE
Date 20/9/85

PERMIT NO 29322
DATE ISSUED 25 SEP 1985

5

Building Permit Fee 72-50
 Building Research Levy 21-00
 Water Meter Connection —
 Drainage Permit Fee 26-00
 Plumbing Permit Fee 36-00
 Road Damage Deposit 100-00

Sub Total

255-50

Vehicle Crossing Fee *
 Vehicle Crossing Bond *

* Cross out amount not
 applicable and add
 either Fee or Bond
 to Sub-total.

Total Fees Payable \$ 255-50

Receipt No 1/259 Date 25-9-85

Road Damage Deposit Refund \$ 100.00

To ANNOV Date 16/9/90



City of Waitemata

TELEPHONE 836 1195, 836 1119
STD 09

IF CALLING ASK FOR Mrs Rutt:RM

IN REPLY PLEASE QUOTE

ADDRESS ALL CORRESPONDENCE TO:

THE TOWN CLERK
WAITEMATA CITY COUNCIL
PRIVATE BAG
EDMONTON POST OFFICE
WAITEMATA CITY
NUCLEAR WEAPONS FREE ZONE

24 September 1985

Mr B.J. Keach
26 Daffodil Street
TITIRANGI 7

Dear Sir

RE: BUILDING PERMIT APPLICATION 383/4
LOT 93 : DP 55504 : 26 DAFFODIL STREET

With reference to the above application we are pleased to advise that this permit is now ready to be uplifted on payment of the following fees:

Building Permit Fee	\$ 72.50
Building Research Levy	\$ 21.00
Drainage Permit Fee	\$ 26.00
Plumbing Permit Fee	\$ 36.00
Road Damage Deposit	\$100.00

TOTAL FEES PAYABLE	\$255.50
	=====

These fees are those payable until the end of the month following the date of this letter.

PLEASE PRESENT THIS LETTER TOGETHER WITH YOUR REMITTANCE FOR THE TOTAL AMOUNT TO THE CASHIERS BETWEEN THE HOURS OF 8.45AM AND 4.15PM ANY WEEKDAY.

The permit and plans can be collected from the Building Inspectors' Department on presentation of your receipted letter.

Your early attention to this matter would be appreciated.

Yours faithfully

Ann Rutt (Mrs)
for SENIOR BUILDING INSPECTOR

Rec. 1/259. \$255.50
25.9.85

Please File

99. ✓
~~99~~/321

Complaint

re: B.J & C.A Keach
26 Daffodil Street
Tirangi.

lot 93
D.P. 55504

received: 19 August 1985 - Mrs D.P. Chisholm, 8 Waerenga Place, Tirangi.

Inspected: 2-9-85 (9.50 a.m)

- no-one at home except Deberman.
- 3 vehicles on driveway :-
 - 1 red Subaru Van LU 6377
 - 1 orange Valiant Charger GJ 3116
 - 1 Transit Van with primer over it.
- rest of street empty, no vehicles parked on the road.

Inspected 16-9-85 (10.15 a.m)

- empty courtyard
- 6 cars in street.

Inspected 24-9-85 (9.55 a.m)

- no cars in street

Letter to Mr & Mrs Keach sent 1-10-85

Phone call - own four cars (two racing cars), doing extensions to house have had one vehicle out on road whilst in progress. Other activity in street (dance school) causes most traffic particularly in afternoon.

Mrs Thornton:EM

G10/321

1 OCTOBER 1985

Mr B.J. & Mrs C.A. Keach
26 Daffodil Street
TITIRANGI 7

Dear Mr & Mrs Keach

RE: HOME OCCUPATION

The Council has received a letter of complaint regarding alleged motor vehicle repair activities taking place on your site at 26 Daffodil Street, Titirangi. Two inspections of your property have been made recently both of which failed to reveal any grounds for complaint. The Council takes the view that the occupant of a residential site can repair and maintain their own vehicle provided that work does not create a nuisance. Car repairs as part of a small commercial business, are regarded by Council as a home occupation. A home occupation is permitted as of right in most zones in the City, however a home occupation must comply in all respects with the definition of home occupation contained in the Scheme. For your information a copy of the definition of home occupation is enclosed.

If you do undertake motor vehicle repairs on your site could you please ensure that the activity remains within the provisions of the home occupation definition particularly condition (VIII) which states that the activity should produce "no.... significant increase in traffic".

If you have any queries, please do not hesitate to contact Mrs L Thornton who will be happy to assist you.

Yours faithfully

G Hesson
SENIOR PLANNER

Enc

JFB 2/10

Mrs Thornton:EM

G10/321

~~1 OCTOBER 1985~~

Mr B.J. & Mrs C.A. Keach
26 Daffodil Street
TITIRANGI 7

Dear Mr & Mrs Keach

RE: HOME OCCUPATION

The Council has received a letter of complaint regarding alleged motor vehicle repair activities taking place on your site at 26 Daffodil Street, Titirangi. Two inspections of your property have been made recently both of which failed to reveal any grounds for complaint. The Council takes the view that the occupant of a residential site can repair and maintain their own vehicle provided that work does not create a nuisance. Car repairs as part of a small commercial business, are regarded by Council as a home occupation. A home occupation is permitted as of right in most zones in the City, however a home occupation must comply in all respects with the definition of home occupation contained in the Scheme. For your information a copy of the definition of home occupation is enclosed.

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If you have any queries, please do not hesitate to contact Mrs L Thornton who will be happy to assist you.

Yours faithfully

G Mossong
SENIOR PLANNER

Enc

TR 69/321

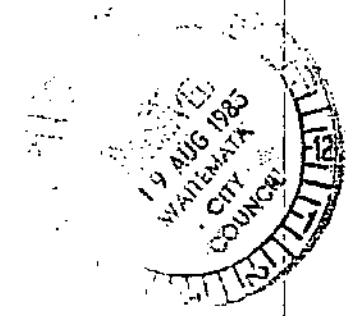
8. Waerenga Place,
TITIRANGI. 7.
Auckland.

817-8504

18/8/85

5728

The Waitemata Borough Council,
Private Bag,
Edmonton P.O.
WAITEMATA CITY.



Attention: Mr. G. Rees,
Town Planner

Dear Sir,

~~May we draw your attention to a commercial business operating in a residential "A" zoning area, which is causing traffic congestion and inconvenience to local residents.~~

~~The aforementioned business is a Ballet School, which is operating from the basement of a house, situated at No. 10 Waerenga Place, Titirangi. This school started out on a small scale approximately four years ago, and at that particular time nobody bothered too much about it. However, it has now escalated into a full-blown dancing academy, with a programme as follows:-~~

610/320

- (a) Jazzercise for ladies - 3/4 mornings per week.
- (b) Ballet classes conducted each and every day, commencing at 3.30 p.m./ 4.00 pm in the afternoon and finishing approximately 7.00 p.m. at night. Lessons are also held all day Saturday and sometimes on Sundays.
- (c) Adult evening classes are held on occasions.

~~Apart from the traffic congestion this business brings into the cul-de-sac, the noise to ourselves as immediate neighbours, can be considerable. Many cars travel up and down the steep driveway. Some people leave engines idling while waiting for their children to complete their lesson, and the continual slamming of car doors can become quite aggravating after a time. More importantly though, we consider the much increased flow of traffic into the cul-de-sac poses quite an accident risk to the young children who play there.~~

Daffodil

~~Adding to the above problem, the resident at No. 26 Waerenga Place, operates a motor repair work-shop from his basement at nights and at weekends. There is little or no "off-street" parking available to him, and so he also uses the cul-de-sac to park large motor cars (of the stock-car variety), contributing even more so to the present bottle-neck situation. At times (particularly on a Saturday) it is virtually impossible to drive a vehicle through the middle of the stationary cars, parked on either side of the tight opening into the cul-de-sac.~~

SE

Sir, in conclusion, we would be pleased to have an officer of your Council survey the situation in Waerenga Place, Titirangi. Please note that the ballet school closes for the school holidays. We have given a lot of forethought to this matter before putting pen to paper, as we do not wish to appear vindictive. However, we do feel that the ballet school has now grown to such an extent that other premises, such as a local hall would prove a more suitable venue.

We leave this matter in your hands and would request that it be treated confidentially at this point in time.

Yours faithfully,

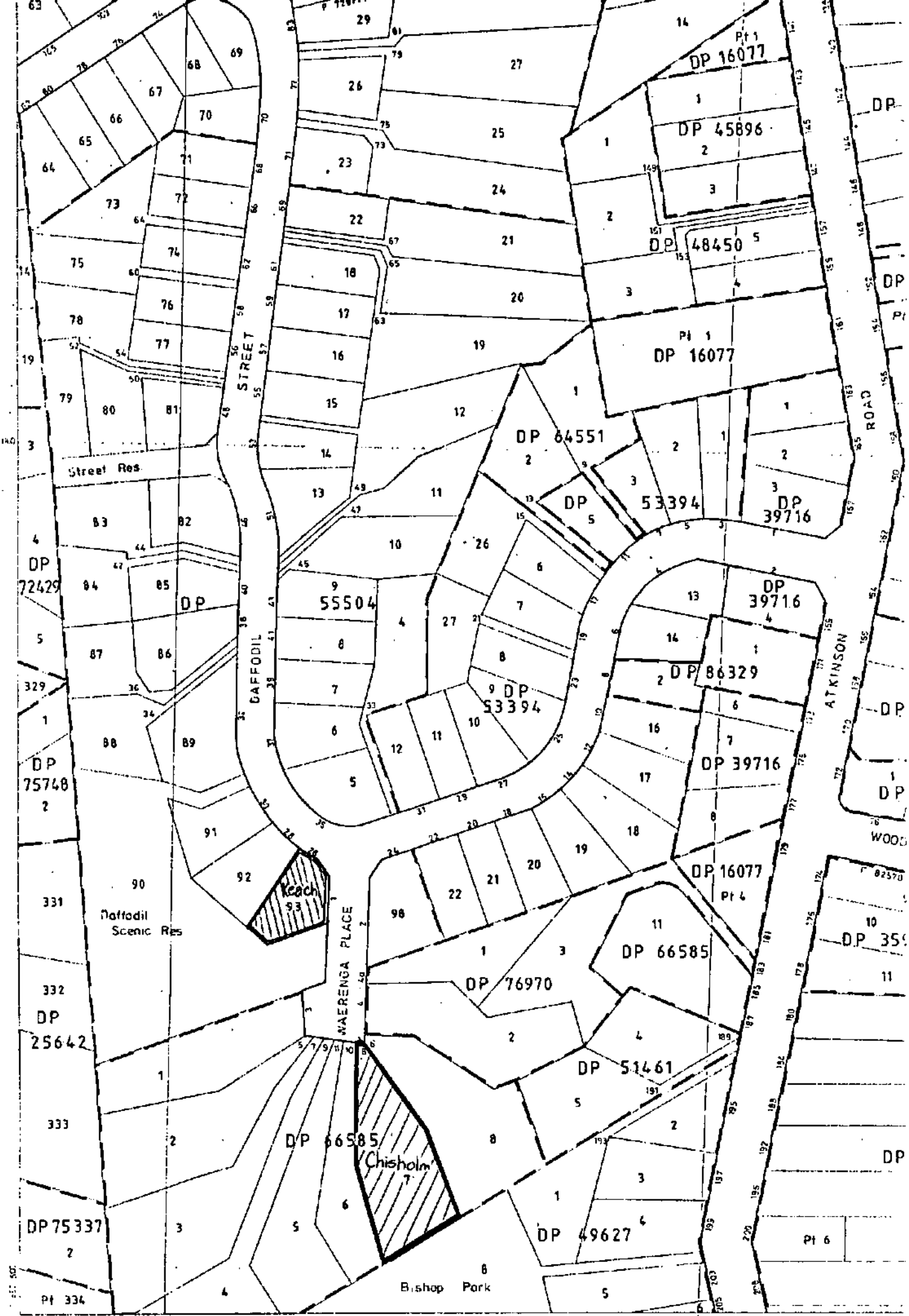


(Mrs) D. P. Chisholm

CHIEF CLERK

TOWN CLERK	
PLANNING	<input checked="" type="checkbox"/>
TREASURY	
WORKS	
PERSONNEL	
SPECIAL SERVICES	

B. J. M. Lesley



G9D2

Swimming and spa pool fencing inspection checklist



Address of property: 26 Daffodil St - Ti Hanga Email: _____

Owner/Occupier/Tenant name: Phillip Ayers Phone no: 09 8176933

Date of inspection: 3/7/2015 Remedial work to be inspected on or after _____

RESULT: NO ACCESS EMPTY PASS FAIL REFER TO NOTICE ATTACHED

Pool type: Swimming Pool Spa Pool Other: _____ Consent No: _____ SWP #: 2000-9563

To book a recheck please phone or email:

North / West 09 484 7237 poolsnorthwest@aucklandcouncil.govt.nz Central / South 09 353 9143 pools@aucklandcouncil.govt.nz

FENCE	DOORS AND WINDOWS	GATES	MISCELLANEOUS
1. Does the fence define the immediate pool area correctly? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	5. Do all doors close and latch automatically from a stationary opening position of 150mm? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	9. Is the latch fixed on outside of gate a minimum of 1.5m above ground level or any permanent projection? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	13. Are all non-pool associated activities outside of the pool area? (E.g. clothesline, play ground, garden equipment or general storage facilities) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fence a minimum of 1.2m high above ground level and any permanent projections? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	6. Do all doors open away from pool? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A Sliders: <u>X1</u> French: _____ B'fold: _____	10. Is the latch fixed on inside of gate only accessible by reaching over the gate, and set at least 150mm from top (e.g glass) or shielded where required? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	14. Is there a minimum distance of 1.2m between any climbable objects or permanent projections and the pool fence? (e.g. neighbouring / adjoining fences, barriers, ledges, trees, sheds, returns on fencing etc) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the gap under the fence or between vertical rails less than 100mm? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	7. Are all lower windows opening into pool area fitted with permanent stays restricting the opening width to 100mm maximum? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	11. Does the gate open away from pool area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	15. Trellis / horizontal fencing 1.2m-1.8m. Are trellis openings 10mm or less (or fitted with protective cover)? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4. Is the distance between any 2 of the rails, at any point, at least 900mm? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	8. Are all latches, tower bolts and security locks fitted a minimum of 1.5m above floor level? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	12. Does the gate self-close and latch from a stationary opening position of 150mm? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	16. Trellis fencing 1.8m or greater. Are trellis openings 50mm or less (or fitted with protective cover)? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

Special exemption - If a special exemption was granted for certain elements of the pool fence, have all conditions of the exemption been complied with? (e.g. portable spa above height of 760mm fitted with child proof rigid lockable lid) Yes No N/A

Comments: Follow-up done for pool + spa fencing
Pool & spa fencing complies with FOSPA - owner has rectified all items for compliance.
No fee required. - photos - emailed

SITE PLAN

Reason for inspection: 3 yearly inspection Re-inspection New pool Site meeting Other:

Owner / Occupier / Tenant on site? Yes No Photos: Yes No

Inspector's Name: Reg Pritchard Mobile: 021 895 723 Report left: _____

The Fencing of Swimming Pools Act 1987

The Act requires all pool owners, occupiers or tenants to fence the immediate pool area. This means the land in which the pool is situated on and as much of the surrounding area that is used for activities or purposes related to the use of the pool (this includes spa pools). The fence should be situated to prevent young children moving directly to the pool from the house, other buildings, garden paths and other areas of the property that would normally be available to young children. Refer to schedule below for further information.

Important note: if your pool does not comply, the Fencing of Swimming Pools Act 1987 requires the pool to be emptied immediately and remain empty until such time as it does comply.

1. Required height of a pool fence

- I. The fence shall extend-
 - a. at least 1.2 metres above the ground on the outside of the fence; and
 - b. at least 1.2 metres above any permanent projection from or object permanently placed on the ground outside and within 1.2 metres of the fence
- II. Notwithstanding sub clause (1), where the fence is constructed of perforated material, netting, or mesh and any opening in the material, netting, or mesh has a dimension (other than the circumference or perimeter) greater than 10mm, the fence shall extend at least 1.8 metres above the ground or the projection or object.

2. Ground clearance

Any clearance between the bottom of the fence and ground level shall not exceed 100mm.

3. Materials

All materials and components shall be of a durable nature and shall be erected so as to inhibit any child under the age of 6 years from climbing over or crawling under the fence from the outside.

4. Except where the fence is horizontally close-boarded or is made of perforated material, netting, or mesh, the spacing between adjacent vertical pales, panels, or other posts shall not exceed 100mm at any point.

5. All fencing supports, rails, rods, and wires, that are not vertical, and all bracing that is not vertical, shall be inaccessible for use for climbing from the outside.

5A. Notwithstanding clause 5, a fence may have horizontal supports, rails, rods, or wires, that are accessible for use for climbing from the outside, and horizontal bracing that is accessible for such use, if-

- a. the distance between any 2 of them at any point is at least 900mm; and
- b. there is no other support, rail, rod, wire, or bracing (other than a vertical rail) between the same 2 at any point.

6. Where any perforated material, netting, or mesh is used, no opening in that material, netting, or mesh shall have any dimension (other than the circumference or perimeter) greater than 50mm.

7. All perforated material, netting, or mesh material shall be firmly attached at both top and bottom to a rail, pipe, or similar firm structure, or otherwise be of such a nature that the fence cannot readily be crossed by children under the age of 6 years.

8. Gates and doors

Every gate or door shall be so constructed as to comply with the relevant requirements of clauses 1 to 7, and shall be so mounted that-

- a. it cannot open inwards towards the immediate pool area
- b. it is clear of any obstruction that could hold the gate or door open and no other means of holding the gate or door open is provided
- c. when lifted up or pulled down the gate or door does not release the latching device, come off its hinges, or provide a ground clearance greater than 100mm

9. Operation of gates and doors

- I. Every gate or door shall be fitted with a latching device.
- II. Where the latching device is accessible from the outside of the fence only by reaching over the fence, gate, or door or through a hole in the fence, gate, or door, the latching device and the lowest point of any hole giving access to it shall be at least 1.2 metres above the ground on the outside of the fence.
- III. Where the latching device is otherwise accessible from the outside of the fence, gate, or door, the latching device shall be at least 1.5 metres above the ground on the outside of the fence.

10. Every gate or door shall be fitted with a device that will automatically return the gate or door to the closed position and operate the latching device when the gate or door is stationary and 150mm from the closed and secured position.

11. Doors in walls of buildings (relates to special exemptions ONLY)

Where any building forms part of a fence and the pool is not contained within the building, any sliding or bi-fold door that gives access to the immediate pool area need not comply with the requirements for gates or doors set out in clauses 8 to 10 to the extent (if any) that the territorial authority is satisfied that such compliance is impossible, unreasonable, or in breach of any other Act, regulation, or bylaw, and the door is fitted with a locking device that, when properly operated, prevents the door from being readily opened by children under the age of 6 years.

Swimming and spa pool fencing inspection checklist



Note: work to be completed by 26 June 2015

Address of property: 26 Daffodil Street Titirangi
 Owner/Occupier name: Phillip Ayers Phone no: 09 817 6933
 Inspector's name: Reg Pritchard Phone no: 09 484 7237
 Pool type: Swimming pool Spa pool Other: Swimming pool + spa - same area
 Reason for inspection: 3 yearly inspection Re-inspection New pool Site meeting Prim. inspection Sec. inspection
 Date of inspection: 6/6/15 BC # _____ SWP# 2000-9563

FENCE	DOORS AND WINDOWS	GATES	MISCELLANEOUS
1. Does the fence define the immediate pool area correctly? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	6. Do all doors close and latch automatically from a stationary opening position of 150mm? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	10. Is the latch fixed on outside of gate a minimum of 1.5m above ground level or any permanent projection? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	14. Are all non-pool associated activities outside of the pool area? (E.g. clothesline, play ground, garden equipment or general storage facilities) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fence a minimum of 1.2m high above ground level and any permanent projections? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	7. Do all doors open away from pool? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	11. Is the latch fixed on inside of gate only accessible by reaching over the gate, and set at least 150mm from top (e.g. glass) or shielded where required? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	15. Trellis fencing 1.2m-1.8m. Are trellis openings 10mm or less (or fitted with protective cover)? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
3. Is there a minimum distance of 1.2m between any climbable objects or permanent projections and the pool fence? (e.g. neighbouring fences, barriers, ledges, trees, sheds, etc) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	8. Are all lower windows opening into pool area fitted with permanent stays restricting the opening width to 100mm maximum? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	12. Does the gate open away from pool area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	16. Trellis fencing 1.8m or greater. Are trellis openings 50mm or less (or fitted with protective cover)? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4. Is the gap under the fence or between vertical rails less than 100mm? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	9. Are all latches, tower bolts and security locks fitted a minimum of 1.5m above floor level? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	13. Does the gate self-close and latch from a stationary opening position of 150mm? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
5. Is the distance between any 2 of the rails, at any point, at least 900mm? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A			

Special exemption - If a special exemption was granted for certain elements of the pool fence, have all conditions of the exemption been complied with? (e.g. portable spa above height of 750mm fitted with child proof rigid lockable lid) Yes No N/A

Comments: LOI part 1 - Pool & spa fence Items N°8
1 July
inspection completed, comply with FOSPA. re-certified for compliance.

Result of inspection: (refer to scl)
 PASS REFER TO NOTICE ATTACHED

Work required SITE PLAN

① Item N°8 (from checklist) :- replace the missing permanent stay for the window that opens into the pool + spa area, and ensure that the window does not open more than 100mm.

② Item N°9 :- replace the missing tower bolt to the lounge sliding door at a minimum height of 1.5m from floor level or any projections.
 Note: the tower bolt location at the top of the door is the safest location.
 Note: - photos of the installation of both the above items can be emailed to the inspector for compliance otherwise a re-inspection and inspection invoice will be required.

The Fencing of Swimming Pools Act 1987

The Act requires all pool owners, occupiers or tenants to fence the immediate pool area. This means the land in which the pool is situated on and as much of the surrounding area that is used for activities or purposes related to the use of the pool (this includes spa pools). The fence should be situated to prevent young children moving directly to the pool from the house, other buildings, garden paths and other areas of the property that would normally be available to young children. Refer to schedule below for further information.

Important note: If your pool does not comply, the Fencing of Swimming Pools Act 1987 requires the pool to be emptied immediately and remain empty until such time as it does comply.

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 - b. at least 1.2 metres above any permanent projection from or object permanently placed on the ground outside and within 1.2 metres of the fence
- II. Notwithstanding sub clause (1), where the fence is constructed of perforated material, netting, or mesh and any opening in the material, netting, or mesh has a dimension (other than the circumference or perimeter) greater than 10mm, the fence shall extend at least 1.8 metres above the ground or the projection or object.

2. Ground clearance

Any clearance between the bottom of the fence and ground level shall not exceed 100mm.

3. Materials

All materials and components shall be of a durable nature and shall be erected so as to inhibit any child under the age of 6 years from climbing over or crawling under the fence from the outside.

4. Except where the fence is horizontally close-boarded or is made of perforated material, netting, or mesh, the spacing between adjacent vertical pales, panels, or other posts shall not exceed 100mm at any point.

5. All fencing supports, rails, rods, and wires, that are not vertical, and all bracing that is not vertical, shall be inaccessible for use for climbing from the outside.

5A. Notwithstanding clause 5, a fence may have horizontal supports, rails, rods, or wires, that are accessible for use for climbing from the outside, and horizontal bracing that is accessible for such use, if-

- a. the distance between any 2 of them at any point is at least 900mm; and
- b. there is no other support, rail, rod, wire, or bracing (other than a vertical rail) between the same 2 at any point.

6. Where any perforated material, netting, or mesh is used, no opening in that material, netting, or mesh shall have any dimension (other than the circumference or perimeter) greater than 50mm.

7. All perforated material, netting, or mesh material shall be firmly attached at both top and bottom to a rail, pipe, or similar firm structure, or otherwise be of such a nature that the fence cannot readily be crossed by children under the age of 6 years.

8. Gates and doors

Every gate or door shall be so constructed as to comply with the relevant requirements of clauses 1 to 7, and shall be so mounted that-

- a. it cannot open inwards towards the immediate pool area
- b. it is clear of any obstruction that could hold the gate or door open and no other means of holding the gate or door open is provided
- c. when lifted up or pulled down the gate or door does not release the latching device, come off its hinges, or provide a ground clearance greater than 100mm

9. Operation of gates and doors

- I. Every gate or door shall be fitted with a latching device.
- II. Where the latching device is accessible from the outside of the fence only by reaching over the fence, gate, or door or through a hole in the fence, gate, or door, the latching device and the lowest point of any hole giving access to it shall be at least 1.2 metres above the ground on the outside of the fence.
- III. Where the latching device is otherwise accessible from the outside of the fence, gate, or door, the latching device shall be at least 1.5 metres above the ground on the outside of the fence.

10. Every gate or door shall be fitted with a device that will automatically return the gate or door to the closed position and operate the latching device when the gate or door is stationary and 150mm from the closed and secured position.

11. Doors in walls of buildings (relates to special exemptions ONLY)

Where any building forms part of a fence and the pool is not contained within the building, any sliding or bi-fold door that gives access to the immediate pool area need not comply with the requirements for gates or doors set out in clauses 8 to 10 to the extent (if any) that the territorial authority is satisfied that such compliance is impossible, unreasonable, or in breach of any other Act, regulation, or bylaw, and the door is fitted with a locking device that, when properly operated, prevents the door from being readily opened by children under the age of 6 years.

S June

4 March 2015

P J Ayers
26 Daffodil Street
Titirangi
AUCKLAND 0604

Dear Sir or Madam

Letter of intent to carry out inspection of pool fencing

Swimming pool number: SWIM-2000-9563
Address: 26 Daffodil Street, TITIRANGI
Area office: Henderson Service Centre

This letter is to advise your swimming pool fencing inspection is now due; there is no charge for this inspection. However, **any additional inspections we may have to undertake are chargeable**; therefore it is important that you carry out any remedial work before our visit.

Under the Fencing of Swimming Pools Act 1987 (**the Act**) it is the responsibility of the owner or person in control of a pool to ensure that swimming (and spa) pools are fenced in accordance with the Act.

Furthermore, Council is obliged to take all reasonable steps to ensure that all swimming pools are fenced. Auckland Council maintains a register of pools and undertakes inspections of all pools on its register about every 3 years

The purpose of the Act is to promote the safety of young children in and around pool environments by requiring the fencing of certain pools.

We have developed some guidance information to assist you:-

- refer to enclosed brochure setting out your responsibilities explaining pool fencing requirements; or
- search the Auckland Council website key word 'swimming and spa pools'

If you wish to be present and fix a time for this inspection, or there is difficulty with accessing your property because of security gates or dogs, please contact the undersigned on **(09) 484-7237** or email quoting the above swimming pool number. If you do not arrange a time, our inspector will attend an inspection within the month.

Yours faithfully

Christine Beatson
Senior Building Support Officer
BUILDING CONTROL - TAKAPUNA SERVICE CENTRE
Email: poolsnorthwest@aucklandcouncil.govt.nz

05 April 2012

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
AUCKLAND 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 26 Daffodil Street, TITIRANGI
LOT 93 DP 55504
SWP: SWIM-2000-9563 Swimming Pool Secondary Spa
Pool fenced within same area

I am writing to advise you that after an inspection of your Swimming and Spa pool on 05 April 2012 the Swimming/Spa pool fencing was confirmed as being in accordance with the Fencing of Swimming Pools Act 1987.

Council will re-inspect the property's pool fencing in approximately three (3) years in order to ensure that it still meets the requirements of the Act.

Should you intend to carry out any work on the pool fence, or any other work on the pool which may affect the pool fencing prior to the next inspection, please ensure that you notify Council of any such proposal.

Yours faithfully



Reg Pritchard
Swimming Pool Inspector
Auckland Council
Western Building Control
Ph 4407549
Mob 021 895 723



Waitakere City Council
Te Tatao o Waitakere

Pool & Spa Comply

SWIMMING/SPA POOL INSPECTION FORM

SWIM-2000-9563

Swimming Pool Secondary Spa Pool fenced within same area

ENTERED

Date Inspected:	12-May-2009, Complying
5 April 2012	
Inspectors Name:	Reg Pritchard
Site Address:	26 Daffodil Street, TITIRANGI

DETAILS

Occupants Home	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Left Calling Card	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Swimming or Spa	<input checked="" type="radio"/> SWP	<input type="radio"/> SPA	Primary Inspection	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Type of Pool			Unable to Gain Access	YES	<input checked="" type="radio"/> NO
AG (above ground)					
AGINDK (above ground IN deck)	pool + spa				
AGONDK (above ground ON deck)					
IG (in ground)					
IND(indoor pool)					
ISP(indoor spa)					
SPA					
UNK (unknown)					
Site plan to be sent	YES	<input checked="" type="radio"/> NO	Fee Paid	YES	<input checked="" type="radio"/> NO
			Fee Required	YES	<input checked="" type="radio"/> NO
			Registration Fee		
			Re-Inspection Fee		

IMMEDIATE COMPLIANCE

Swimming/Spa pool meets the required standard	<input checked="" type="radio"/> SWPCOM5
Swimming/Spa pool has been removed	SWPREM3
Swimming/Spa pool has been partially drained (below 400mm) or emptied	SWPEMPT4

ACCESS TO POOL

Unable to gain access the ISWPA	SWPACC1
To gain access the ISWPA	SWPACC2

5/4/12

Onsite: 12-55

Offsite: 13-05pm

Pool & Spa Comply

NON COMPLIANCE		SWPNON8
FENCE		
F01	Provide a fence to the ISWPA so as to prevent direct access from	
F02	Ensure that the Swimming/Spa pool fence is a minimum height of 1.2m.	
F03	Ensure that the gap beneath the Swimming/Spa pool fence is not greater than the maximum allowable 100mm.	
F04	Remove any climbable objects (lower than 1.2m) from within 1.2m of the outside of the Swimming/Spa pool fence. If any objects are unable to be removed, the Swimming/Spa pool fence must be raised to a minimum height of 1.2m above, and 1.2m past either side of each object.	
F05	Ensure that there is a minimum gap of 900mm between either the bottom and middle rails, or the top and middle rails of the wooden fencing, or the middle rail must be removed or made otherwise un-climbable.	
GATES		
G01	Ensure that the Swimming/Spa pool gates are self closing and self latching from a stationary measured distance of 150mm, and swing away from the ISWPA.	
G02	A latching device must be fitted at either 1.2m if located on the inside of the gate, and if accessible only by reaching over the gate (not accessible through the gate), or 1.5m if located outside the gate.	
G03	Ensure that the gap beneath the Swimming/Spa pool gate is not greater than the maximum 100mm.	
DOORS		
D01	Ensure that all swinging doors which provide access to the ISWPA are made self closing and self latching from a stationary measured distance of 150mm, and are swinging away from the ISWPA. A latching device must also be fitted to each door at a minimum height of 1.5m. NOTE: sets of doors must operate (latch and close) independently of each other.	
D02	Provide bolts to all sliding or sliding-folding doors which provide access to the ISWPA at a minimum height of 1.5m.	
WINDOWS		
W01	Provide all lower windows (below 1.2m) which open into the ISWPA with permanent stays which restrict the window opening to a maximum of 100mm.	
MISCELLANEOUS		
M01	Remove all items not associated with the use of the Swimming/Spa pool from within the Swimming/Spa pool area i.e. clothes lines, gardening equipment, general storage etc.	
M01a	Isolate the landscaped area from the Immediate Swimming/Spa pool area	
M02	You are required to thoroughly clean the Swimming/Spa pool so as to prevent the breeding of mosquitoes.	
M03	The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade cloth etc).	
M04	The medium gap trellis, 10mm-50mm, must be raised to the minimum height of 1.8m.	
M05	The lower hanging limbs (below 1.2m) of the trees which are within 1.2m of the Swimming/Spa pool fence are to be trimmed or removed. NOTE: only those which would support the weight of a child 0-6 years.	
M06	Ensure that any other fences or handrails etc which abut the Swimming/Spa pool fencing are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e. would themselves comply with the Act.	
R01	Registration of the Swimming/Spa pool is required (\$69.00).	

DETAILED SKETCH OF SWIMMING/SPA POOL AND ASSOCIATED FENCING

SITE NOTES

15 March 2012

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
AUCKLAND 0604

SWIM-2000-9563

Dear Owner/Occupiers

26 Daffodil Street, TITIRANGI

Swimming/Spa Pool Safety Inspection

A review of your swimming/spa pool is now due. An Auckland Council swimming pool inspector will be checking pool fencing in your area to ensure that your swimming pool/spa pool is fenced to a standard that meets the Fencing of Swimming Pools Act 1987.

Why pool fencing is important:

Pool fencing is an effective means of substantially reducing the risk of drowning for small children. Home pools are fun but it is the responsibility of the pool owner/tenant or those in charge of the pool to ensure the pool barriers are complying at all times. The Fencing of Swimming Pools Act 1987 exists to protect young children from the danger of accidental drowning, these have been substantially reduced since the introduction of the 'Act'. **We all need to work together to prevent a tragedy.**

What you need to do:

- If you wish to be present at this inspection or there is difficulty with accessing your property because of security gates, dogs etc, **please call this office on 4407479 on receipt of this letter** to arrange a convenient time to call.
- **Otherwise, if we have no response from you or it is too difficult to find a suitable time our inspector will inspect the pool in your absence and leave a note. The inspection will be followed up by a letter if the Council finds that your fence is not complying.**
- **Please Note**, there may have been changes to the fencing requirements since our last visit, these may affect your current compliance. Please use the enclosed information brochure to ensure your pool fence meets today's safety standards or ring the above phone number to talk to one of our pool inspectors.
- Carry out any remedial work required **before our visit**, this will save any repeat inspections that may incur an inspection fee (see information over)

FEE RATES

First inspection ~~free~~ of charge if pool fencing complies.

Any further inspections required will be charged at the current advertised rate. This information is available on our website www.aucklandcouncil.govt.nz

Ref: Reg Pritchard
(Field Services)

14 May 2009

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS:

26 Daffodil Street, TITIRANGI

LOT 93 DP 55504

SWP:

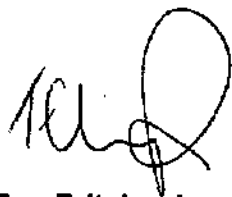
SWIM-2000-9563

I am writing to advise you that after an inspection of your Swimming/Spa pool on 12 May 2009 the Swimming/Spa pool fencing was confirmed as being in accordance with the Fencing of Swimming Pools Act 1987.

Council will re-inspect the property's pool fencing in approximately three (3) years in order to ensure that it still meets the requirements of the Act.

Should you intend to carry out any work on the pool fence, or any other work on the pool which may affect the pool fencing prior to the next inspection, please ensure that you notify Council of any such proposal.

Yours faithfully



Reg Pritchard
Pool Fencing Inspector
FIELD SERVICES



26 DAFFODIL ST, TITIRANGA

Waitakere City Council
Te Taiaro o Waitakere



ENTERED

SWIM-2000-9563

SWIMMING/SPA POOL PRIOR TO ENFORCEMENT INSPECTION FORM

(Green Colour Page)

Enforcement Meeting Due: MID MAY 2009

Date last inspected: 10/03/2009

Date Re-Inspection: 12 May 2009

Fee Required (Tick Box):

Inspectors Name: REG PRITCHARD

Site Address: 26 DAFFODIL ST TITIRANGA

Occupants Home Y N

Left Card Y N

Owner Name: THOMSON DS + FRANKS

Phone: /

**Swimming/Spa Pool Results
(Tick Appropriate Box)**

Swimming Pool

AND Spa Pool

Do not send ENF letter before ENF meeting		
All items outstanding (SWPENF1 - with Invoice)		
(SWPENF2 - NO Invoice) <u>SENT - 28/04/09</u>		<input checked="" type="checkbox"/>
Complying (SWPCOM5)		<input checked="" type="checkbox"/>
Empty (SWPEMPT4)		
Removed (SWPREM3)		
Some Progress Made:		
SW10 LTR (SWRIN10)		

11 May 09
ring builder Shane
Joyce 021 529 603
meet onsite.

RECEIVED
13 MAY 2009

INSPECTION NOTES: 12 May 2009

Met builder onsite all work now completed
Complying letter and invoice to be sent for pool and
Spa (same area) - Reg Pritchard

ENFORCEMENT NOTES:

Recommend Prosecution

Signed: Wolfgang Nethe - Operational Compliance Team Manager

Date:

Ref: Reg Pritchard
(Field Services) rjb

28 April 2009

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

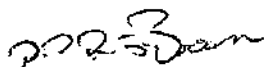
SITE ADDRESS: 26 Daffodil Street, TITIRANGI
LOT 93 DP 55504
SWP: SWIM-2000-9563

Further to our previous correspondence, the Council has received no notification that the work required at this property to achieve compliance with the Fencing of Swimming Pools Act 1987, has been carried out.

If you have not already undertaken the required work then I urge you to take immediate action to bring your pool fence up to a compliant standard.

Should you have any queries in relation to this matter please contact me urgently.

Yours faithfully



Reg Pritchard
POOL FENCING INSPECTOR
FIELD SERVICES

RECEIVED
21 APR 2009



Waitakere City Council
Te Taiao o Waitakere

SWIM-2000-9563
SWM + SPA


SWIMMING/SPA POOL CORRESPONDENCE FORM

Date: 8 April 2009 Phone call Site Meeting
Inspectors name: _____ Neville Exler Reg Pritchard
Site address: 26 Daffodil St PhoneNo: 021 589 603
Owner/Occupier: Builder Contractor Shane Joyce

Spoke to contractor employed by owners of 26 Daffodil St regarding the non-complying items for the pool fencing. Discussed options with contractor (Shane Joyce) on how to obtain compliance. Shane advises that the work will be done shortly and that he will leave the owners to arrange a re-inspection.

COMPLETE

21/4/09
9.15
9.26
= 15



Waitakere City Council

Te Taiao o Waitakere

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson 0612

Private Bag 93109
Henderson 0650
Waitakere

Telephone
09 836 8000

24Hr Call Centre
09 839 0400

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Website: www.waitakere.govt.nz

Ref: Reg Pritchard
(Field Services)

30 March 2009

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

STREET ADDRESS: 26 Daffodil Street, TITIRANGI
LOT 93 DP 55504
SWP: SWIM-2000-9563

In keeping with Council's regular pool fencing inspection programme a recent inspection of the property has been carried out and has revealed that the pool fence does not currently comply with the requirements of the Fencing of Swimming Pools Act (The Act). Consequently you are required to bring the pool fencing up to the legal requirement by carrying out the work described on the attached page. Please feel free to contact me to discuss these requirements if you need any further information.

Unfortunately the Act does not grant a pool owner any time at all to comply, continuous compliance being the requirement. Therefore I urge you to take immediate action to bring the pool fence up to standard.

Immediate compliance can be achieved by reducing the water level in the pool to a depth of 400mm or less. However with some pools there may be a risk to the structure of the pool if it is emptied. Consequently please check with the pool manufacturer, supplier and installer or engineer before embarking on this course of action.

It is important to realise that you must carry out all the items of work necessary to achieve the proper fencing of the pool in the manner defined by the Act before the pool is available for any further use. As previously mentioned details are provided on the attached page.

Upon completing the required works, please request Council to re-inspect the pool by returning the enclosed form and inspection fee of \$155.00. This charge is in line with our Regulatory Fees and Charges (2008/2009) and is effective to 30th June 2009. Should your re-inspection be carried out after this date please contact our Call Centre for updated re-inspection fees. (It is Council's policy that the pool owner must carry the cost of re-inspecting non-complying swimming/spa pools.)

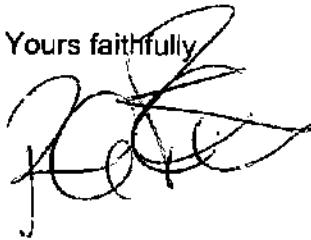
For your further information, the relevant section of the Fencing of Swimming Pools Act is as follows:

8 Obligations of owner and persons in control of pool

- (1) Every owner of a pool to which this Act applies shall ensure that, except as provided in any exemption granted under section 6 of this Act, the pool, or some or all of the immediate pool area including all of the pool, is fenced by a fence that complies with the requirements of the [building code in force under the Building Act 2004 in respect of swimming pools subject to this Act] at all times when this Act applies in respect of the pool.
- (2) Every owner of a pool to which this Act applies shall comply or ensure that there is compliance with every condition imposed under section 6(2) of this Act.
- (3) Every person who has possession of this property on which any pool to which this Act applies is situated shall ensure that the pool is not filled or partly filled with water at any time when the person knows or could reasonably be expected to know that any obligation imposed by this section on that or any other person is not complied with.
- (4) The fact that a person complies with any obligation imposed by this section shall not excuse that person from any other duty imposed by law.

Should you have any queries in relation to this matter please feel free to contact me.

Yours faithfully



Reg Pritchard
Pool Fencing Inspector
FIELD SERVICES

30 March 2009

26 Daffodil Street, TITIRANGI
SWIM-2000-9563

Work Required.

- 1) Ensure that the Swimming/Spa pool gate is self closing and self latching from a stationary measured distance of 150mm.
- 2) A latching device must be fitted at either 1.2m if located on the inside of the gate, and if accessible only by reaching over the gate (not accessible through the gate), or 1.5m if located outside the gate e.g. raise the height of the existing latch to a minimum height of 1.5m. See photos.
- 3) Raise the height of the Swimming pool gate to a minimum height of 1.2m.
- 4) Either add extra vertical rails (in between existing rails) or cover the outside of the Swimming pool fence that abuts the Swimming pool gate for a minimum distance of 1.2m to eliminate the foot holds in the abutting fence. See photo.
- 5) Remove all items not associated with the use of the Swimming/Spa pool from within the immediate Swimming/Spa pool area, i.e., clothes lines, gardening equipment, general storage etc e.g. children's play equipment: - swing set and trampoline etc.
- 6) The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade clothe etc) e.g. trellis fence abutting the spa pool fence. See photos.
- 7) Ensure that any other fences or handrails etc., which abut the Swimming/Spa pool fencing, are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e., would themselves comply with the Act e.g. cover the outside of the South-Western Swimming pool fence (Steel Moduline fence) for a minimum distance of 1.2m back from where it abuts the panel / trellis fence. See photo.

"Should you require any further advice or information with regards to the items of work prescribed, please do not hesitate to contact the writer at your earliest convenience."



Waitakere City Council
Te Taiao o Waitakere

Registration or Re-inspection of Swimming Pool or Spa Pool for Compliance of Pool Fencing Pursuant to the Fencing of Swimming Pools ACT 1987.

Send to:

The Operational Compliance Manager
Waitakere City Council
Private Bag 93109
Henderson
WAITAKERE 0650

Attention: Field Services

For more information:

Waitakere City Council
Waitakere Central
6 Henderson Valley Road
Henderson
WAITAKERE 0612
Telephone: (09) 839-0400
Facsimile: (09) 836-8001

SWP Number: SWIM-2000-9563

Building Consent Number:

I/We request the pool/spa at the address given below be: (Tick appropriate box)

A. Registered

B. Inspected

Applicant / Owners Full Names (s):

D J Thomson and L B Franks and I J Thomson

Contact Phone Number

Site address:

26 Daffodil Street, TITIRANGI

Address for Correspondence:

Dog on site

YES

NO

Swimming Pool

Spa Pool

In ground

Above ground

In deck

On deck

Other (state where):

The following arrangements have been made for the security of the pool.

Registration fee payable:

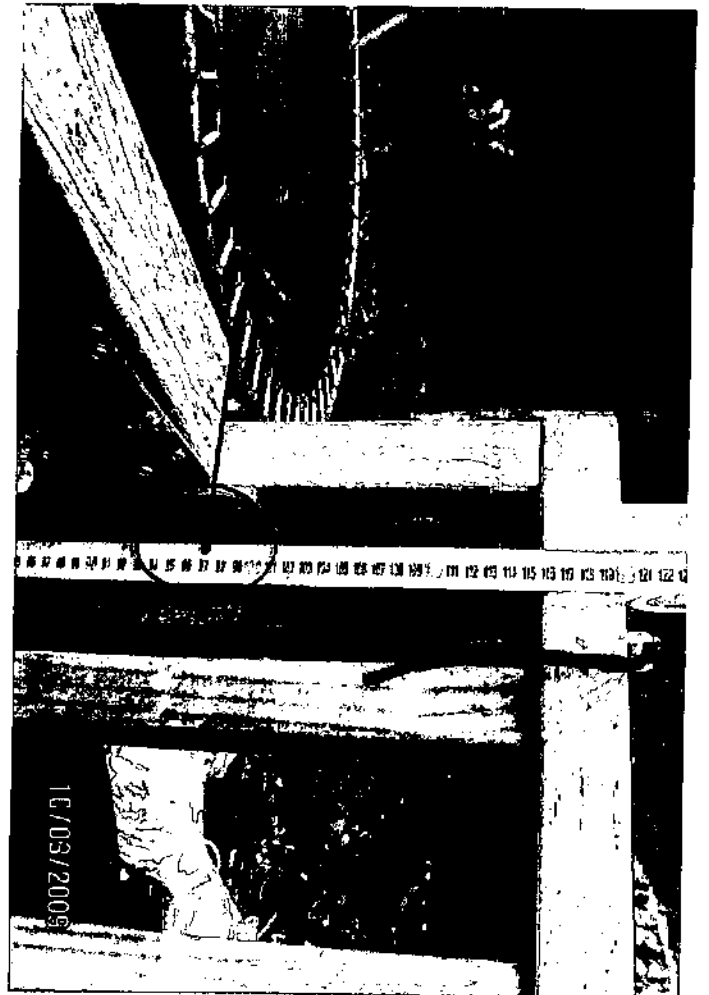
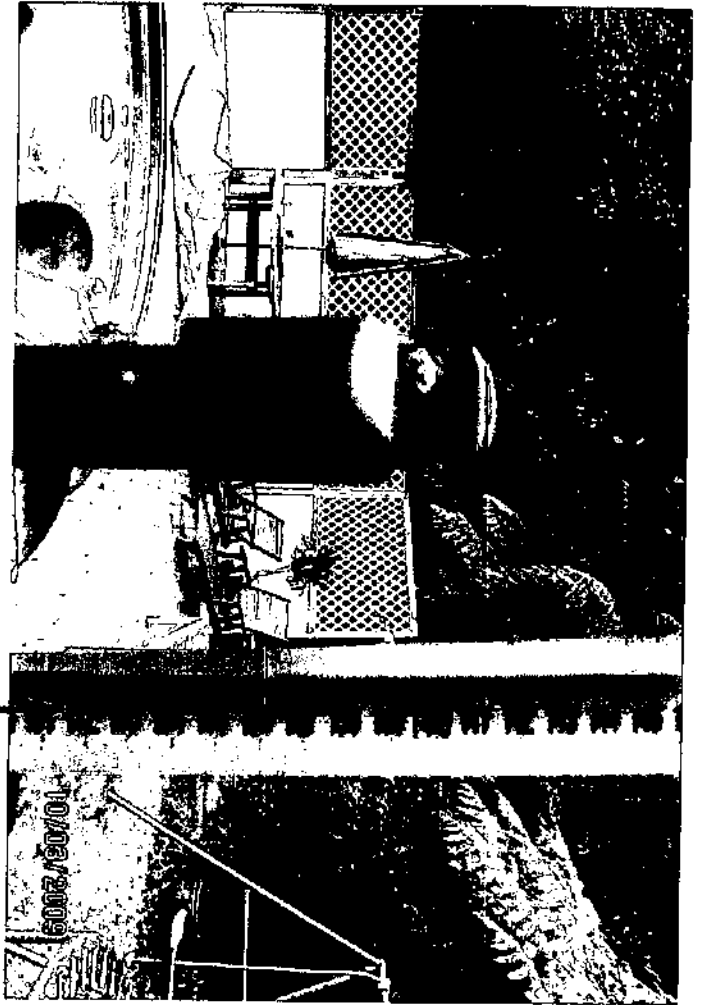
Inspection / re-inspection fee payable:

Receipt number: _____

Date paid _____

Item 2.

26 Daffodil Street.



Item 4.

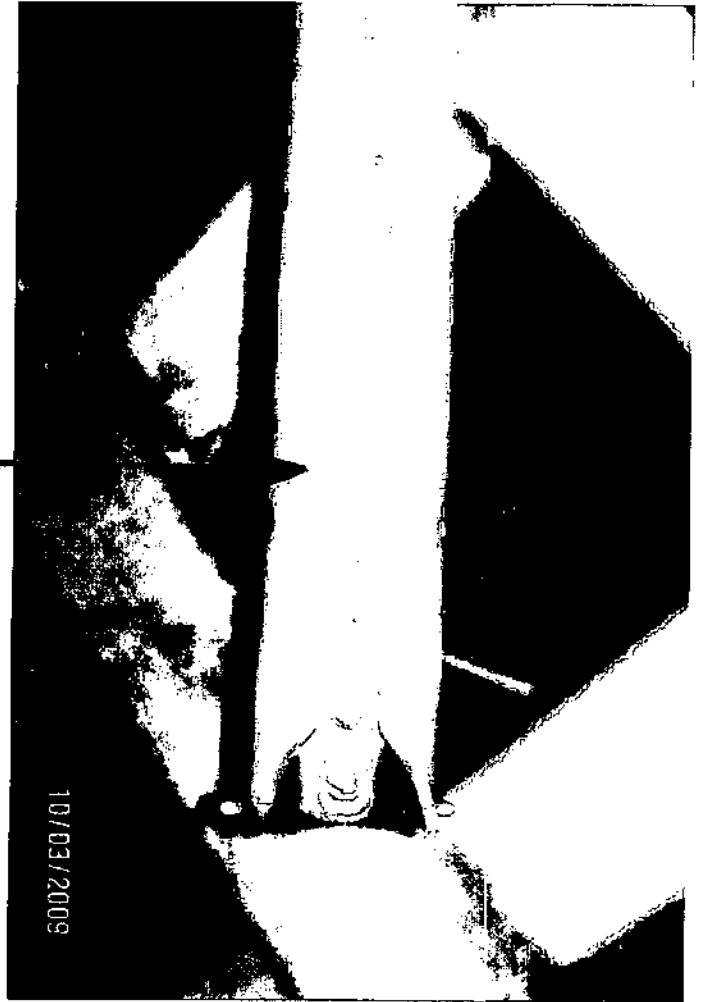
Item 5

26 Daffodil Street.

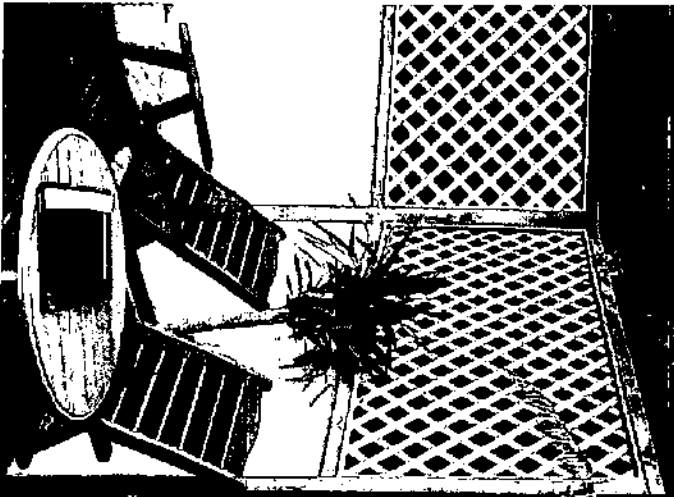


10/03/2009

102m minimum

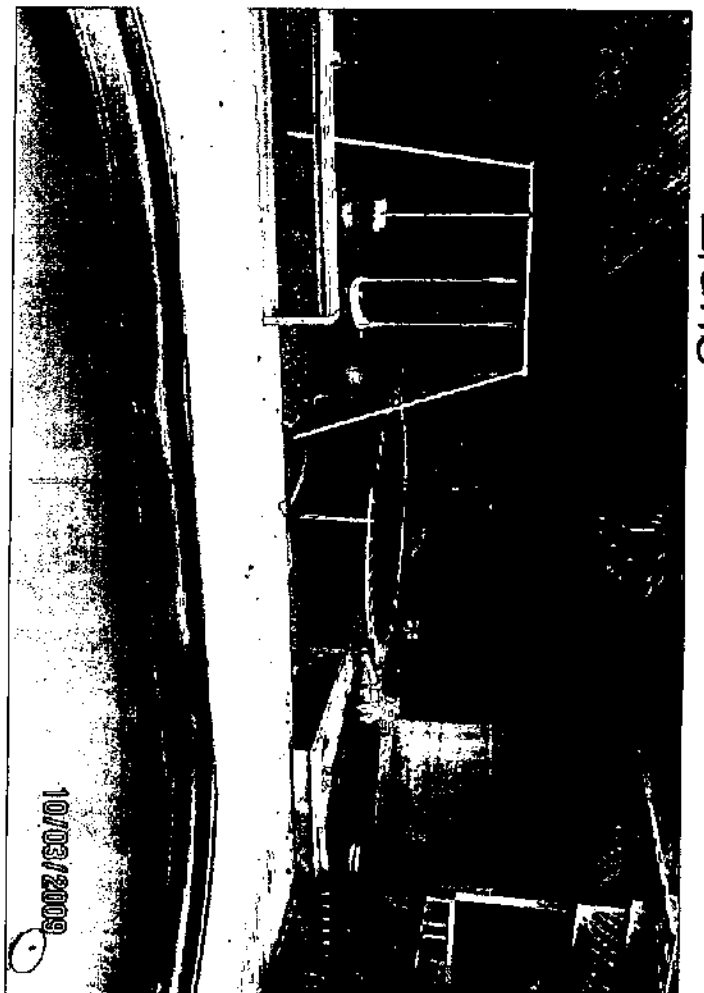


10/03/2009



Item 7.

Gate foot holds in fence 102m minimum distance



Item 6

10/03/2009

SWP 2000-9563

POOL+SPA
NON-COMPLYING



Waitakere City Council
Te Tatao o Waitakere

Helga Raquideau 8175265

SWIMMING/SPA POOL INSPECTION FORM

Date Inspected: 04-Jun-2003 10 March 2009
 Inspectors Name: Jason Sweeney Reg Pritchard
 Site Address: 26 Daffodil Street, TITRANGI

DETAILS

Occupants Home	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Left Calling Card	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Swimming or Spa	<input checked="" type="radio"/> SWP	<input type="radio"/> SPA	Primary Inspection	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Type of Pool	Fee Paid	<input checked="" type="radio"/> YES	<input type="radio"/> NO		
AG (above ground)					
AGINDK (above ground IN deck)	both pool + spa				
AGONDK (above ground ON deck)					
IG (in ground)					
IND(indoor pool)					
ISP(indoor spa)					
SPA					
UNK (unknown)					
Site plan to be sent	<input type="radio"/> YES	<input checked="" type="radio"/> NO	Fee Required	<input type="radio"/> YES	<input checked="" type="radio"/> NO
			Registration Fee		
			Re-Inspection Fee		

IMMEDIATE COMPLIANCE

Swimming/Spa pool meets the required standard	SWPCOM5
Swimming/Spa pool has been removed	SWPREM3
Swimming/Spa pool has been partially drained (below 400mm) or emptied	SWPEMPT4
ACCESS TO POOL	
Unable to gain access the ISWPA	SWPACC1
To gain access the ISWPA	SWPACC2

Site Notes Only see over page for non-complying items for letter

Non-Complying Items:

- ① SWP gate not self-closing or self-latching
- ② Large gap trellis fence abutting end of spa pool fence.
- ③ SWP gate not 1.2m high.
- ④ Hatch on gate not at 1.5m (on outside)
- ⑤ Spa pool fence abutting SWP gate - makes gate under height (Northern End of pool)
- ⑥ Foot holds in Southern modular fence which abutts wooden paling/large gap trellis fence - (southern end of pool).
- ⑦ Childrens swing set and trampoline in ISWPA

RECEIVED
26 MAR 2009

SWPINFM1

PTO-D

FENCE

- F01 Provide a fence to the ISWPA so as to prevent direct access from
- F02 Ensure that the Swimming/Spa pool fence is a minimum height of 1.2m.
- F03 Ensure that the gap beneath the Swimming/Spa pool fence is not greater than the maximum allowable 100mm.
- F04 Remove any climbable objects (lower than 1.2m) from within 1.2m of the outside of the Swimming/Spa pool fence. If any objects are unable to be removed, the Swimming/Spa pool fence must be raised to a minimum height of 1.2m above, and 1.2m past either side of each object.
- F05 Ensure that there is a minimum gap of 900mm between either the bottom and middle rails, or the top and middle rails of the wooden fencing, or the middle rail must be removed or made otherwise un-climbable.

GATES

- ① G01 Ensure that the Swimming/Spa pool gates ^{is} self closing and self latching from a stationary measured distance of 150mm, ~~and swing away from the ISWPA.~~
- ② G02 A latching device must be fitted at either 1.2m if located on the inside of the gate, and if accessible only by reaching over the gate (not accessible through the gate), or 1.5m if located outside the gate. *eg Raise the height of the existing latch to a minimum height of 1.5m. See photos.*
- ③ *Raise the height of the SNP gate to a minimum height of 1.02m.*
- ④ *Either add extra vertical rails (in between existing rails) or cover the outside of the SNP fence that abuts the SNP gate for a minimum distance of 1.02m to eliminate the foot holds in the abutting fence. See photo.*

- D02 Provide bolts to all sliding or sliding-folding doors which provide access to the ISWPA at a minimum height of 1.5m.

WINDOWS

- W01 Provide all lower windows (below 1.2m) which open into the ISWPA with permanent stays which restrict the window opening to a maximum of 100mm.

MISCELLANEOUS

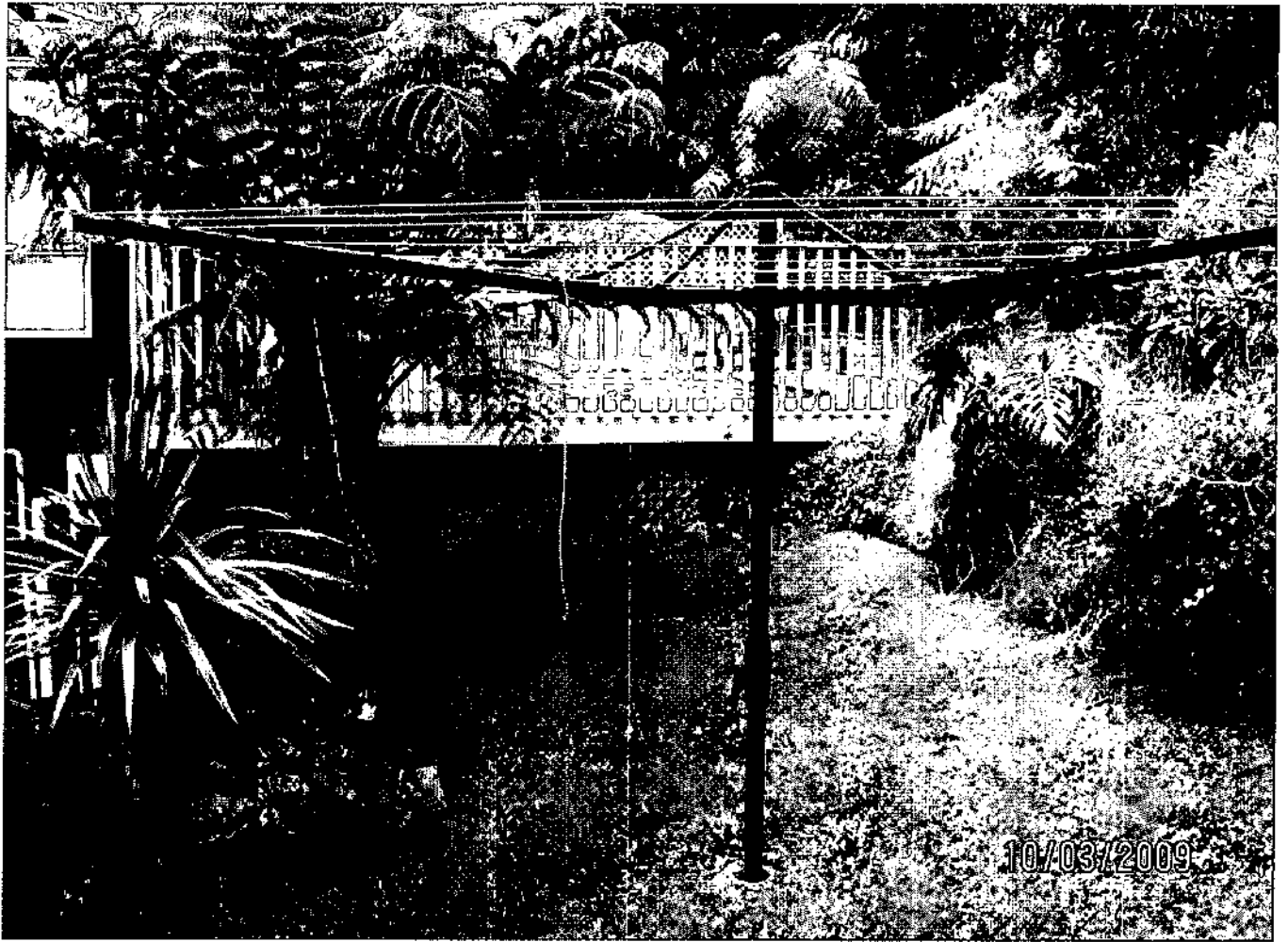
- ⑥ M01 Remove all items not associated with the use of the Swimming/Spa pool from within the ISWPA i.e. clothes lines, gardening equipment, general storage etc. *eg childrens play equipment - swing set & trampoline etc.*

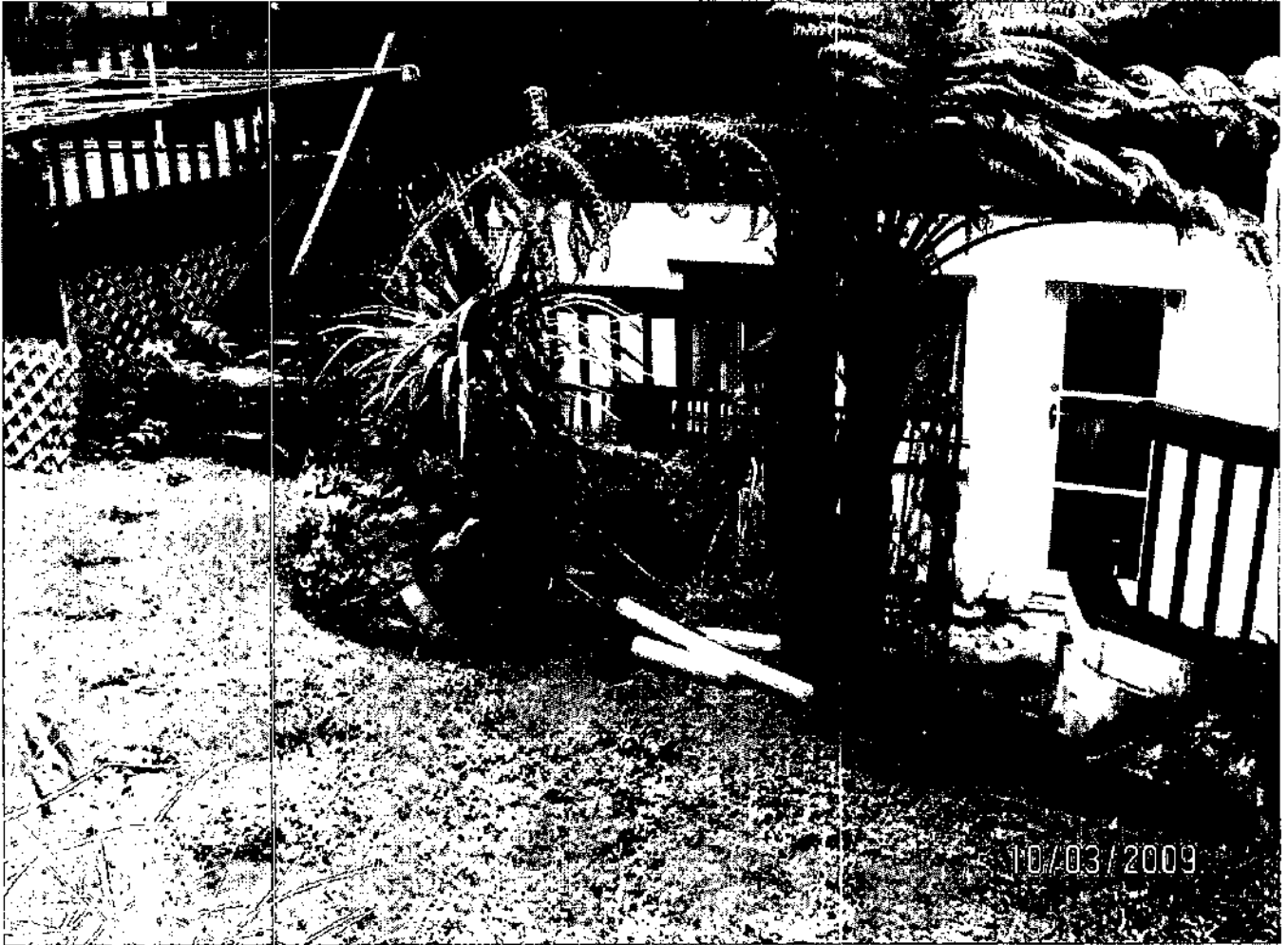
- ⑤ M03 The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade cloth etc). *eg trellis fence abutting the spa pool fence*
- M04 The medium gap trellis, 10mm-50mm, must be raised to the minimum height of 1.8m. *See photos*
- M05 The lower hanging limbs (below 1.2m) of the trees which are within 1.2m of the Swimming/Spa pool fence are to be trimmed or removed. NOTE: only those which would support the weight of a child 0-6 years.

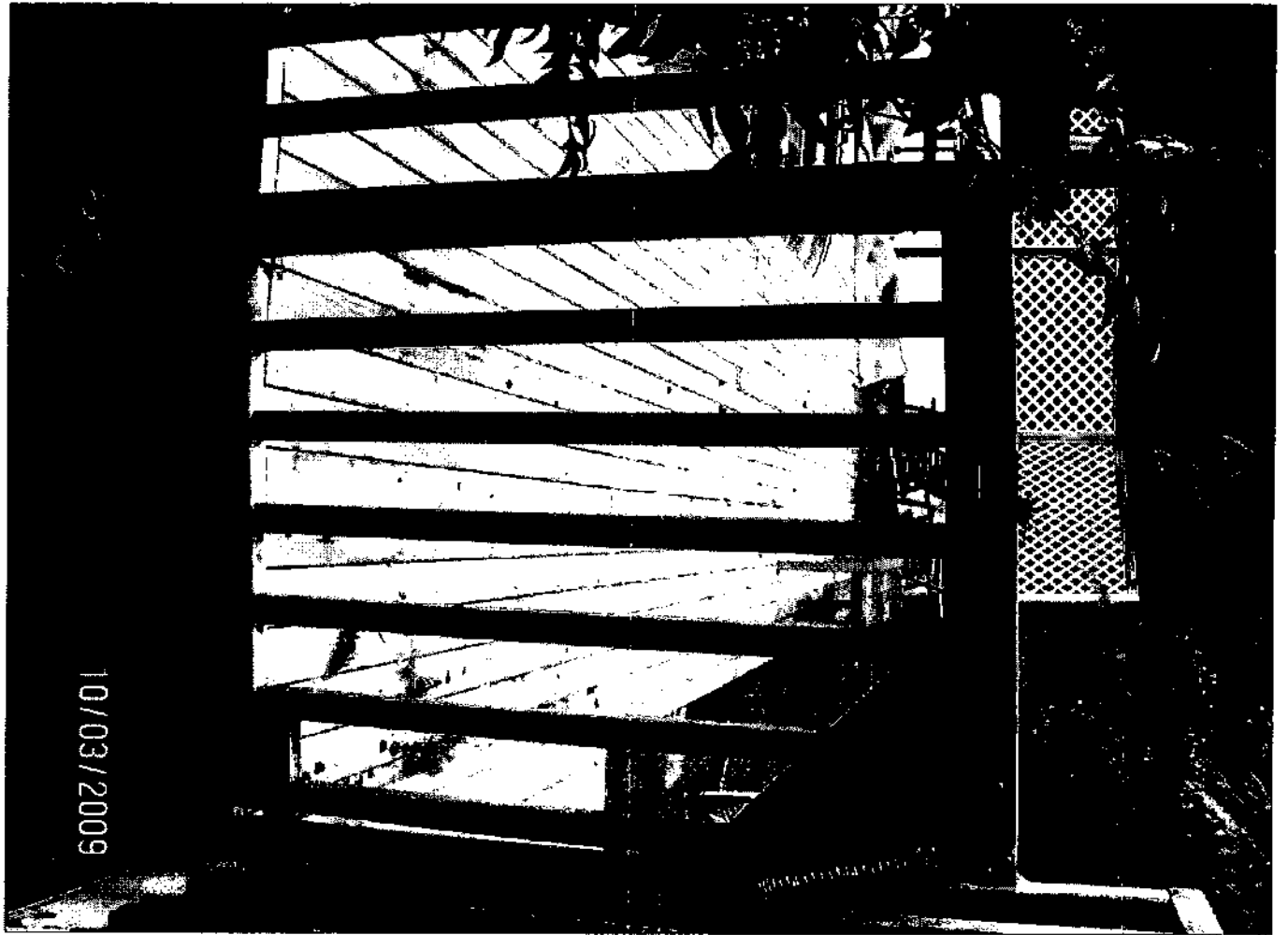
- ⑦ M06 Ensure that any other fences or handrails etc which abut the Swimming/Spa pool fencing are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e. would themselves comply with the Act. *eg Cover the outside of the South-Western SNP fence (Steel Modular fence) for a minimum distance of 1.02m back from where it abuts the panel/trellis fence. See photo*

DETAILED SKETCH OF SWIMMING/SPA POOL AND ASSOCIATED FENCING

SITE NOTES







10/03/2009



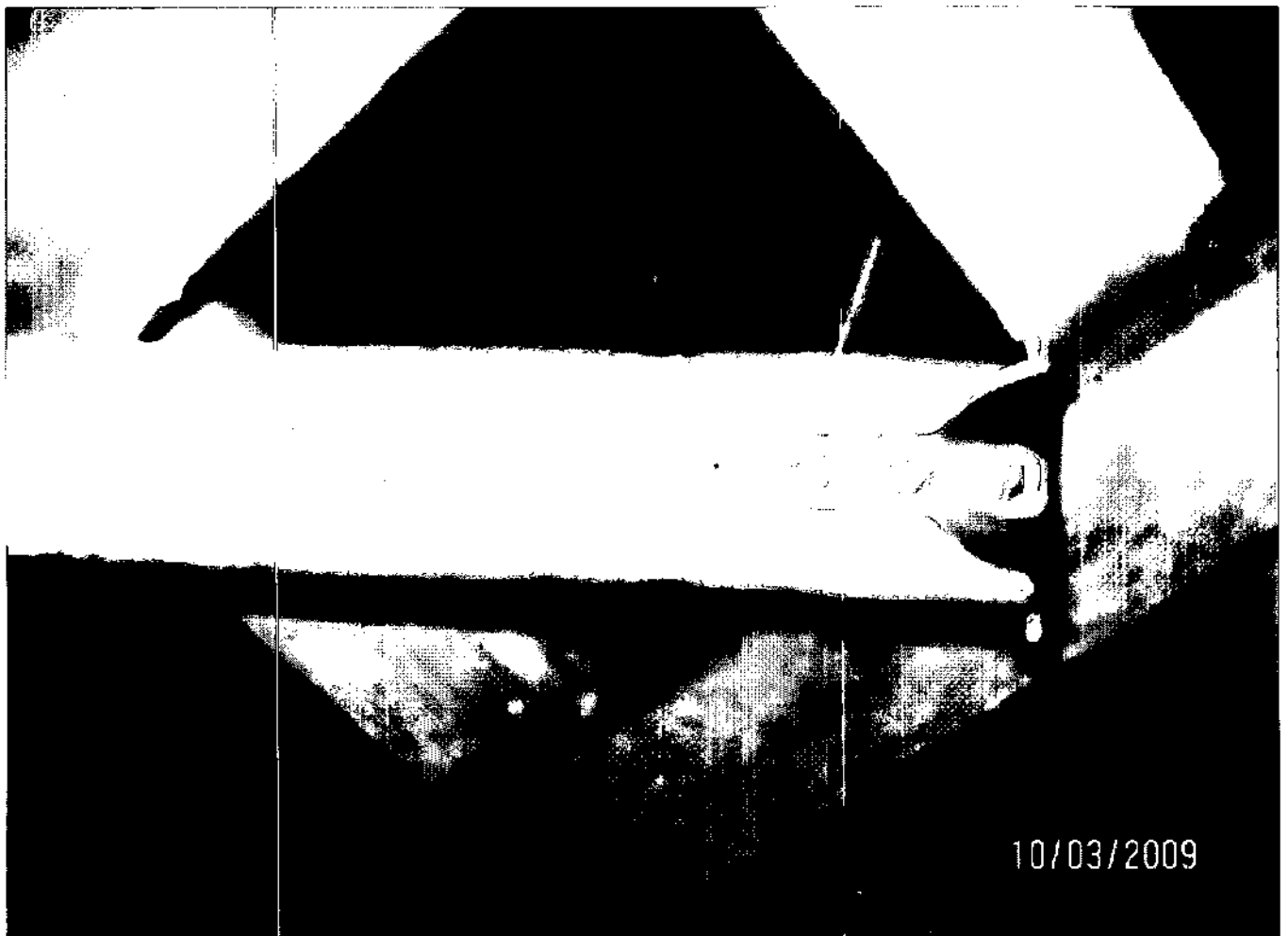
10/03/2009



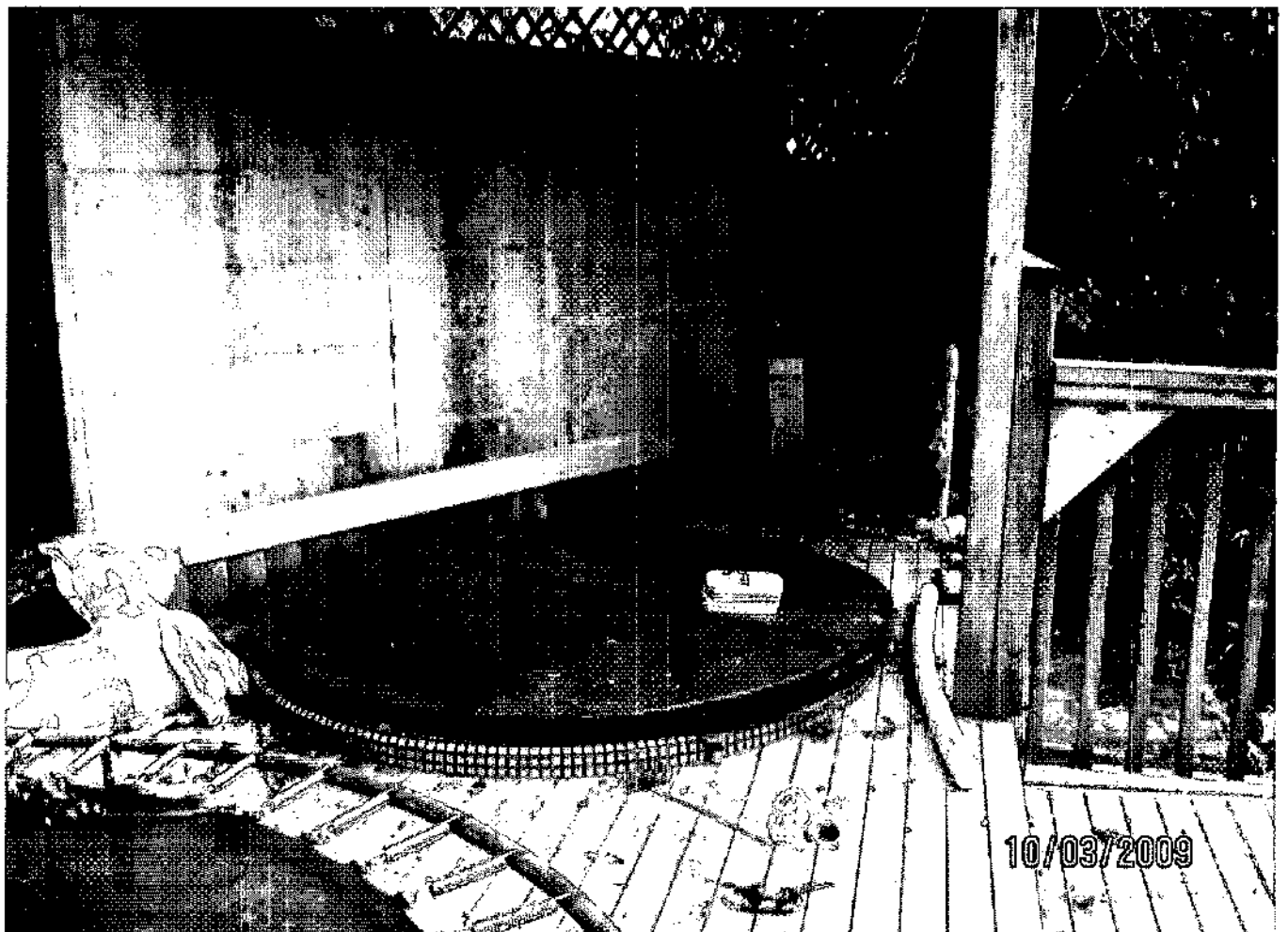
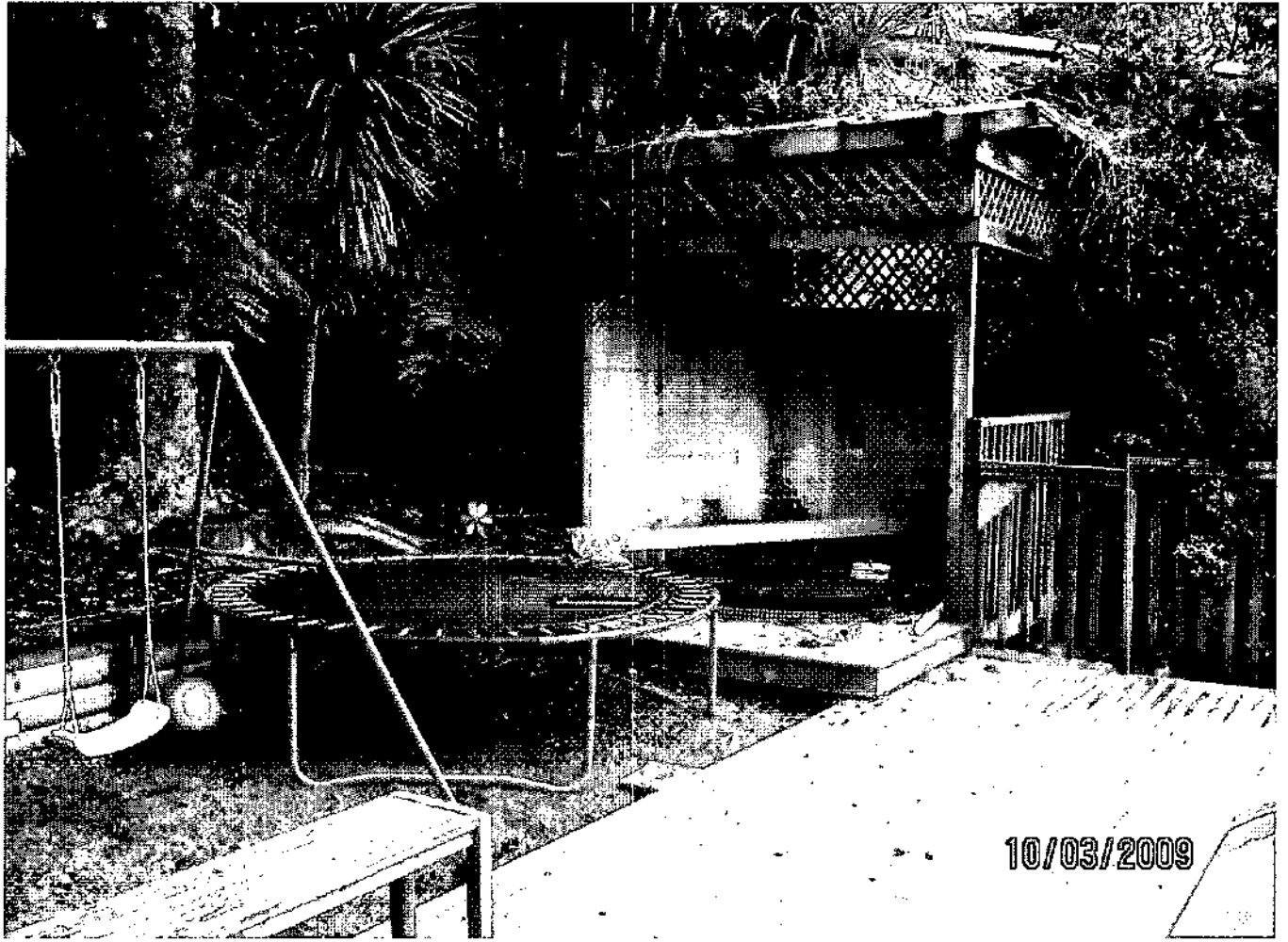




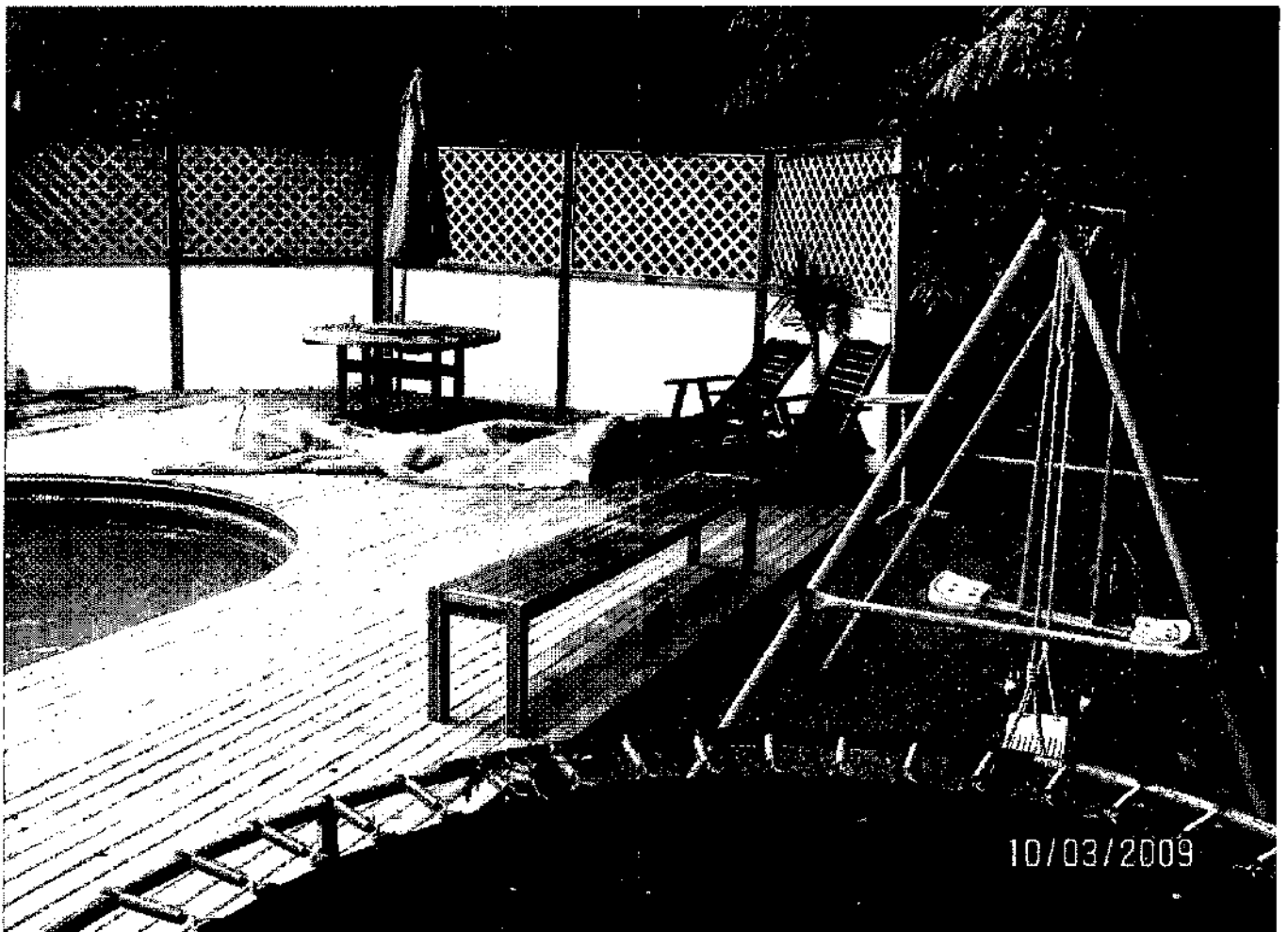
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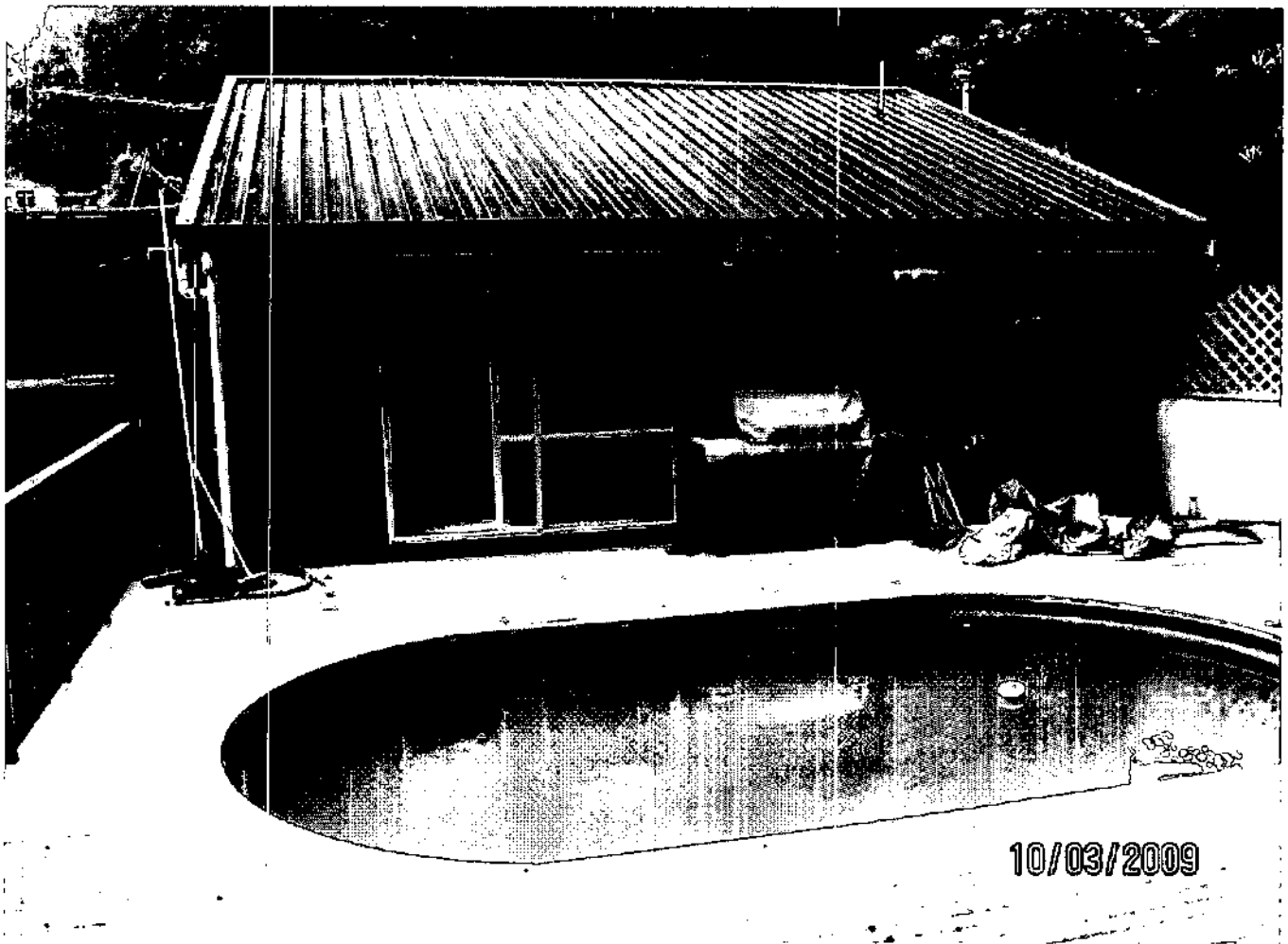
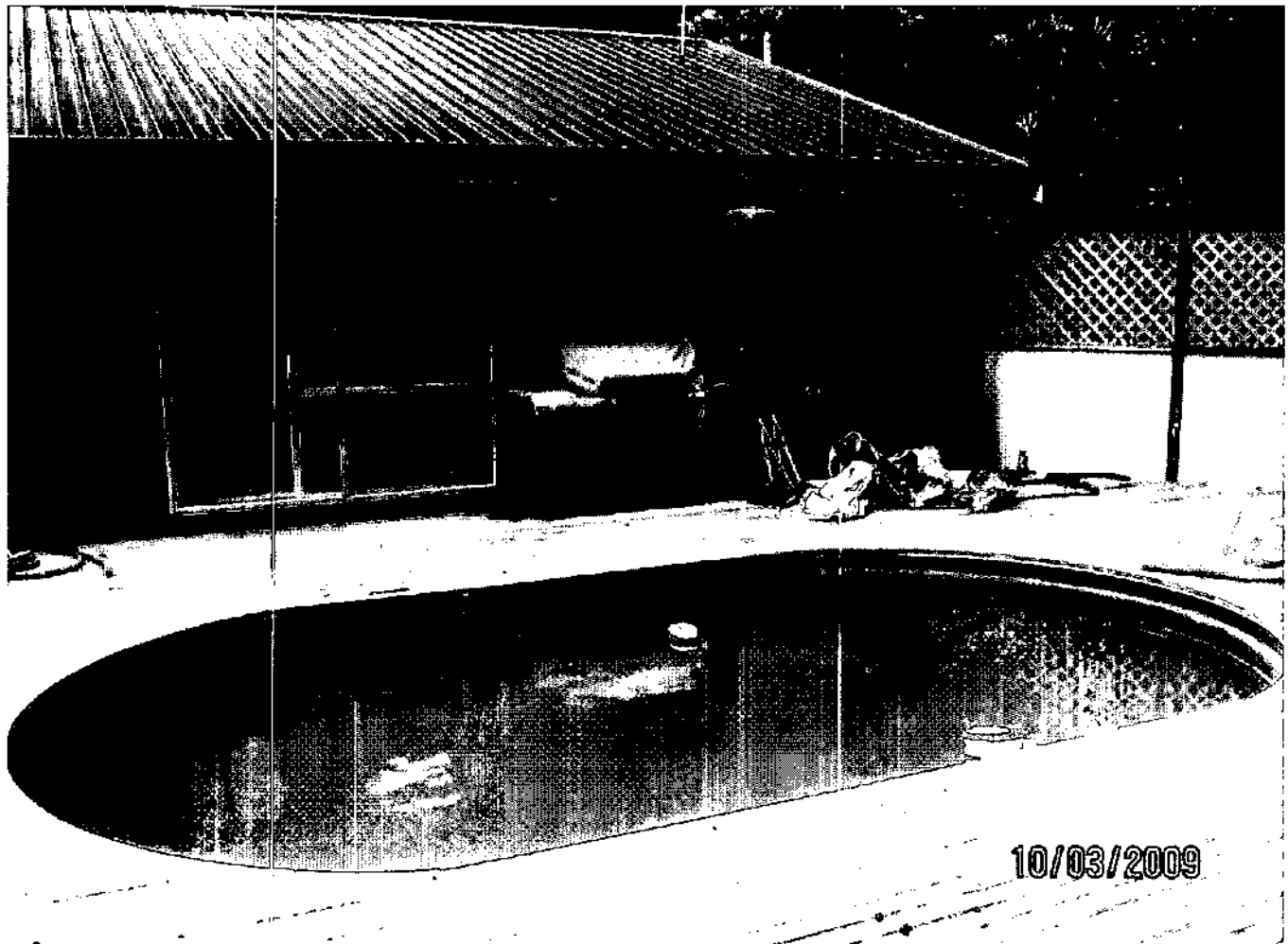


10/03/2009



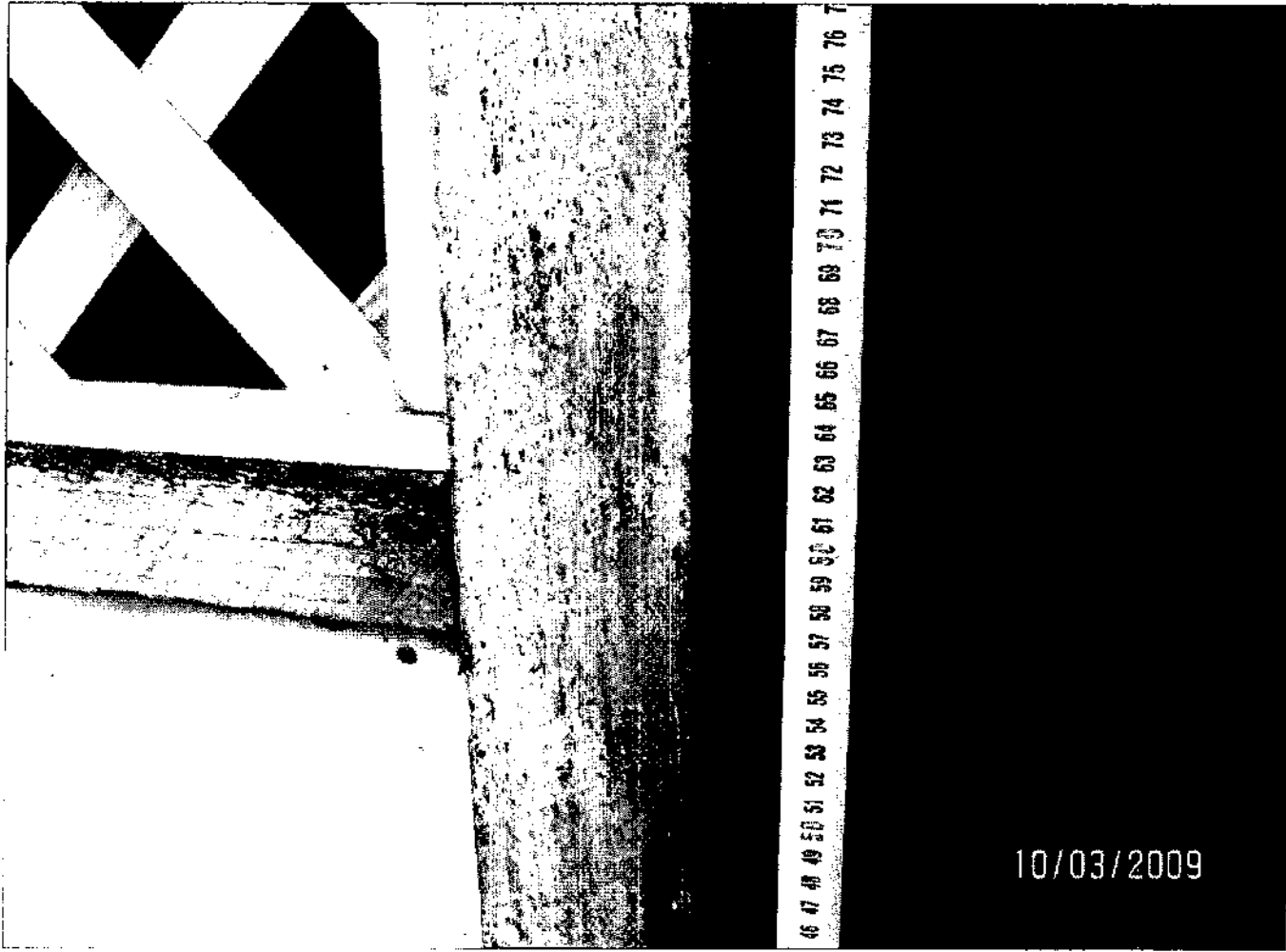




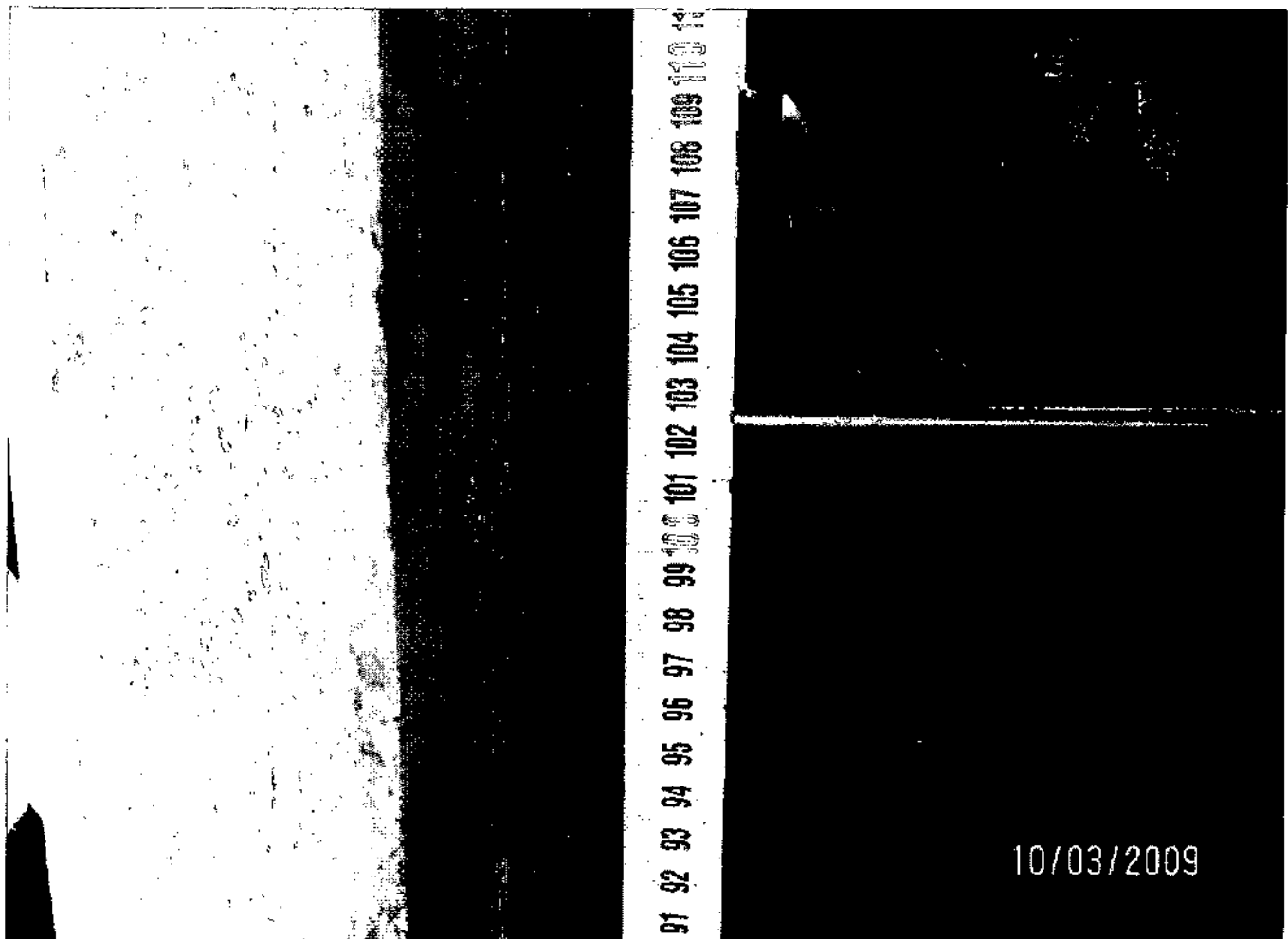




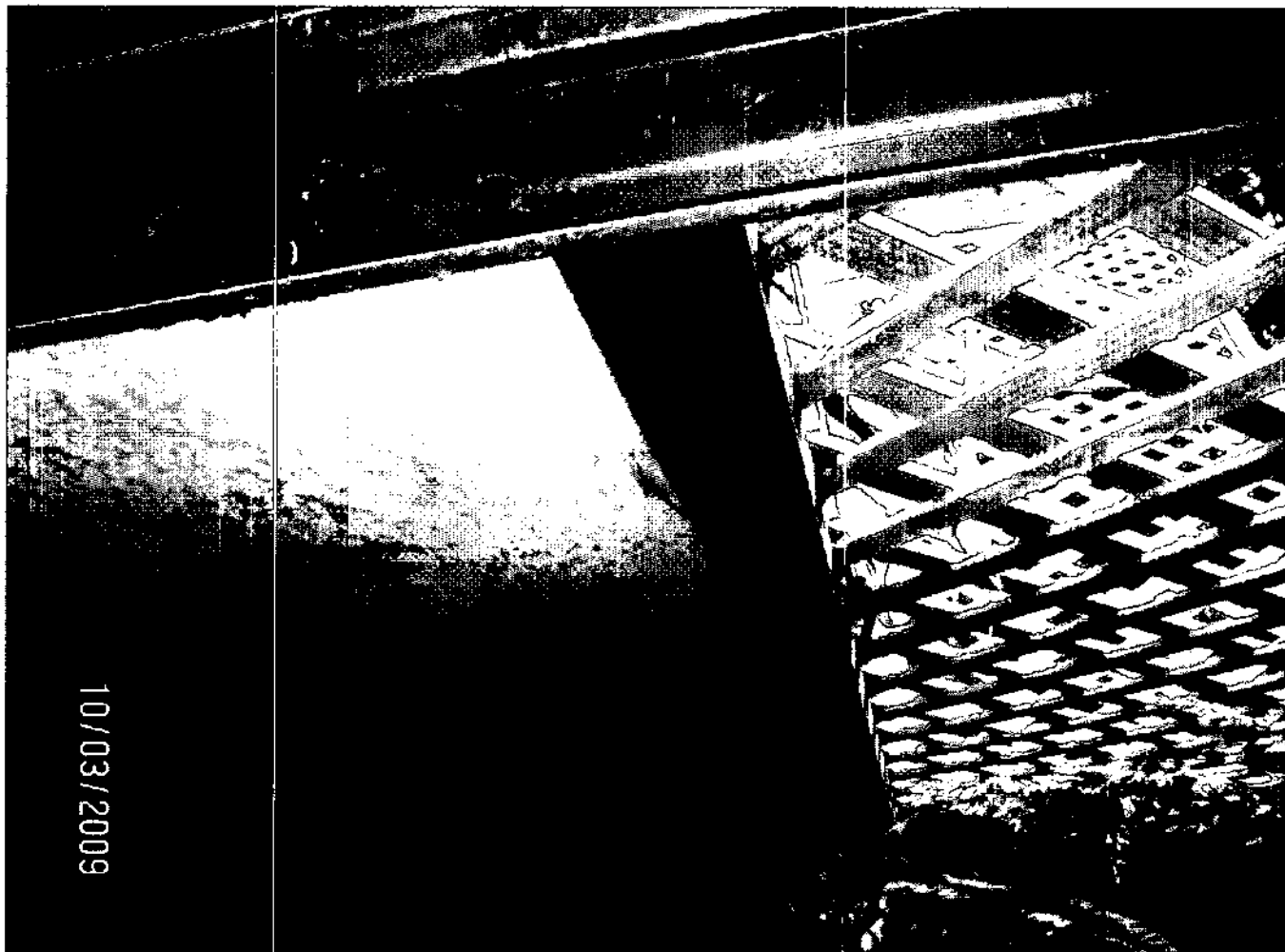




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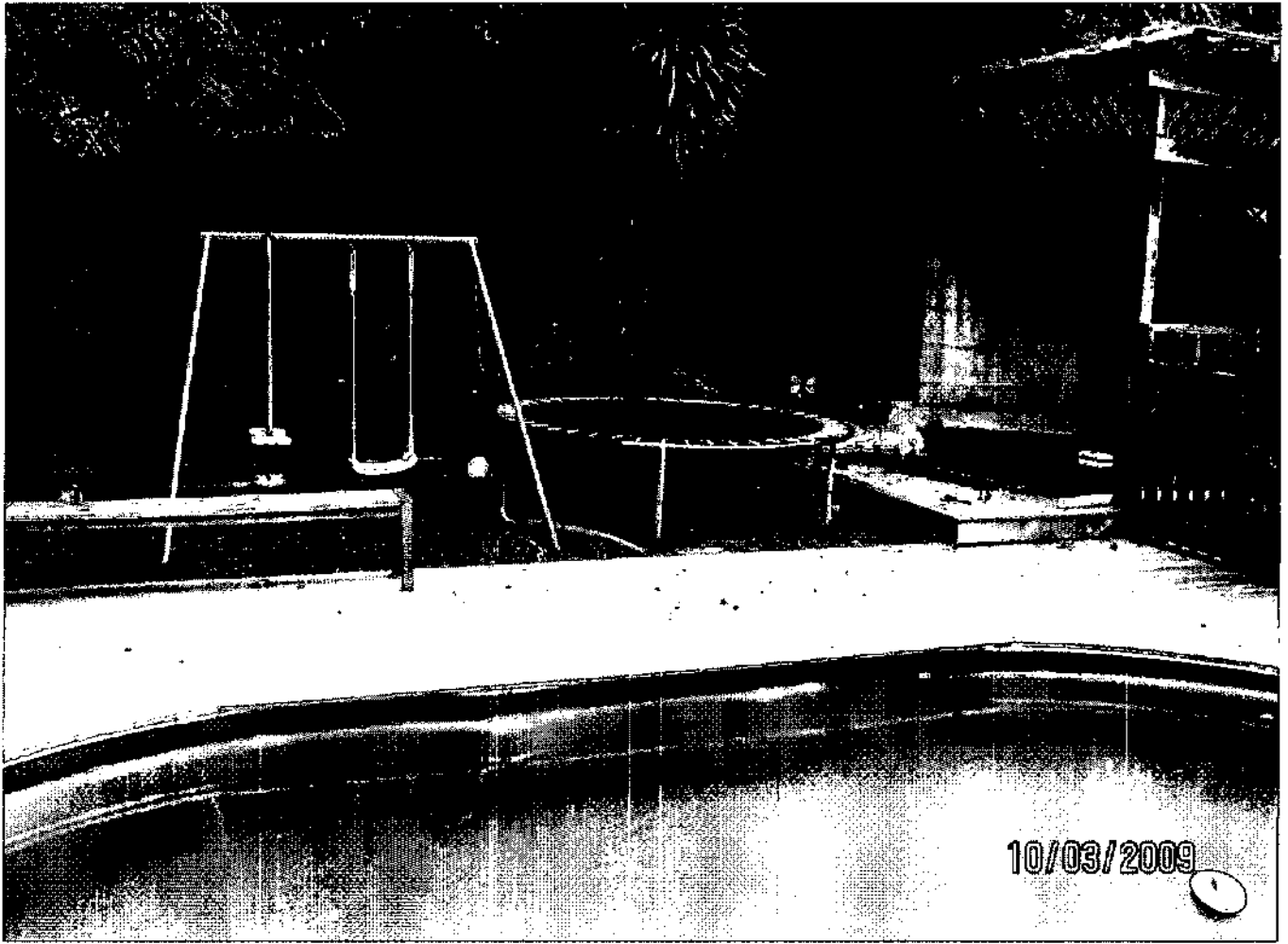
10/03/2009



10/03/2009



10/03/2009





6 June 2003

URSULA SARH RUAKERE
26 DAFFODIL ST
TITIRANGI
WAITAKERE CITY 1007

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987
SITE ADDRESS: 26 DAFFODIL ST, TITIRANGI, WAITAKERE CITY 1007
LOT 93 DP 55504
SWP: SWP20000013

In connection with the above property Waitakere City Council advises that as of 04 June 2003 the swimming and spa pool fencing is in accordance with the Fencing of Swimming Pools Act 1987.

Waitakere City Council is to be notified, should any work be carried out in conjunction with your pool.

Council will review the property's pool fencing requirements in approximately three (3) years to ascertain it meets the requirements in accordance with the Act.

Yours faithfully



JASON SHEEHAN
SWIMMING POOL ADVISOR
OPERATIONAL COMPLIANCE
FIELD SERVICES



Waitakere City Council
Te Tatao o Waitakere

20000013

SWIMMING/SPA POOL INSPECTION FORM

DATE INSPECTED: 04 JUN 2003 FEE REQUIRED (tick box)

INSPECTORS NAME: JASON SHEEHAN

SITE ADDRESS: 26 Daffodil Street

(TICK APPROPRIATE BOX/ES THAT ARE APPLICABLE)

SPA: SWIMMING POOL:
 INGROUND: ABOVE GROUND: OTHER: Same
 (STATE WHERE)
 Occupants Home / N Left calling card Y / N

SWIMMING/SPA POOL RESULTS
(TICK APPROPRIATE BOX/ES APPLICABLE)

MEETS THE REQUIRED STANDARD OF THE ACT	<input checked="" type="checkbox"/>	SWP 5
REMOVED	<input type="checkbox"/>	SWP 3
PARTIAL DRAINED/EMPTY	<input type="checkbox"/>	SWP 4
UNABLE TO GAIN ACCESS	<input type="checkbox"/>	SWP 1
PROVIDE A FENCE TO THE IMMEDIATE SWIMMING/SPA POOL AREA	<input type="checkbox"/>	
PROVIDE A GATE TO THE IMMEDIATE SPA/SWIMMING POOL FENCE AREA	<input type="checkbox"/>	
ENSURE THE SPA/SWIMMING POOL GATE IS SELF-CLOSING AND SELF-LATCHING FROM 150MM, SWINGING AWAY FROM THE POOL AREA	<input type="checkbox"/>	
PROVIDE THE LOWER WINDOWS WITH LATCHES THAT RESTRICT FROM OPENING NO MORE THAN 100MM.	<input type="checkbox"/>	
ENSURE THE SPA/SWIMMING POOL FENCE IS GREATER THAN OR EQUAL TO A HEIGHT OF 1200MM.	<input type="checkbox"/>	
PROVIDE ALL DOORS THAT GIVE DIRECT ACCESS TO THE SPA/SWIMMING POOL AREA WITH BOLTS GREATER THAN OR EQUAL TO A HEIGHT OF 1500MM.	<input type="checkbox"/>	
REMOVE ALL OTHER APPLIANCES FROM THE IMMEDIATE POOL AREA. I.E. CLOTHELINE, BBQ ETC	<input type="checkbox"/>	
YOU ARE REQUIRED TO CLEAN YOUR SWIMMING/SPA POOL THOROUGHLY TO PREVENT THE BREEDING OF MOSQUITOES.	<input type="checkbox"/>	
REMOVE ALL CLIMBABLE OBJECTS FROM WITHIN 1.2M OF THE OUTSIDE OF THE POOL FENCING I.E. PLANT BOXES, FIREWOOD ETC	<input type="checkbox"/>	

OTHER COMMENTS:



Waitakere City Council
Te Taiou o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

Refer: Jason Sheehan : Field Services : Ref: JM
Ph: 839 0400 : Civic Centre

08 April 2003

Ursula Sarah Ruakere
26 Daffodil St
Titirangi
Waitakere City

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987
SITE ADDRESS: 26 DAFFODIL ST, TITIRANGI, WAITAKERE CITY
OUR REFERENCE: SWP 2000013

Council's Officer Mr Jason Sheehan has recently inspected your premises for compliance and has found that the following items of work are still required to be completed.

1. Remove all other appliances from the immediate pool area i.e. Clothesline, barbeque etc.
2. Ensure the swimming pool gate is self-closing and self latching from 150mm, swinging away from the pool area.

Immediate compliance may be achieved by emptying your pool of water to a depth of 400mm or less. (**Advisory note:** with some pools there may be a risk to the structure of the pool if it is emptied – please check with the pool manufacturer, supplier, installer or engineer.

Please contact Council's Swimming Pool Officer at the Civic Centre on phone number 839 0400 to discuss these matters immediately or alternatively to arrange a further inspection of your swimming/spa pool.

Yours faithfully

Jason Sheehan
SWIMMING POOL ADVISOR
FIELD SERVICES



Waitakere City Council
Te Taiaro o Waitakere

20000013

SWIMMING/SPA POOL INSPECTION FORM

DATE INSPECTED: 02 APR 2003 FEE REQUIRED (tick box)

INSPECTORS NAME: JASON SHEEHAN

SITE ADDRESS: 26 Daffodil Street

(TICK APPROPRIATE BOX/ES THAT ARE APPLICABLE)

SPA: SWIMMING POOL:

INGROUND: ABOVE GROUND: OTHER: Deck
(STATE WHERE)

Occupants Home / N Left calling card Y / N

SWIMMING/SPA POOL RESULTS
(TICK APPROPRIATE BOX/ES APPLICABLE)

MEETS THE REQUIRED STANDARD OF THE ACT	SWP 5
REMOVED	SWP 3
PARTIAL DRAINED/EMPTY	SWP 4
UNABLE TO GAIN ACCESS	SWP 1
PROVIDE A FENCE TO THE IMMEDIATE SWIMMING/SPA POOL AREA	
PROVIDE A GATE TO THE IMMEDIATE SPA/SWIMMING POOL FENCE AREA	
ENSURE THE SPA/SWIMMING POOL GATE IS SELF-CLOSING AND SELF-LATCHING FROM 150MM, SWINGING AWAY FROM THE POOL AREA	(2) *
PROVIDE THE LOWER WINDOWS WITH LATCHES THAT RESTRICT FROM OPENING NO MORE THAN 100MM.	
ENSURE THE SPA/SWIMMING POOL FENCE IS GREATER THAN OR EQUAL TO A HEIGHT OF 1200MM.	
PROVIDE ALL DOORS THAT GIVE DIRECT ACCESS TO THE SPA/SWIMMING POOL AREA WITH BOLTS GREATER THAN OR EQUAL TO A HEIGHT OF 1500MM.	
REMOVE ALL OTHER APPLIANCES FROM THE IMMEDIATE POOL AREA. I.E. CLOTHELINE, BBQ ETC	(1) *
YOU ARE REQUIRED TO CLEAN YOUR SWIMMING/SPA POOL THOROUGHLY TO PREVENT THE BREEDING OF MOSQUITOES.	
REMOVE ALL CLIMBABLE OBJECTS FROM WITHIN 1.2M OF THE OUTSIDE OF THE POOL FENCING I.E. PLANT BOXES, FIREWOOD ETC	

OTHER COMMENTS:

" 1, *
2, *"

Met owner onsite and advised of the above.

Proceed with prosecution 26/5/03

SW10

19 March 2003

URSULA SARH RUAKERE
26 DAFFODIL ST
TITIRANGI
WAITAKERE CITY 1007

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT, 1987

STREET ADDRESS: 26 DAFFODIL ST, TITIRANGI, WAITAKERE CITY 1007

SWP: SWP20000013 LOT 93 DP 55504

Further to our previous letter, copy attached, concerning works you are required to carry out in order for your swimming pool or spa pool to comply with the Fencing of Swimming Pools Act 1987, we do not appear to have received any confirmation that you have completed the proper fencing of your pool.

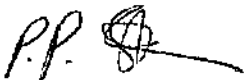
This is a reminder that Council expects that you will make every effort to carry out all the items of work necessary to achieve proper fencing of the pool in the manner defined in the Act no later than 28 March 2003.

The pool must not be available for use pending that work being completed.

Please contact the Council before the due date by sending in the enclosed form (along with the \$68 fee), requesting us to come and reinspect the pool. As noted in our last letter Council's policy is that the pool owners must carry the cost of reinspecting non-complying swimming pools.

If we do not hear from you by 28 March 2003, Council will assume that you have not undertaken the required work and an enforcement process will automatically be commenced. You must return the form and request us to come and reinspect the pool within the stated timeframe to prevent these legal proceedings taking place.

Yours faithfully



Jason Sheehan
Swimming Pool Advisor
FIELD SERVICES

SWP9



Waitakere City Council
Te Taiwhiri o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000

Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz
Website: www.waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

Refer: Jason Sheehan: Field Services : Ref: AA
Phone: 839 0400 : Civic Centre

27 February 2003

URSULA SARH RUAKERE
26 DAFFODIL ST
TITIRANGI
WAITAKERE CITY 1007

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987
STREET ADDRESS: 26 DAFFODIL ST, TITIRANGI, WAITAKERE CITY 1007
SWP: SWP20000013 LOT 93 DP 55504

The Fencing of Swimming Pools Act 1987 requires that the owners of all Swimming/Spa Pools must ensure that their pools are fenced in accordance with the Act. However a recent inspection of your property revealed that your pool does not comply. Consequently we require you to bring the pool up to the legal requirement.

Note: Owners/Occupiers may be charged under the Crimes Act should a drowning occur while the pool is non-compliant.

Immediate compliance may be achieved by emptying your pool of water to a depth of 400mm or less. (Advisory Note: with some pools there may be a risk to the structure of the pool if it is emptied - please check with the pool manufacturer, supplier, installer or engineer).

You must then carry out all the items of work necessary to achieve the proper fencing of the pool in the manner defined by the Act before the pool is available for any further use. Details are provided on the attached page. You may confirm that you have completed the required works by forwarding to Council the enclosed form requesting Council to reinspect the pool, together with our inspection fee, \$68. (It is Council's policy that the pool owner must carry the cost of reinspecting non-complying swimming/spa pools - had the fencing of your pool complied this fee would not be necessary).

For your information, the relevant section of the Fencing of Swimming Pools Act is as follows:

8 Obligations of owner and persons in control of pool

(1) Every owner of a pool to which this Act applies shall ensure that, except as provided in any exemption granted under section 6 of this Act, the pool, or some or all of the immediate pool area including all of the pool, is fenced by a fence that complies with the requirements of the [building code in force under the Building Act 1991 in respect of swimming pools subject to this Act] at all times when this Act applies in respect of the pool.

(2) Every owner of a pool to which this Act applies shall comply or ensure that there is compliance with every condition imposed under section 6(2) of this Act.

(3) Every person who has possession of the property on which any pool to which this Act applies is situated shall ensure that the pool is not filled or partly filled with water at any time when the person knows or could reasonably be expected to know that any obligation imposed by this section on that or any other person is not being complied with.

If you do not confirm to Council that you have carried out the required works Council will assume that your pool continues to be non-complying. Because we are very concerned that children may accidentally drown as a consequence of inadequately fenced pools, and are obliged to take all reasonable steps to ensure the Act is complied with, an enforcement process will automatically be commenced after 28 days.

Please help us to ensure that there are no more swimming pool or spa pool drownings in Waitakere City.

Yours faithfully


Jason Sheehan
Swimming Pool Advisor
FIELD SERVICES

Work Required

1. Provide a fence to the immediate swimming and spa pool area.
2. Ensure the spa/swimming pool gate is self closing and self latching from 150mm, swinging away from the pool area.

SWP8



Waitakere City Council
Te Tatao o Waitakere

20000013.

SWIMMING/SPA POOL INSPECTION FORM

DATE INSPECTED: 21.2.03 FEE REQUIRED (tick box)

INSPECTORS NAME: NEVILLE EXLER

SITE ADDRESS: 26 Daffodil St.

(TICK APPROPRIATE BOX/ES THAT ARE APPLICABLE)

SPA: *same area* SWIMMING POOL:

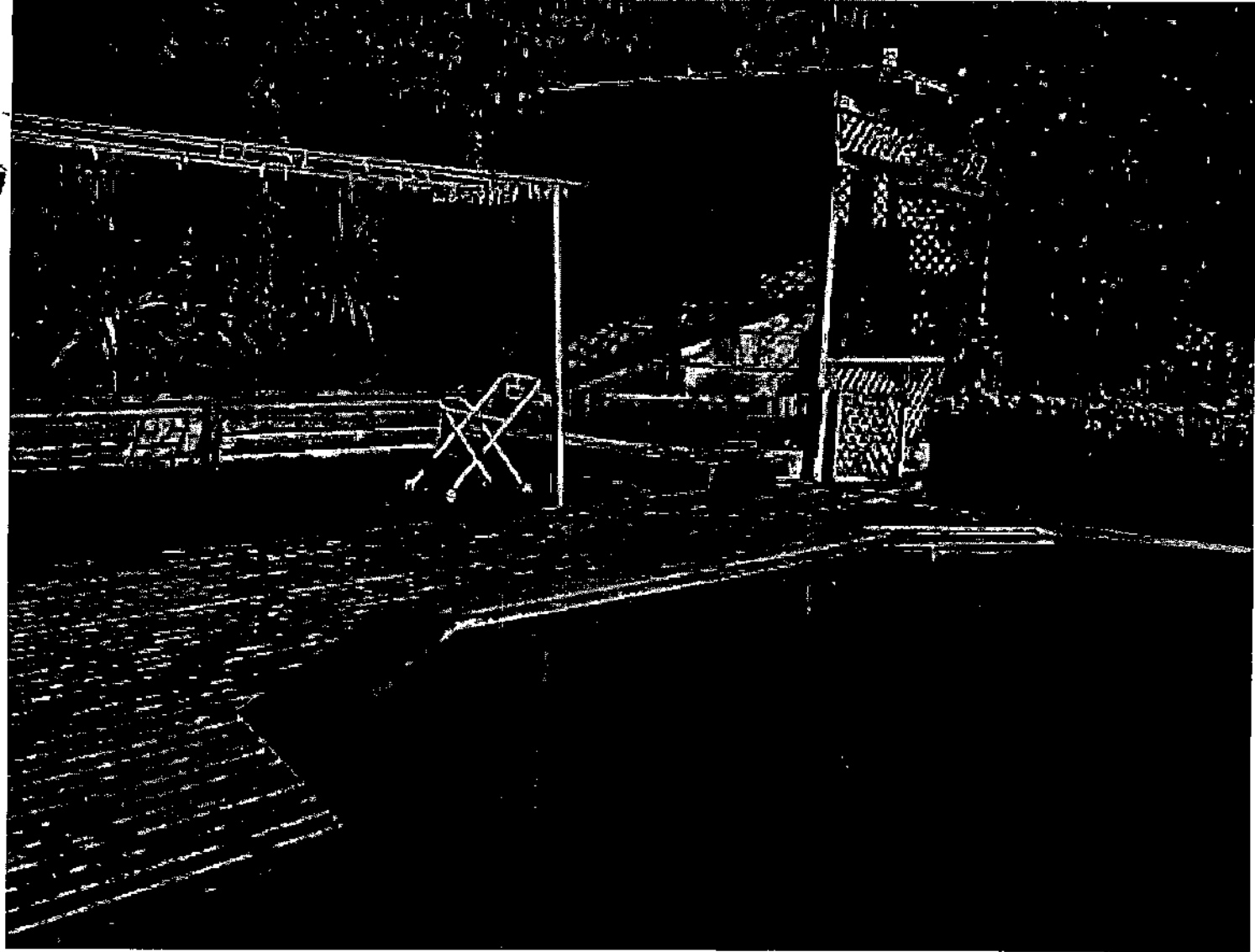
INGROUND: ABOVE GROUND: OTHER: _____
in deck (STATE WHERE)

Occupants Home Y / N Left calling card Y / N

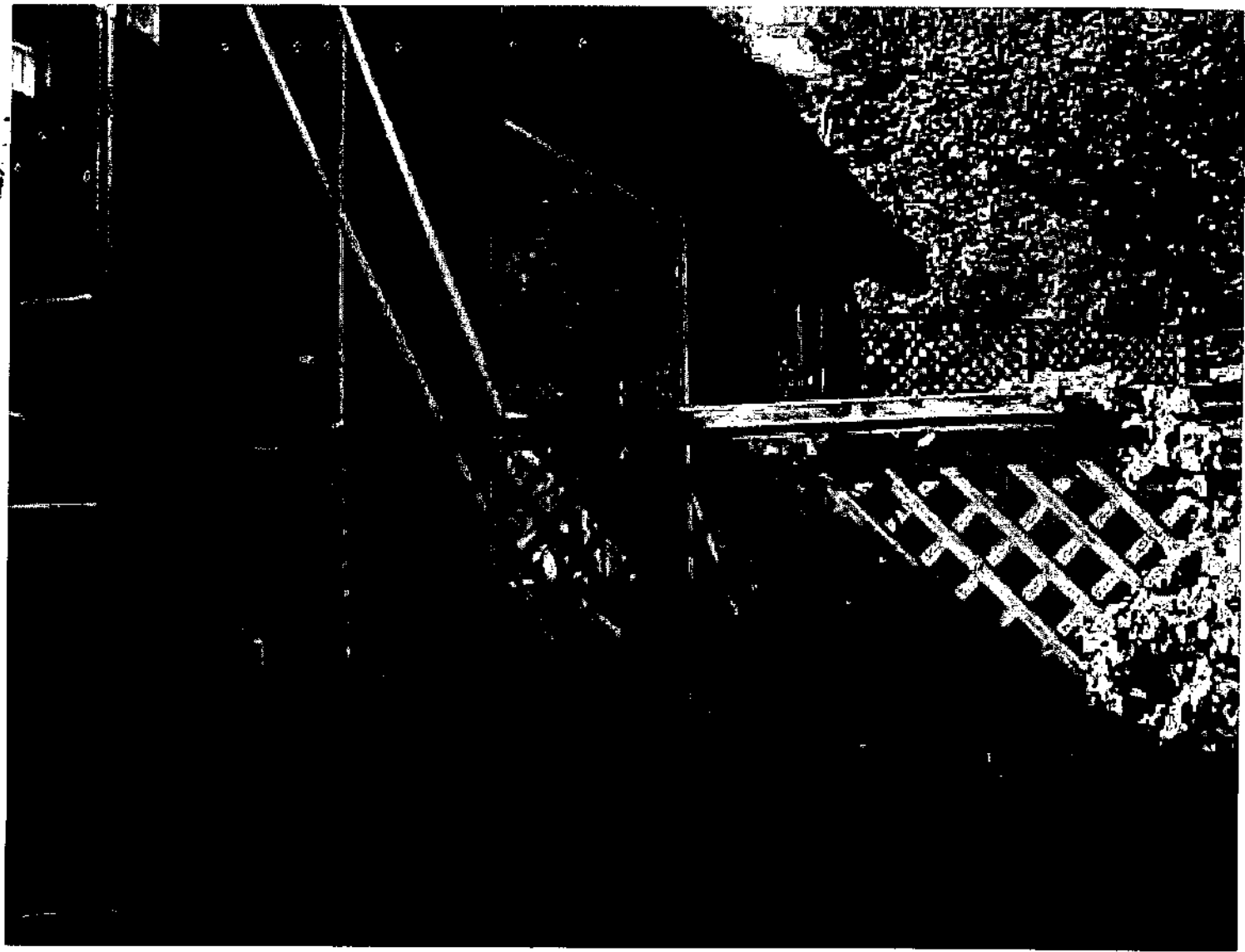
SWIMMING/SPA POOL RESULTS
(TICK APPROPRIATE BOX/ES APPLICABLE)

MEETS THE REQUIRED STANDARD OF THE ACT	SWP 5
REMOVED	SWP 3
PARTIAL DRAINED/EMPTY	SWP 4
UNABLE TO GAIN ACCESS	SWP 1
① PROVIDE A FENCE TO THE IMMEDIATE SWIMMING/SPA POOL AREA	<input checked="" type="checkbox"/>
PROVIDE A GATE TO THE IMMEDIATE SPA/SWIMMING POOL FENCE AREA	
② ENSURE THE SPA/SWIMMING POOL GATE IS SELF-CLOSING AND SELF-LATCHING FROM 150MM, SWINGING AWAY FROM THE POOL AREA	<input checked="" type="checkbox"/>
PROVIDE THE LOWER WINDOWS WITH LATCHES THAT RESTRICT FROM OPENING NO MORE THAN 100MM.	
ENSURE THE SPA/SWIMMING POOL FENCE IS GREATER THAN OR EQUAL TO A HEIGHT OF 1200MM.	
PROVIDE ALL DOORS THAT GIVE DIRECT ACCESS TO THE SPA/SWIMMING POOL AREA WITH BOLTS GREATER THAN OR EQUAL TO A HEIGHT OF 1500MM.	
REMOVE ALL OTHER APPLIANCES FROM THE IMMEDIATE POOL AREA. I.E. CLOTHELINE, BBQ ETC	
YOU ARE REQUIRED TO CLEAN YOUR SWIMMING/SPA POOL THOROUGHLY TO PREVENT THE BREEDING OF MOSQUITOES.	
REMOVE ALL CLIMBABLE OBJECTS FROM WITHIN 1.2M OF THE OUTSIDE OF THE POOL FENCING I.E. PLANT BOXES, FIREWOOD ETC	

OTHER COMMENTS:









Waitakere City Council
Te Taiou o Waitakere

Waitakere City Council
Civic Centre
6 Waipareira Ave
Waitakere City

Telephone
09 836 8000
Facsimile
09 836 8001

DX CX 10250 Auckland Mail Centre
Email: info@waitakere.govt.nz

Private Bag 93109
Henderson
Waitakere City

Refer: Mr Exler: jc (Field Services)
Extn. 8657 (Civic Centre)

LIM Ref: No: 20000094

25 January 2000

'Limswim3'

R & R Hilke
26 Daffodil St
Titirangi

Dear Sir/Madam,

PROPERTY LOCATION – 26 DAFFODIL STREET, TITIRANGI, LOT 93 DP 55504
FENCING OF SWIMMING POOLS ACT 1987

Council's records indicate that the swimming/spa pool on this property does not comply with the Fencing of Swimming Pools Act 1987, and/or does not appear on Council's register.

In order to meet Compliance with the Act please ensure that the fencing meets the requirement on the enclosed Guidelines. Any outstanding work should be carried out within 28 days of the date of this letter or the pool should be emptied and Council notified.

Please return the enclosed Registration form together with the prescribed fee of \$55.00 to advise Council when this work is complete or the pool has been emptied and ready for inspection.

Should you wish to discuss this matter please contact the writer Monday to Friday on extension 8657 or (025) 863-327.

Yours faithfully

Neville Exler
CUSTOMER FIELD ADVISOR
(BUILDING COMPLIANCE)

- 8 FEB 2000

26 Daffodil St.
Titirangi
Auckland

438893

Rolf and Rosemarie Hike

February 7, 2000

Regulatory Service
Mr. Exler (Field Service)
Waitakere City Council
Private Bag 93109
Henderson

Ref. LIM Ref No 20000094

Dear Sir

Most of the pool fencing complies with regulations apart from one section at the back boundary of the property which is at the moment fenced with mesh wire to a height of 1.8m.

We have placed an order with Metal Rollforming Ltd. Due to high demand the delivery time is 3 weeks plus additional time for installment.

Please find enclosed copy of order.

We will inform you as soon as the work is completed.

Sincerely,

Rang Rosie 22.11.00.
They sold the house in March
and never got back to us
The fence is in. W.C.

Chief Executive	
Corporate Services	
Community Development	
Regulatory	
Strategic & Dev	
Human Resources	
City Infrastructure	
Special Issues	
Fields	✓



**METAL
ROLLFORMING
LIMITED**

MODULINE COLORSTEEL FENCING
21 THOMAS PEACOCK PLACE, PANMURE.
P.O. BOX 18-217, GLEN INNES, AUCKLAND 6
PHONE (09) 527-7897 - FAX (09) 527-7896

Quotation No: 1790

Name : ROSIE HILKE
Address : 26 DAFFODIL ST
TITIRANGI

Phone : Hm. 817-7024 Work _____

Facsimile : _____

Mobile : 025 455-821 Date 01/02/00

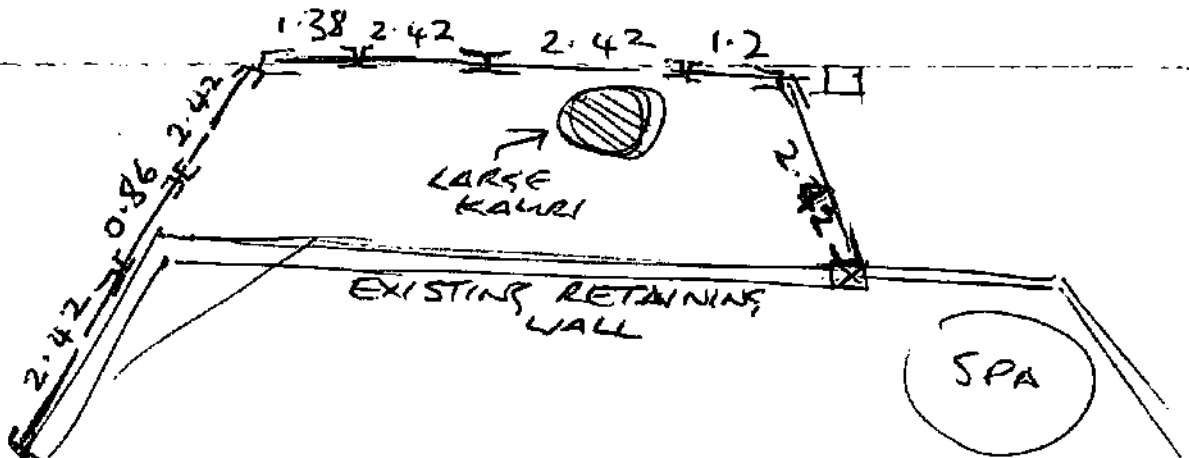
Description

SUPPLY MODULINE COLORSTEEL
POOL FENCING AS DISCUSSED
ON SITE - 15.42 METRES 1.2M HIGH

Colour(s) KARAKA GREEN

Total Price GST inclusive	\$ <u>919</u>
Deposit with Order	\$ <u>NIL</u>
Balance on Completion Delivery	\$ <u>919</u>

DELIVERY TIME 3 WEEKS



Salesman: [Signature] RON CROCKETT
Contact Phone: 021-340-540

Order Confirmation

Customer Signature	<u>[Signature]</u>
Date	<u>01/02/00</u>

This quote remains valid for 30 days from date of issue, after which a revised quote may be necessary.

CBI 5113

March 2007

GIB Aqualine[®] Wet Area Systems

AUCKLAND COUNCIL

014 838 #



WESTERN



www.gib.co.nz

The GIB logo, consisting of three stylized, overlapping rectangular blocks above the word "GIB" in a bold, sans-serif font.



THIS PUBLICATION

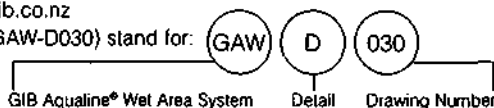
This publication is not intended as the definitive guide on wet area construction and wet area systems, but rather as a helpful guide to best practice around areas where there is intermittent water exposure and splash zones within residential and non-residential buildings – in particular, areas covered by the New Zealand Building Code (NZBC), Clause E3 Internal Moisture. The information herein is designed to be helpful to designers, contractors and home-owners wishing to achieve a result that is easy to incorporate into modern design, simple and clear to construct, and that will satisfy the needs, requirements and expectations of both the NZBC and the end user.

Wet areas in the home often require relatively frequent and expensive renovation or repair, often because of the ingress of water to the structure of the building.

It is important to introduce materials and systems which have been specially designed to cope with the conditions that are common in wet areas, and to ensure they are installed correctly, using best practice, and are compatible to form a complete wet area system.

The code numbers shown with each "typical detail", e.g. GAW-D030, match the code numbers for drawings available as downloads on the GIB® website at www.gib.co.nz

The reference numbers (e.g. GAW-D030) stand for:



WHAT IS A WET AREA?

Generally, wet areas are described as spaces to where fresh water is reticulated, such as bathrooms, toilets, laundries and kitchens. Wet areas fall into two categories; these are well explained and documented in the NZBC, Clause E3.

1. Water splash areas – These are areas subject to intermittent splash of liquid water around sanitary fittings and appliances such as baths, vanities, laundry tubs, sinks, etc. These areas are required to have an impervious, easily cleaned surface.
2. Shower enclosures – These are areas subject to more frequent, larger quantities of water, and include shower enclosures and shower over bath areas. The NZBC E3/AS1 requires these areas to be impervious, and specifically excludes any paint and wallpaper finishes. Where ceramic tile or stone finishes are applied, E3/AS1 requires that they "shall be laid on a continuous impervious substrate or membrane".

The requirements of these wet areas are described on page 6 of this publication and in full in Clause E3 of the NZBC. Clause E3 also refers to other requirements not covered in this publication, such as ventilation, condensation control and overflow management, which will require separate consideration. Ongoing maintenance of wet areas is also important to maximise the life of the wet area.

GIB AQUALINE®

Although able to cope with infrequent short-term exposure, standard gypsum plasterboard will have a shortened life expectancy when frequently exposed to water or moisture.

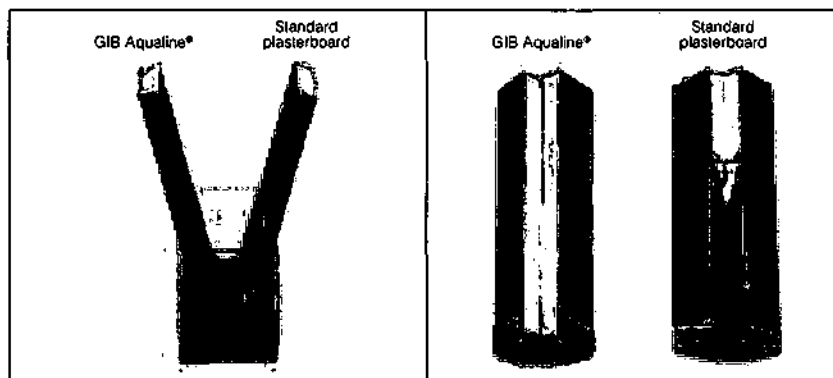
The NZBC does not call for water resistant linings in wet areas but it is highly desirable to incorporate lining materials which will maintain their integrity longer when exposed more frequently to water or steam and particularly to one-off events such as leakages or flooding of a room.

GIB Aqualine® is ideal in such situations because it features a water resistant wax polymer impregnated core.

Unlike other commonly used substrates, the GIB Aqualine® core not only resists penetration of water through the lining into the framing behind, but also resists water "wicking" up the core, a common cause of long-term damage where a water resistant lining has not been used.

GIB Aqualine® will maintain its integrity for extended periods, particularly where wicking over large areas can destroy the integrity of the interface between the lining and paint or wallpaper surfaces or between the lining and the tile adhesive.

The illustrations below graphically show the difference between GIB Aqualine® and standard plasterboard after a two-hour soak test in red dye.



GIB AQUALINE® WET AREA SYSTEMS – DESIGN



Introduction/Design Considerations

GIB AQUALINE® *continued*

Where to Use GIB Aqualine®

Though not required by NZBC, it is highly desirable to include GIB Aqualine® in all areas at risk of water or moisture damage, in order to prolong the life expectancy of that space.

They include:

	WALLS	Ceilings
BATHROOMS	✓	✓
SHOWERS	✓	✓
LAUNDRY	✓	✓
KITCHEN	✓	
TOILET	✓	

Benefits

- Water resistant and durable to help protect against water damage
- Proven substrate for paint, wallpaper, tiles, sheet vinyl and rigid sheet shower linings with installations in over 300,000 bathrooms in New Zealand
- Suitable for both residential and non-residential applications
- Dimensionally stable, will not buckle or warp, hence an excellent substrate for ceramic tiles
- Conventional jointing methods
- Easy to cut and form openings
- Contains fibreglass and other additives for strength and fire resistance
- May be used in GIB® Bracing, GIB® Fire Rated and GIB® Noise Control Systems (see Compliance with the NZBC, Clauses B1, C3 and G6). Consult the appropriate GIB® literature for installation details
- Green face paper for ease of recognition.

Sheet Dimensions and Weights

SHEET DIMENSIONS (ALL SHEETS 1200mm WIDE AND TE/TE)		MAXIMUM WEIGHT/m ²
Thickness (mm)	Length (mm)	
10	2400, 2700, 3000, 3600	7.8kg
13	2400, 2700, 3000, 3600	10.2kg

Handling and Storage

- GIB Aqualine® must be stored under cover, stacked flat and clear of the floor with sufficient support to avoid sagging.
- GIB Aqualine® must be handled as a finishing material.

APPRAISAL

The document entitled *GIB Aqualine® Wet Area Systems 2007* has been appraised by BRANZ, Appraisal Certificate, No. 427 (2007).

COMPLIANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC)

Structure – Clause B1

The design and material specification for steel and timber framing used in GIB Aqualine® systems must be in accordance with the performance requirements of NZBC Clause B1 (Structure). See Bracing in Wet Areas on page 5.

Durability – Clause B2

When installed and maintained in accordance with this literature, GIB Aqualine® tiled or vinyl covered systems have a serviceable life of at least 15 years. They comply with the requirements of NZBC Clause B2 (Durability) for use in wet areas directly exposed to liquid water, e.g. showers, showers over baths and splash-backs.

When used as a general wet area lining and maintained under normal dry internal conditions, GIB Aqualine® systems have a serviceable life of at least 50 years and comply with NZBC Clause B2 (Durability) for use within toilets, kitchens, bathrooms and laundries not directly exposed to liquid water.

Spread of Fire – Clause C3

GIB® Fire Rated Systems provide passive fire protection in accordance with the requirements of NZBC Clause C3 (Spread of Fire). When GIB Aqualine® is substituted into fire rated systems in place of the equivalent thickness GIB Fyrelite®, the Fire Resistance Rating (FRR) of that system will be maintained.



COMPLIANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) *continued*

Internal Moisture – Clause E3

When installed in accordance with this literature, tiled or vinyl covered GIB Aqualine® systems may be used in areas directly exposed to liquid water, such as showers, to provide an impervious and easily cleaned wall surface. These systems comply with the requirements of NZBC Clause E3 (Internal Moisture).

Hazardous Building Materials – Clause F2

At no stage during handling, installation, or serviceable life does GIB Aqualine® constitute a health hazard. It therefore meets the provisions of NZBC Clause F2 (Hazardous Building Materials). Dust resulting from the sanding of stopping compounds may be a respiratory irritant and the use of a suitable facemask is recommended.

Ventilation – Clause G4

NZBC Clause G4 (Ventilation) requires buildings to have a means of collecting or otherwise removing steam generated from laundering, utensil washing, bathing or showering. To prolong the life of interior linings and surface finishes and to minimise the risk of moisture related problems such as condensation and mould growth, adequate heating and mechanical ventilation must be provided in kitchens, bathrooms and laundries.

Airborne and Impact Sound – Clause G6

GIB® Noise Control Systems can be used to provide ratings for Sound Transmission Class (STC) and Impact Insulation Class (IIC) in accordance with the requirements of NZBC Clause G6 (Airborne and Impact Sound). When GIB Aqualine® is substituted into GIB® Noise Control systems in place of the equivalent thickness GIB® Standard plasterboard or GIB Fyreline®, the STC and IIC rating of that system will be maintained. When GIB Aqualine® is substituted in place of the equivalent thickness GIB Noiseline®, a small performance loss may occur. For further information contact the GIB® Helpline 0800 100 442.

LIMITATIONS

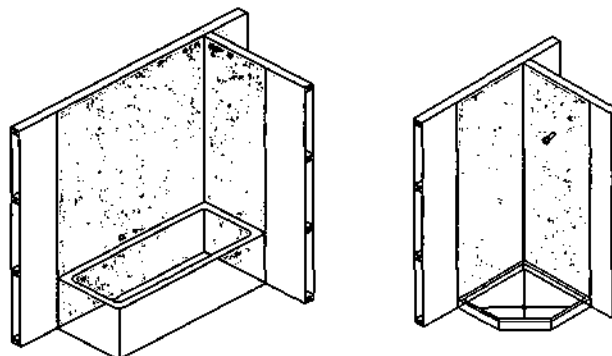
- GIB Aqualine® must not be used for bracing purposes in shower cubicles or above baths (see Bracing in Wet Areas below)
- Do not use GIB Aqualine® where it may be exposed for extended periods to humidities of 90% RH and above. Such areas include group shower or steam rooms as well as moisture and chlorine rich environments such as indoor swimming pools
- GIB Aqualine® must not be directly applied to solid plaster (gypsum or cement), wood based sheet linings or similar materials, masonry or concrete. GIB Aqualine® may only be applied to these materials where timber strapping or steel furring channels are installed
- GIB Aqualine® must not be installed over a vapour barrier or a wall acting as a vapour barrier
- Cracked or damaged sheets must never be used
- GIB Aqualine® must not be used in external-applications
- GIB® plasterboard must not be exposed to temperatures in excess of 52°C for prolonged periods. Heat-generating devices may include halogen lighting, cooking elements, radiant heating, solid fuel exhausts and fire surrounds. Consult the appliance manufacturer for installation details.

BRACING IN WET AREAS

Bracing elements are required to have a durability of 50 years. GIB® bracing elements are not to be located in shower cubicles or behind baths because of durability requirements, the likelihood of renovation, and practical issues associated with fixing bracing elements to perimeter framing members.

Otherwise, GIB® Bracing Systems can be used in water-splash areas as defined by NZBC Clause E3/AS1, provided these are maintained impervious for the life of the building.

GIB Aqualine® can be used in place of GIB® Standard plasterboard in GIB® bracing elements. GIB Aqualine® can be used in place of GIB Braceline® in GIB® bracing elements 900mm or longer, provided the perimeter of the element is fixed with GIB Braceline® Nails or GIB Braceline® screws at 100mm centres, using the GIB Braceline® corner fixing pattern.



No bracing in the shaded areas.

NEW ZEALAND BUILDING CODE

E3.3.4 requires impervious and easily cleaned surfaces to all surfaces adjacent to sanitary fixtures or laundering facilities.

E3.3.5 requires that surfaces of building elements likely to be splashed or contaminated in the course of the intended use of the building must also be impervious and easily cleaned.

E3.3.6 requires that surfaces of building elements likely to be splashed must be constructed in a way that prevents water from penetrating behind linings or into concealed spaces (e.g. wall cavities).

Walls in wet areas therefore need to be addressed according to whether they fall within the scope of one of the following descriptions:

1. Wall surface likely to be splashed
2. Shower walls. Although not a requirement of NZBC it is highly recommended that the wall surfaces within 150mm of the top edge of a bath, and the vertical faces immediately under the edge of a bath, are treated in the same way as for a shower wall.

WALL SURFACES IN AREAS LIKELY TO BE SPLASHED

Suitable linings include:

- a. Integrally waterproof sheet material (e.g. polyvinylchloride) with sealed joints
- b. Ceramic or stone tiles having 6% maximum water absorption, waterproof grouted joints, and bedded with an adhesive specified by the tile manufacturer as being suitable for the tiles, substrate material and the environment of use
- c. Cement based solid plaster or concrete having a steel trowel or polished finish (semi-gloss or gloss paint must be used if a paint finish is required)
- d. Cork tile or sheet sealed with waterproof applied coatings
- e. Monolithic applied coatings having a polished, non-absorbent finish (e.g. terrazzo)
- f. Sheet linings finished with vinyl coated wallpaper, or semi-gloss or gloss coating
- g. Water resistant sheet linings finished with decorative high pressure laminate or factory applied polyurethane or resin
- h. Modular or multiple lining units which are themselves *impervious* and easily cleaned, and are installed with *impervious* joints
- i. Timber or timber-based products such as particleboard sealed with waterproof applied coatings.

NB: Floor surfaces and floor/wall junctions are required by E3 to be impervious.

SURFACES IN SHOWERS AND AROUND BATHS

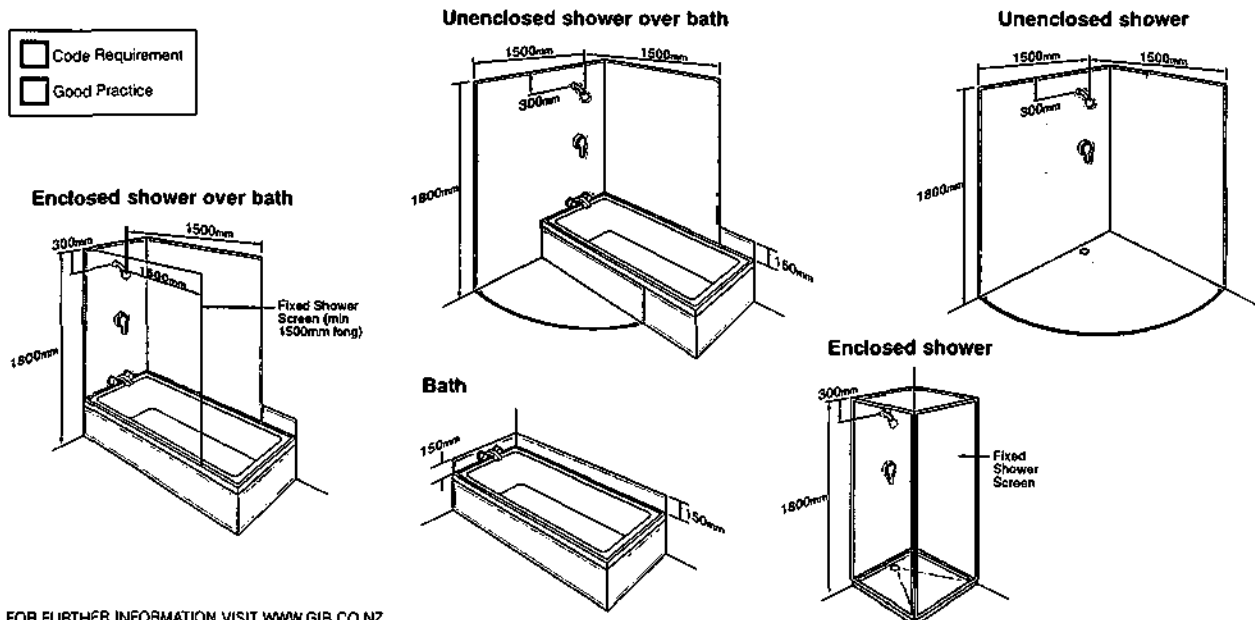
Suitable linings include all of the above, but **NOT including items (d) and (f) from the above list.**

Note that a waterproof membrane complying with AS/NZS 4858: 2004 **MUST** be applied to all lining materials used under ceramic tiles in these areas.

The waterproof membrane must extend to a 1500mm horizontal radius from a shower rose unless the shower is contained within a fixed enclosure. A shower curtain does not constitute a fixed enclosure.

Particleboard manufacturers recommend that in wet areas, panels should be protected with a suitable wet area membrane or an integrally waterproof sheet material. Some local authorities call for this treatment on all timber based floors. Local requirements should be checked before proceeding.

Dark grey shaded areas in the diagrams below represent the minimum extent of wall surfaces requiring impervious sheet materials or waterproof membranes prior to tiling. Light grey shaded areas represent good practice.





WALL SURFACES SURROUNDING COOKTOPS

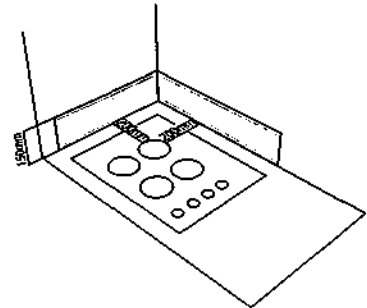
The protection of combustible surfaces surrounding gas cooking appliances is covered by NZS 5261. Consult the current version of this standard to ensure compliance.

However, as a guide the following options are acceptable for wall surfaces within 200mm of the periphery of a gas element to a height of 150mm above the element for the full dimension (width and depth) of the cooktop surface area:

- 5mm ceramic tiles on GIB® plasterboard
- 5mm toughened glass on GIB® plasterboard
- or any system that can be demonstrated to meet the requirements of Clause 2.6.2.6 of NZS5261.

Because of the moisture generated by cooking, it is highly recommended that GIB Aqualine® is used in kitchen areas.

GIB® plasterboard products must not be exposed to temperatures in excess of 52°C for sustained periods. Check with the appliance manufacturer that this requirement will be met. However, it would be unusual for surfaces outside 200mm to exceed 52°C for sustained periods.



PENETRATIONS AND SEALANTS

As leaks and water ingress typically occur at junctions between building elements and at penetrations, it is essential that particular attention is given to these details at the time of installation. Lack of attention to detail can result in water damage that could remain undetected for a long time.

- Ensure that all cut-outs for pipe penetrations are made neatly, and slightly oversize, with a hole saw. These penetrations should be of a diameter no more than 12mm greater than that of the pipe
- Sealants should be of a mould inhibiting type and be neutral cure. Neutral cure silicones will generally meet these requirements
- Surfaces should be dry and free from dust before application, a minimum of a 4mm joint width provided and the depth should not exceed the width
- Gun a bead of silicone sealant to the full depth of the GIB Aqualine® in the following locations:
 - Around all tap/pipe bodies
 - The gap between the bath rim and the bottom edge of the GIB Aqualine®
 - Between the upstand of preformed shower bases and the bottom edge of the lining
 - Where an impervious junction is required at the floor/wall line, carefully seal the gap between the bottom edge of the board and the finished floor. Leave a 5-10mm gap at the bottom of the GIB Aqualine® wall lining for this purpose, ensuring the gap is free from dirt and dust
- Do not locate shower heads or taps on fire rated or intertenancy walls. Should this be unavoidable then refer to the publication *Penetrations in GIB® Fire Rated Systems*. Always use tested and approved proprietary solutions.

WATERPROOF MEMBRANES

- A waterproof membrane must be applied to **all** lining materials used as a substrate for ceramic tiles in a shower or shower over bath situation
- The wall surface in a shower or shower over bath situation is not complete and ready for tiling until coated with a waterproof membrane over the lining and the jointed areas shown shaded on page 6
- Only in-situ waterproofing materials which are manufactured to AS/NZS 4858:2004 "Wet Area Membranes" are recommended and applied to manufacturer's recommendations. Typically, these types of membranes are not suitable for paint and wallpaper finishes
- Waterproof membranes must be fully cured and dry prior to application of tiling adhesives
- Embed reinforcing mats in the membrane at all internal corners of the shower (including floor/wall junctions)
- Preformed sheet membranes are also available and may be more suitable where curing times or specialist skills are an issue
- The details shown in this technical literature are generic in nature. For accurate detailing, follow the specifications provided by the supplier of the proprietary waterproof membrane.

TILING

GIB Aqualine® is suitable as a substrate for tiling up to the following weights:

- 10mm GIB Aqualine® up to 20kg/m²
- 13mm GIB Aqualine® up to 32kg/m².

Note: Most ceramic and porcelain tiles weigh less than 20kg/m².

For further information on tiling consult the BRANZ *Good Practice Guide – Tiling*.



FLEXIBLE SHEET VINYL – SHOWERS AND OTHER WET AREAS

- GIB Aqualine® is a suitable substrate for flexible vinyl wall finishes in wet areas of residential, commercial or institutional buildings
- Framing requirements and installation procedures for the GIB Aqualine® substrate shall be as per page 10 or 11, except that the lining gap at the floor should be reduced to 5mm when a pencil cove detail is used
- The installation of galvanised steel reinforcing angles (32 x 32 x 0.55mm) behind internal GIB Aqualine® corners is recommended for sheet vinyl applications in showers or shower over bath situations (see illustration page 14)
- The GIB Aqualine® lining must be jointed and stopped to a paint quality finish (Level 4) – trowel marks can telegraph through even a commercial grade 2mm vinyl
- A commercial grade vinyl is recommended for the wall finish in commercial or institutional bathrooms and showers
- In areas directly exposed to liquid water, all joints in flexible sheet vinyl must be heat welded
- Installation of the flexible vinyl must be carried out strictly in accordance with the specifications provided by the suppliers/manufacturers of the vinyl.

RIGID SHEET SHOWER LININGS

- The manufacturers/suppliers of thin (usually 2-3mm) and rigid acrylic shower linings commonly recommend direct adhesive fixing to wall linings using solvent-based adhesives
- Water temperature changes will cause movement of the thin acrylic sheet, which in turn will stress the adhesive and wall lining substrate
- **Do not pre-seal or paint** areas which are to be covered by the rigid shower linings
- The wall surface must be free of dust before installation of the lining
- Suppliers of rigid sheet acrylic shower linings recommend a minimum of 24 hours for the adhesive to cure fully prior to the shower being put into service
- Care must be taken to ensure that rooms are adequately ventilated and the adhesive is fully cured before the shower is used
- Consult the manufacturer/supplier of the shower lining for full installation details.

RENOVATIONS

Bathrooms, kitchens and laundries are the most renovated rooms in the house, partly due to fashion considerations and partly because of damage sustained by ingress of water and moisture within those spaces.

In most cases when renovating these rooms it is often easier and more cost-effective to remove the existing linings and replace them with GIB Aqualine®. This allows for a completely new start in the room and offers sound substrates for new surfaces such as tiling and painting, where otherwise flaking paint or damaged plasterboard may compromise good and sound finish or practice.

At the very least re-lining will:

- Allow for inspection of framing where damage may have occurred and provide the opportunity to repair such damage
- Allow plumbing and electrics to be checked and altered or replaced where required
- Provide the opportunity to install thermal and acoustic insulation and water resistant linings where appropriate
- Make the job easier.

MAINTENANCE

Lack of maintenance is frequently the cause of premature and often very expensive failure of components and building elements within wet areas.

It is important to regularly inspect and repair any potential problem before it becomes a major problem and expensive to reinstate.

Good maintenance should include:

- Ongoing ventilation. At the very least, good passive ventilation (e.g. window vents); but good active ventilation (e.g. extraction fans) of an appropriate size for the room is recommended
- Impervious coatings and surfaces should be checked for wear and damage and maintained and recoated before ingress of water to the substrate occurs
- Regular cleaning with appropriate cleaners so that build-up of matter, such as mould, is well controlled
- Sealants at junctions and penetrations should be checked for adhesion on a regular basis and replaced where adhesion failure to substrates occurs
- Where pipe leaks have become evident, however small, they should be repaired promptly and any area around such leaks dried out completely before any other repairs are carried out.



High-rise and commercial wet areas can generally be divided into four separate categories:

HIGH-RISE APARTMENTS AND INTERTENANCY

Wet areas in apartment complexes are generally covered by Clause E3 of the NZBC and will have the same requirements as shown for residential applications. However, apartment buildings will also involve intertenancy walls requiring noise control and fire resistance.

Generally, noise control and fire resistance are the first consideration and then the water resistance is added to those systems.

For noise control, GIB Aqualine® can substitute for the equivalent thickness GIB® Standard plasterboard or GIB Fyrelite®.

For fire resistance, GIB Aqualine® can substitute for GIB Fyrelite® of equivalent thickness.

In all cases the prescribed noise control or fire resistance system specifications must be followed completely as presented in the GIB® publications *GIB® Noise Control Systems* and *GIB® Fire Rated Systems*.

Refer to typical details on page 25.

The NZBC for intertenancy calls for special consideration to be given to preventing water from travelling from one tenancy to another. This calls for a waterproof membrane to all wet area floors with upstands to walls and the inclusion of floor wastes.

It is important to avoid penetrations such as taps, shower roses, etc. in intertenancy walls as this will compromise fire and noise ratings.

OFFICE, WORKPLACE AND SCHOOLS

These wet areas are generally no different in requirements to those shown in this publication or those of high-rise apartments, and are treated in the same manner.

As there is often a higher impact requirement in commercial applications, 13mm GIB Aqualine® is the minimum thickness recommended.

These areas are often finished in sheet vinyl or ceramic tiles and GIB Aqualine® is an ideal substrate, particularly in the case of sheet vinyl where a high quality finish is required to minimise telegraphing of imperfections in the substrate.

HEALTHCARE AND HOSPITALS

This industry will generally have special requirements for wet areas. GIB Aqualine® will generally satisfy specific design needs in healthcare facilities and in particular is an ideal substrate for the preferred finish of sheet vinyl.

PUBLIC AMENITIES AND SPORTS CLUBS

Public amenities and sports clubs often have a high demand for impact resistance, therefore 13mm GIB Aqualine® should be used, and suitable impact resistant wall coverings considered, such as heavy duty sheet vinyl or ceramic tiles over waterproof membrane to 1200mm high.

Also full consideration should be given to the usage of the amenity and whether high pressure or chemical cleaners will be used or if the amenity may be subject to vandalism.

Because of extreme humidity and presence of chemicals, GIB Aqualine® is not suitable for enclosed swimming pool areas.

Contact the GIB® Helpline on 0800 100 442 for further assistance.

GIB AQUALINE® WET AREA SYSTEMS – FRAMING AND LINING INSTALLATION

MARCH 2007 Non-tiled Walls – Timber Framing

If bracing, noise control or fire rating considerations exist, consult the relevant GIB® technical publication, e.g. *GIB® Fire Rated Systems*, *GIB® Noise Control Systems*, *GIB® Bracing Systems*, for the appropriate information.

Wall Framing

Framing dimensions must comply with the requirements of NZS 3604:1999.

- The moisture content of timber framing shall be 18% or less at the time of lining
- Studs shall be spaced at 600mm centres maximum for both 10mm and 13mm GIB® plasterboard
- Nogs to be evenly spaced with a maximum spacing of 1350mm. Alternatively, nogs may be staggered 150mm maximum either side of a horizontal joint line
- Nogs are not required behind horizontal joints except in shower situations or specific fire or noise control systems.

Fasteners

- 10mm GIB Aqualine® – minimum 25mm x 6g GIB® Grabber® High Thread Drywall Screws or 30mm x 2.8mm GIB® Nails
- 13mm GIB Aqualine® – minimum 32mm x 6g GIB® Grabber® High Thread Drywall Screws or 30mm x 2.8mm GIB® Nails.

Fastener Centres

- 300mm centres to top and bottom plates and to perimeter studs
- Single fasteners to each stud where the horizontal joint crosses the studs
- Place fasteners 12mm from sheet edges
- Daubs of GIBFix® adhesive at 300mm centres to intermediate studs
- Do not place adhesive at sheet edges or under fasteners. Sheet edges at door or window openings can be adhesive fixed unless forming part of the perimeter of a bracing element.

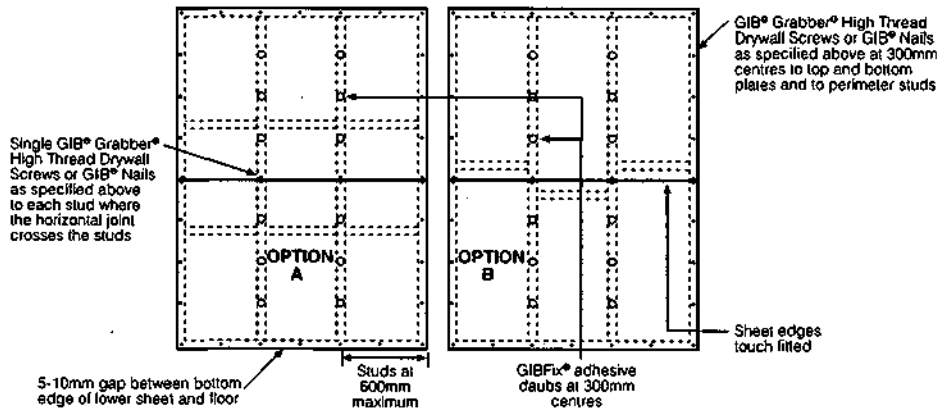
Lining

- Install the sheets leaving a 5-10mm gap at the floor line to allow for movement of the framing members and to allow for cleaning dirt and rubbish before sealing
- Sheets to be touch fitted.

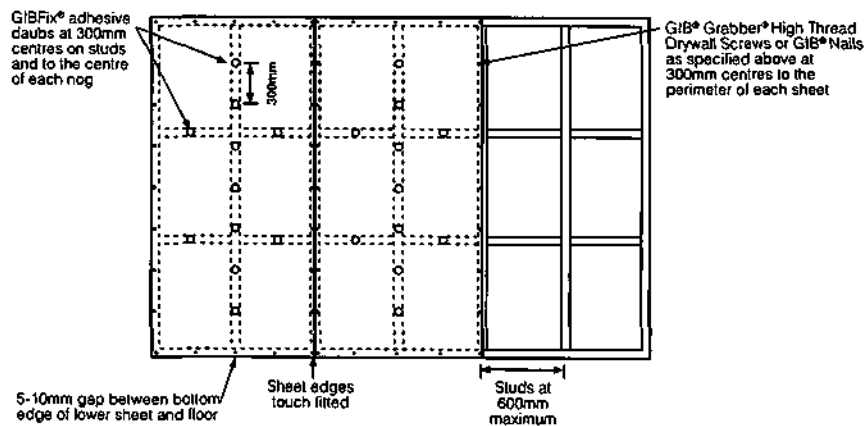
Jointing

- Jointing shall be carried out in accordance with the instructions in the *GIB® Site Guide*; GIB® AquaMix is recommended for the first two coats.

Fastening the Linings – Horizontal Fixing Only



Fastening the Linings – Vertical Fixing Only



GIB AQUALINE® WET AREA SYSTEMS – FRAMING AND LINING INSTALLATION



Non-tiled Walls – Steel Framing

MARCH 2007

The minimum sheet thickness for fixing on light gauge steel framing is 13mm GIB® plasterboard.

Steel framing for residential construction is by specific design.

If noise control or fire rating considerations exist, consult the relevant GIB® technical publication (e.g. *GIB® Fire Rated Systems* or *GIB® Noise Control Systems*) for the appropriate information.

Wall Framing

- Steel stud dimensions to be minimum 63 x 34 x 0.55mm nominal with a 6mm return
- Steel channel dimensions to be minimum 63 x 30 x 0.55mm nominal
- Studs shall be spaced at 600mm centres maximum
- Ensure that the studs are placed with the open side facing in the same direction (see *GIB® Site Guide*).

Fasteners

- 25mm x 6g GIB® Grabber® Self Tapping Drywall Screws.

Fastener Centres

- 300mm centres to top and bottom channels and to end studs
- Single screws to each stud where the horizontal joint crosses the studs
- Place fasteners 12mm from sheet edges
- Daubs of GIBFix® All-Bond adhesive OR screws at 300mm centres to intermediate studs
- Do not place adhesive at sheet edges or under fasteners. Sheet edges at door or window openings can be adhesive fixed.

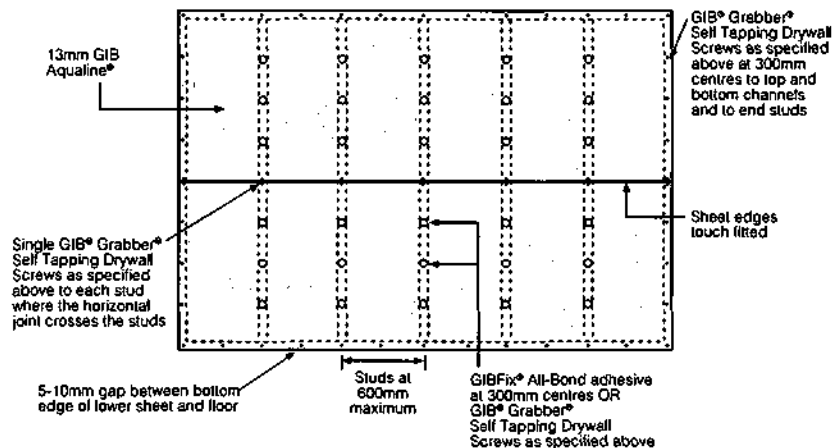
Lining

- Lay the sheets, leaving a 5-10mm gap at the floor line.
Note: If friction fitted steel studs have been used, sheets must be fitted hard to the floor. Ensure floor is cured and dry
- Sheets to be touch fitted.

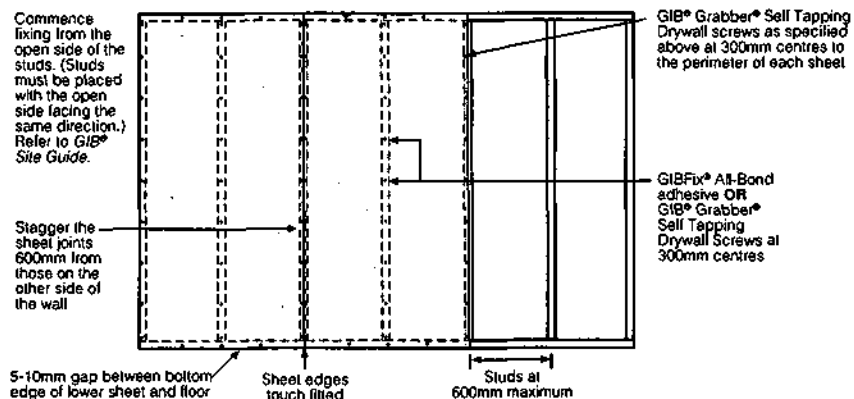
Jointing

- Jointing shall be carried out in accordance with the instructions in the *GIB® Site Guide*. GIB® AquaMix is recommended for the first two coats.

Fastening and Jointing the Linings – Horizontal Fixing



Fastening and Jointing the Linings – Vertical Fixing



GIB AQUALINE® WET AREA SYSTEMS – FRAMING AND LINING INSTALLATION



Tiled Walls

MARCH 2007

Important: See page 6 and 7 for waterproof membrane requirements.

Wall Framing

Framing dimensions and spacing must comply with the requirements of NZS 3604:1999 or relevant NZ Standard.

- Prior to lining in tiled areas (shower cubicles and shower over bath only) the internal corners shall be reinforced with a minimum 32 x 32 x 0.55mm galvanised metal angle. Each side of the angle shall be fastened to the framing with 30mm galvanised clouts at 300mm centres
- Steel stud systems do not generally require nogs except as below:
 - Adjacent to each pipe penetration and behind sink and tub flashings
 - Between all studs above bath flanges and preformed shower bases
- For impact protection in shower cubicles or shower over bath situations it is important that all sheet joints are made on solid framing. This may require either vertical fixing of the GIB Aqualine® or the installation of some additional nogs.

Fasteners

- For 10mm GIB Aqualine® use minimum 25mm x 6g GIB® Grabber® Drywall Screws
- For 13mm GIB Aqualine® use minimum 32mm x 6g GIB® Grabber® Drywall Screws.

Fastener Centres

- GIB® Grabber® Drywall Screws at 100mm centres to perimeter of wall and to all intermediate studs
- Adhesive is not to be used in place of mechanical fastenings.

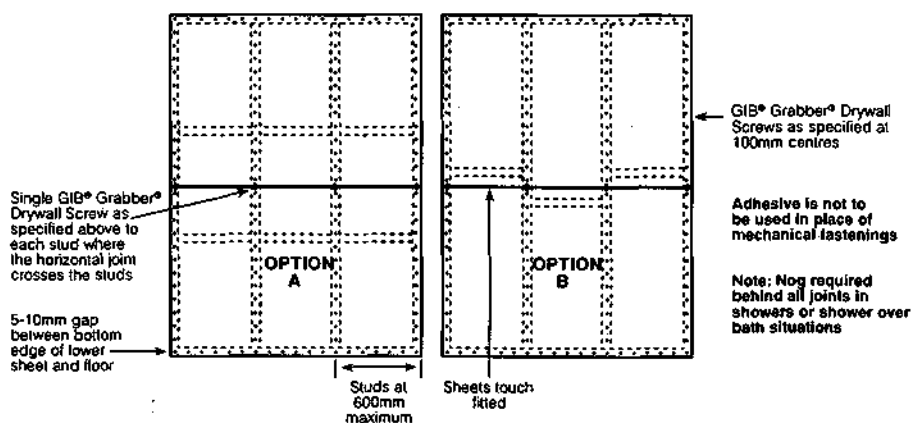
Lining

- 10mm or 13mm GIB Aqualine® is suitable for use on timber framing and for tile weights up to 20kg/m²
- 13mm GIB Aqualine® must be used for tile weights between 20 and 32kg/m² and when light steel framing has been used
- GIB Aqualine® may be fixed vertically or horizontally
- Provide a 5-10mm gap at the wall/floor junction
- Provide a 5-10mm gap between the bottom edge of the GIB Aqualine® and any bath rim or preformed shower base to allow for placement of sealant
- GIB Aqualine® sheets shall be touch fitted
- Where the framing or fastener centres required for tiled areas are closer than those specified for GIB® Fire Rated and GIB® Noise Control Systems, the tiling specification shall prevail. Where relevant, check that fastener lengths comply with the requirements of GIB® Fire Rated Systems or GIB® Noise Control Systems.

Jointing

- Jointing shall be carried out in accordance with instructions in the *GIB® Site Guide*
- Water resistant GIB® AquaMix is recommended for the first two coats
- No top coat is required.

Fastening the Linings – Horizontal Fixing in Tiled Areas



Note:

GIB Aqualine® is suitable for tiling to full height of walls, but if a wall is to be partially tiled (i.e. half high), only the area of wall under the tiles needs to be fixed as above. The remainder of the wall may be fixed as for non-tiled area (see page 10 & 11).

GIB AQUALINE® WET AREA SYSTEMS – FRAMING AND LINING INSTALLATION



Ceilings

MARCH 2007

Ceiling Framing

Framing dimensions and spacing must comply with the requirements of NZS 3604:1999 or relevant NZ Standard. If bracing, noise control, fire rating considerations exist consult the relevant GIB® publication for appropriate information.

Fasteners

- Steel battens – 25mm x 6g GIB® Grabber® Self Tapping Drywall screws
- Timber battens or Joists – 32mm x 6g GIB® Grabber High Thread Drywall screws.

Adhesives

- Steel battens – GIBFix® All-Bond
- Timber battens – GIBFix® Wood Bond (not suitable for LOSP treated timber).

Fasteners Centres

- Single screws to the edges and centre of the sheets across each batten
- Screws to be 12mm from sheet edges
- Daubs of adhesive at 200mm centres between the screws
- Do not place adhesive at sheet edges or under fasteners, this may lead to screw or nail pops.

Lining

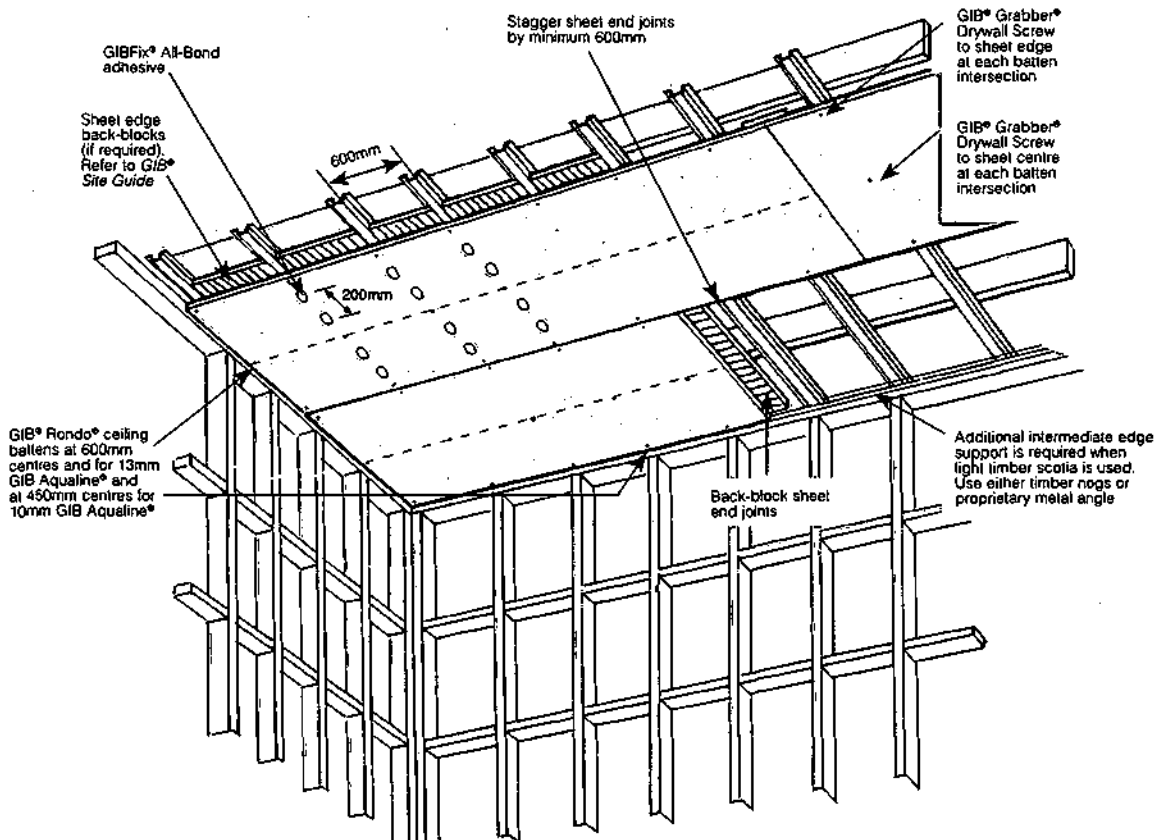
- The lining shall be fixed at right angles to the battens or joists
- Commence fixing from the centre of the sheets outwards
- Sheets to be touch fitted
- Use long length sheets to minimise sheet end butt joints
- Back-block sheet end butt joints
- See GIB® Site Guide for sheet edge backblocking requirements.

Batten Spacings

- 13mm GIB Aqualine® plasterboard – 600mm centres max
- 10mm GIB Aqualine® plasterboard – 450mm centres max.

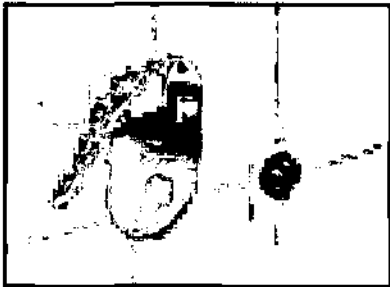
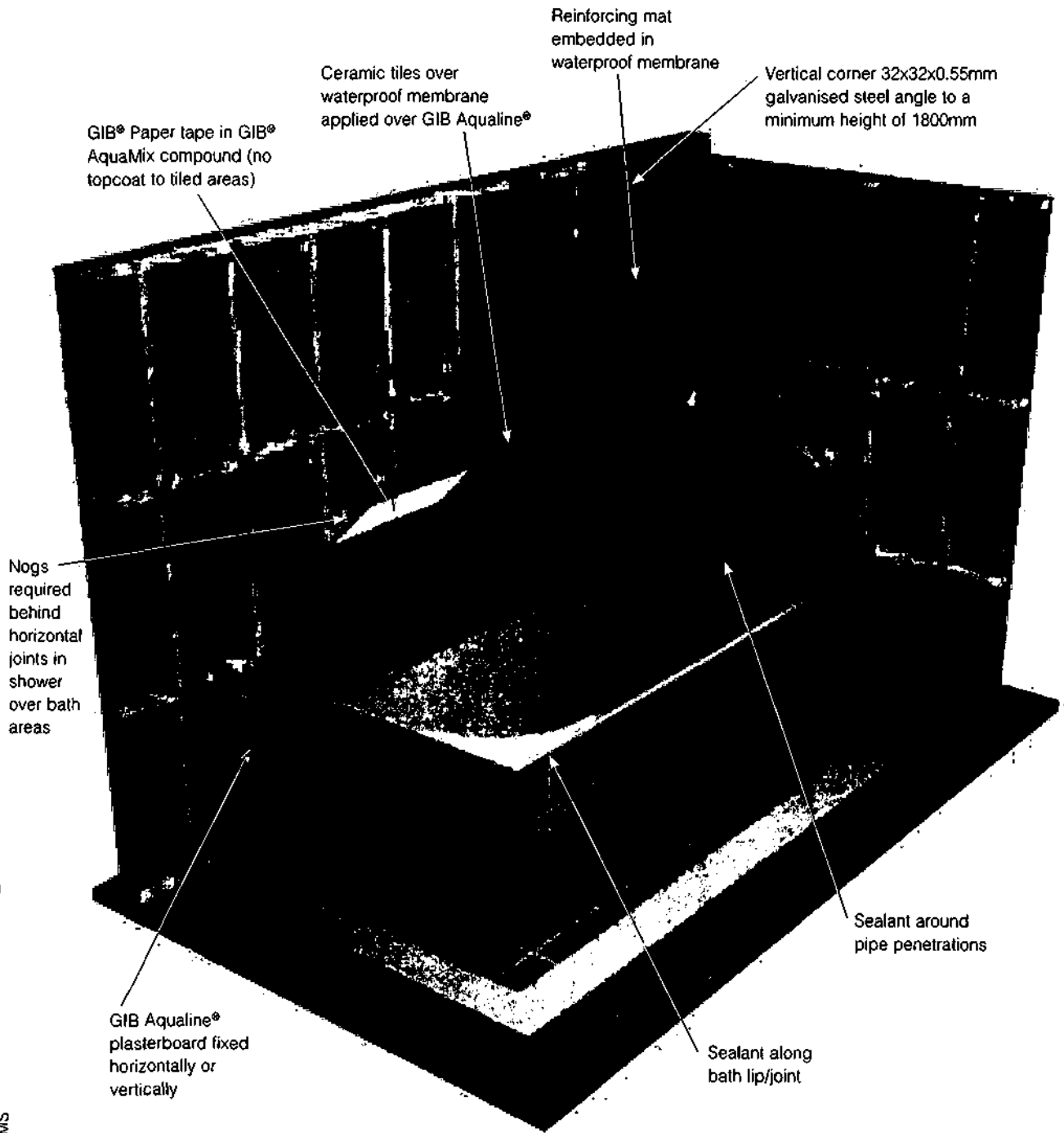
Jointing

- All sheet joints must be paper tape reinforced and stopped in accordance with instructions in the GIB® Site Guide. Water resistant GIB® AquaMix is recommended for the first two coats.
- Do not fix tiles to GIB® plasterboard ceilings.



GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

GIB Shower Over Bath – Tiled Walls MARCH 2007



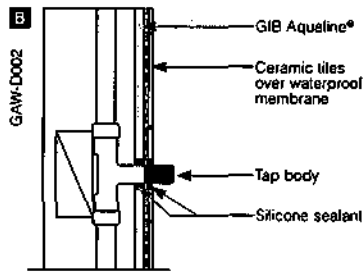
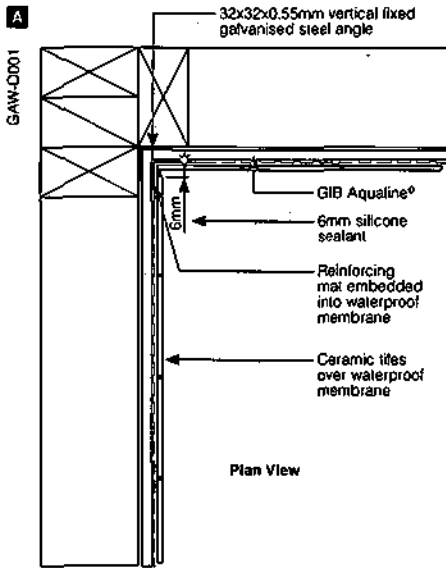
Run a bead of silicone sealant around the mixer unit on the tiles extending below the bottom of the pipe aperture.

For typical details, see the following pages.

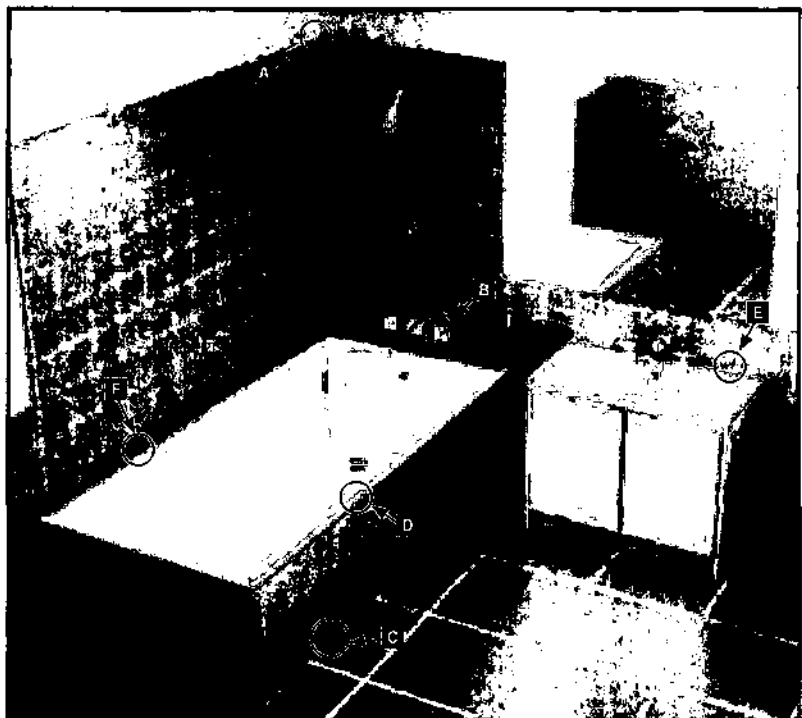
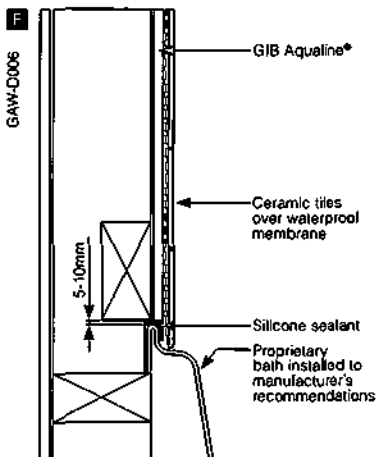
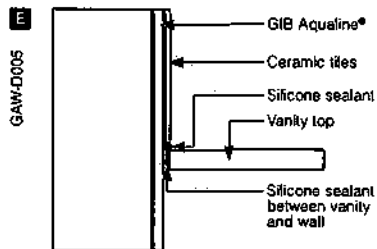
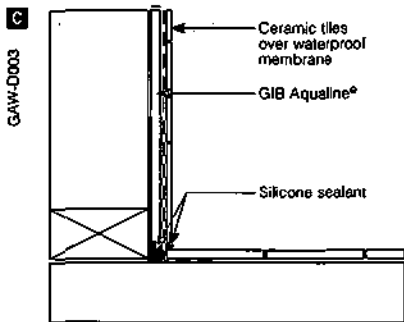
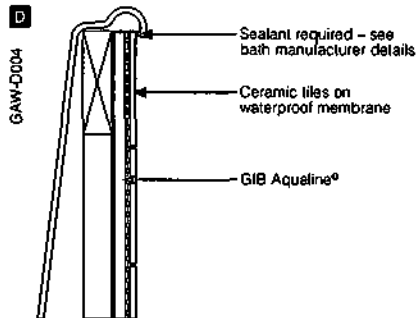
GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

Shower Over Bath - Tiled Walls

MARCH 2007



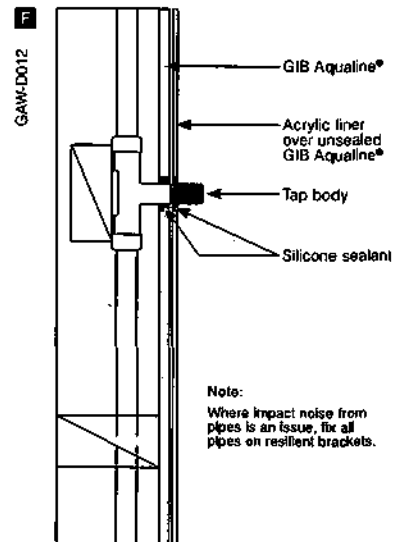
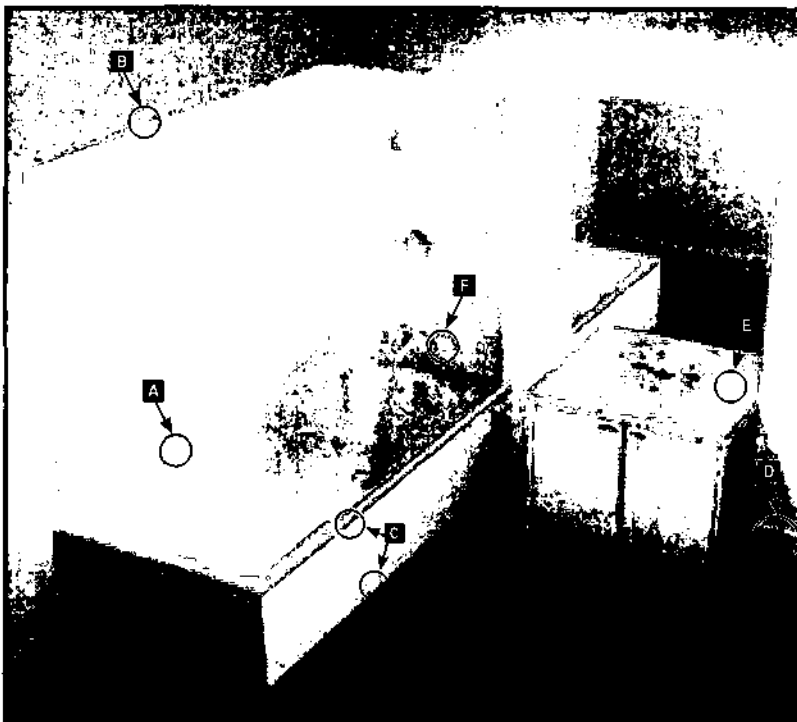
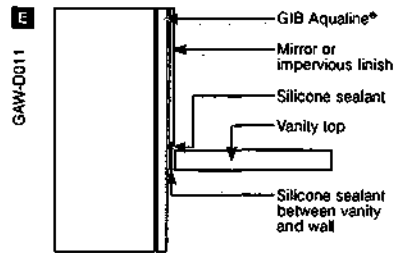
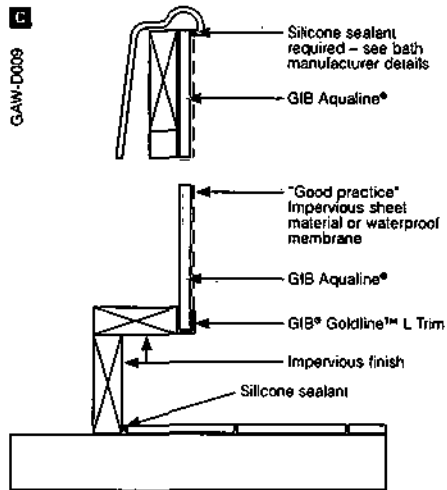
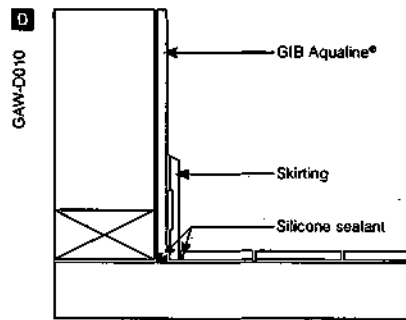
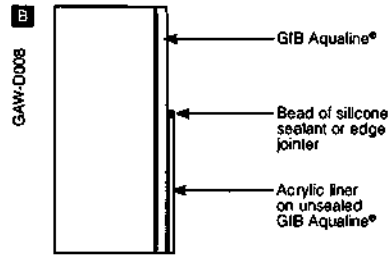
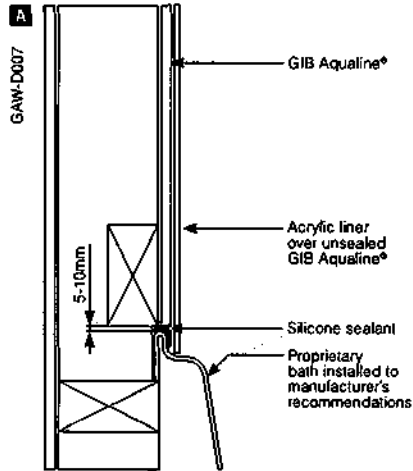
Note:
Where impact noise from pipes is an issue, fix all pipes on resilient brackets.



GIB AQUALINE® WET AREA SYSTEMS - TYPICAL DETAILS

Shower Over Bath - Acrylic Liner

MARCH 2007

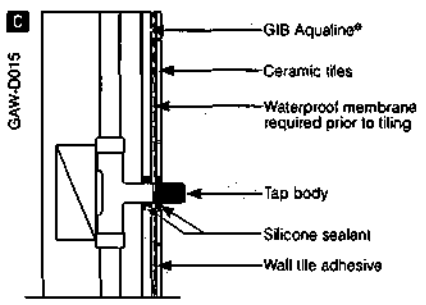
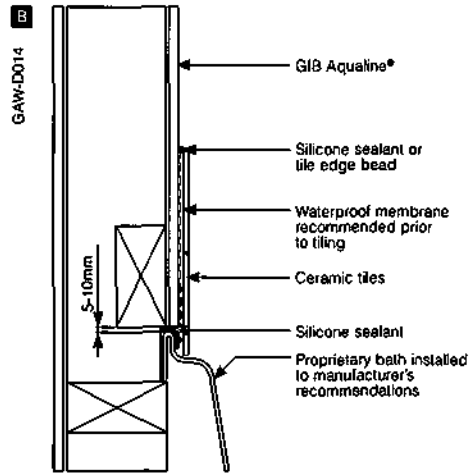
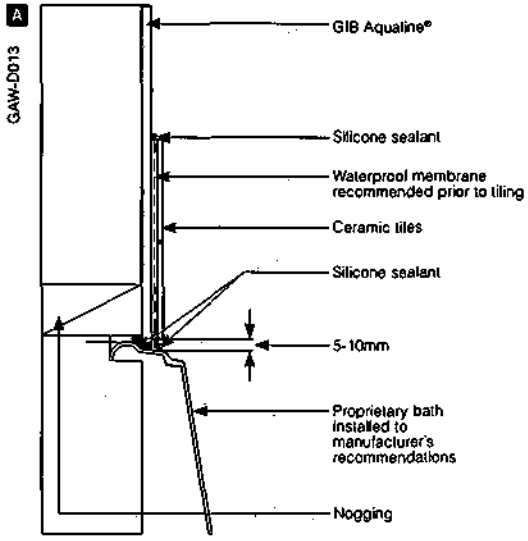


GIB AQUALINE® WET AREA SYSTEMS - TYPICAL DETAILS

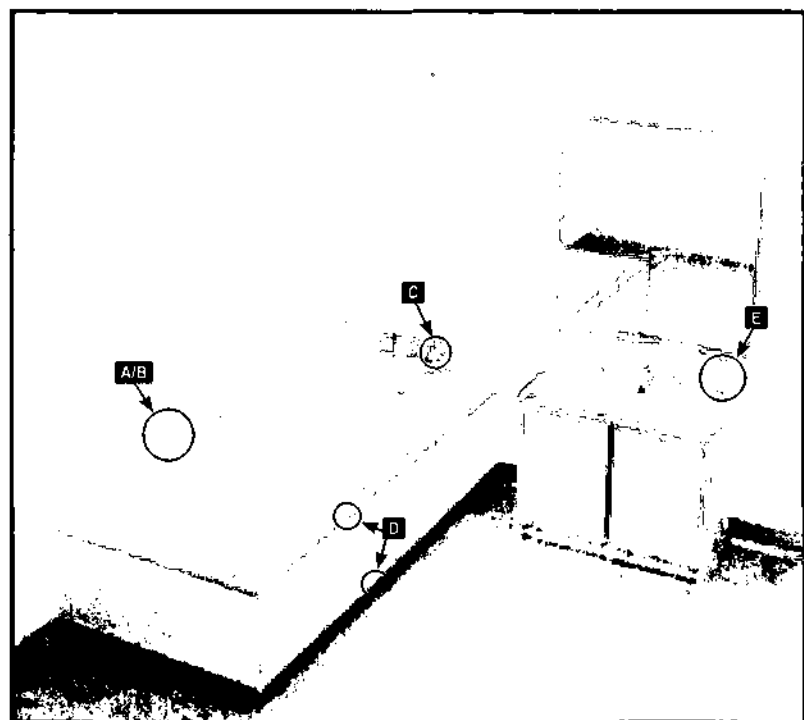
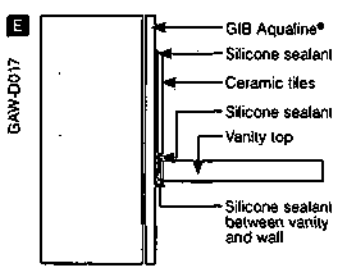
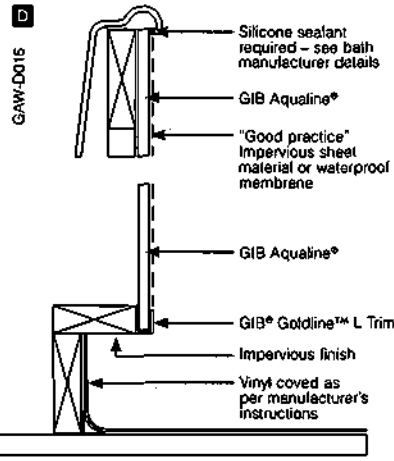


Bath - Tiled Upstand

MARCH 2007

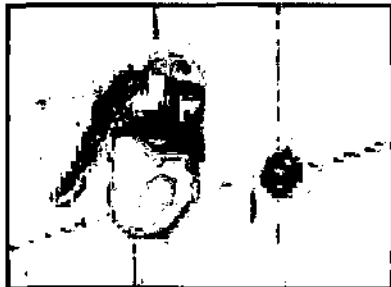
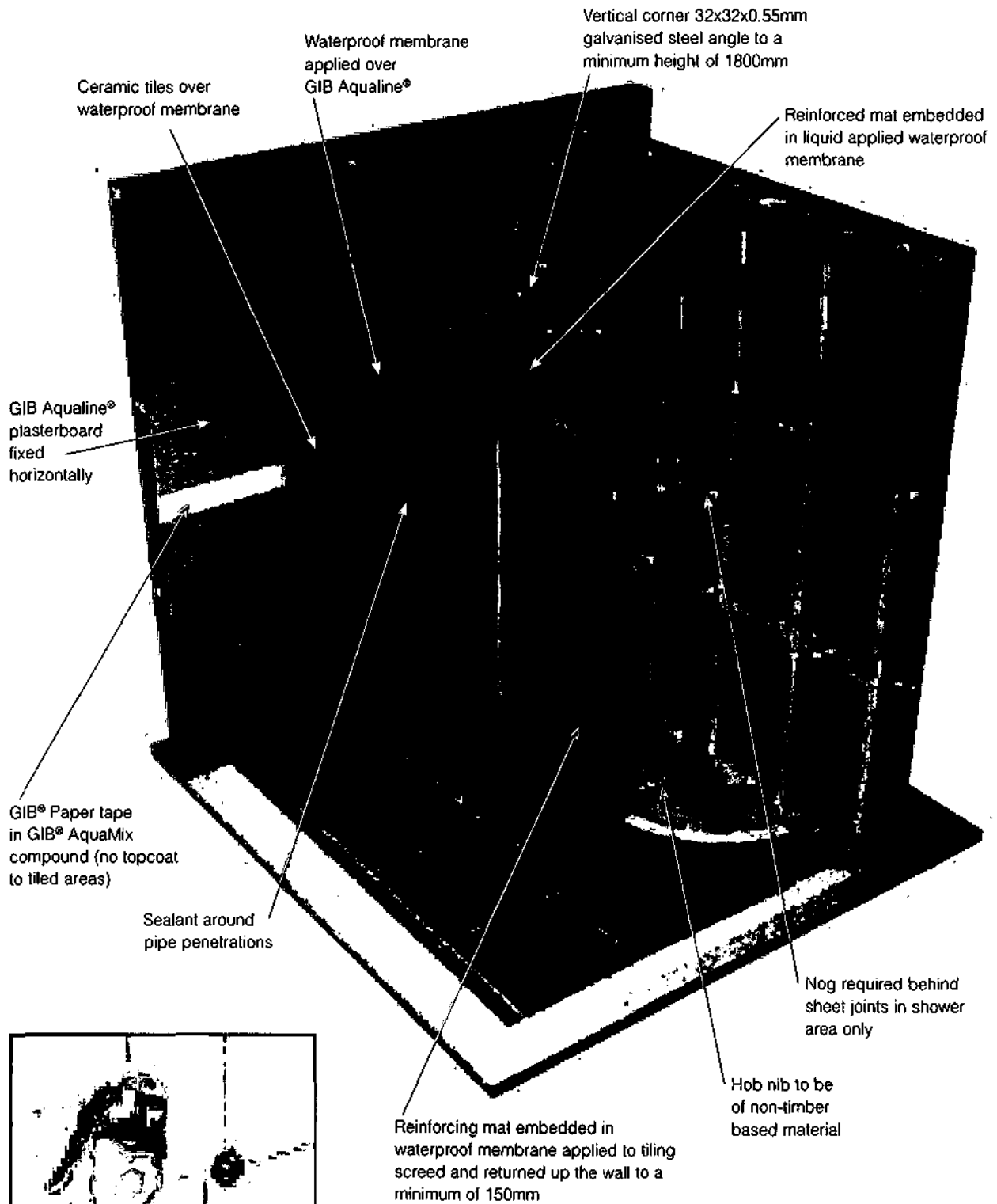


Note:
Where impact noise from pipes is an issue, fix all pipes on resilient brackets.



GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

	<h2>Shower – Tiled Walls and Base</h2>	<p>MARCH 2007</p>
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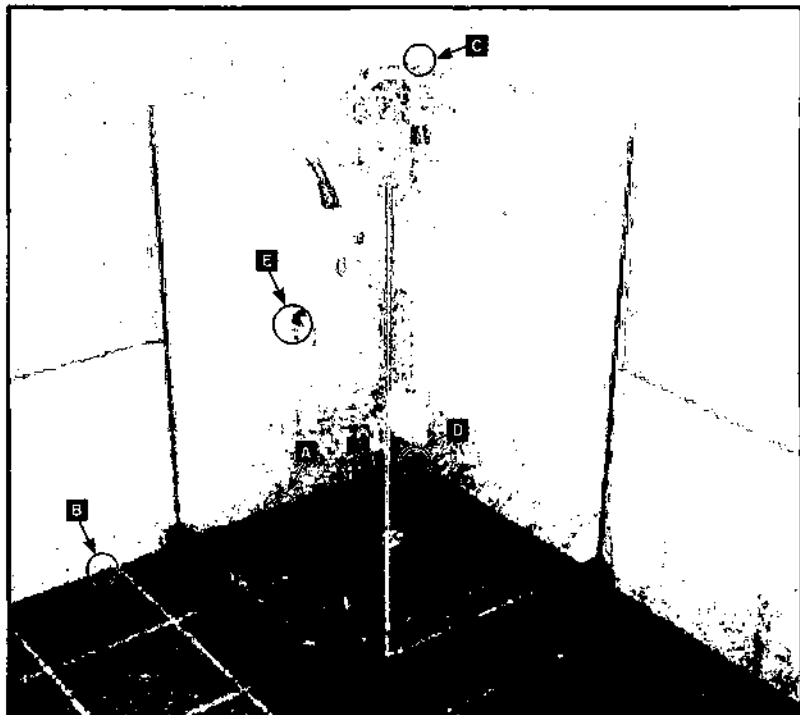
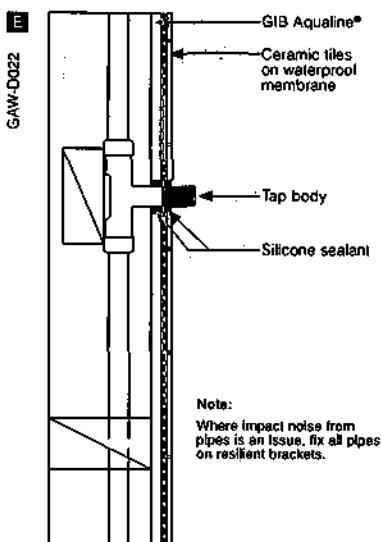
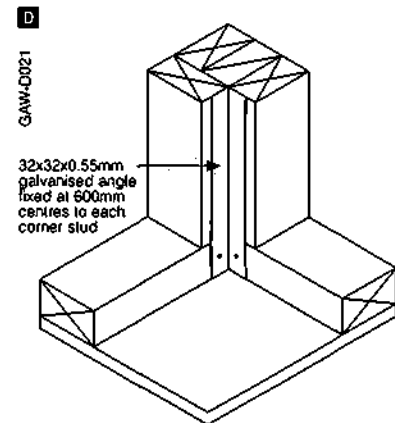
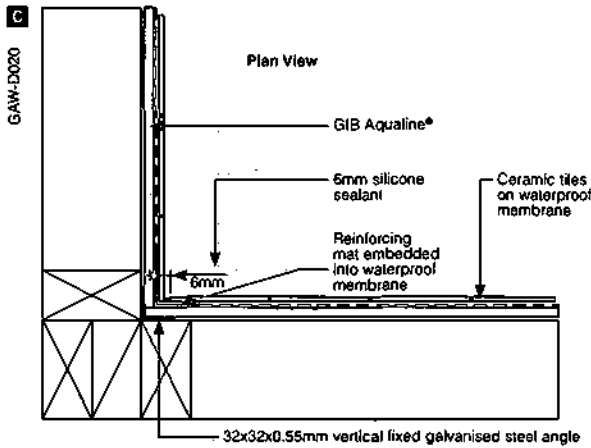
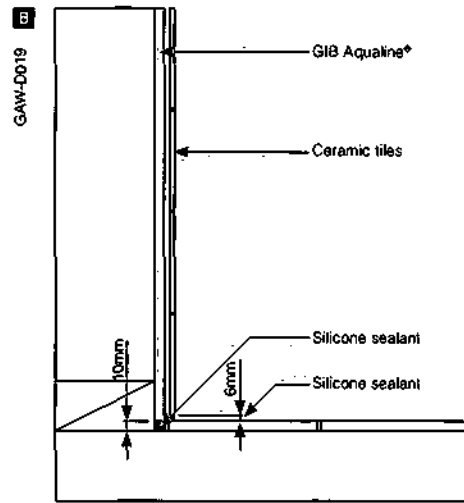
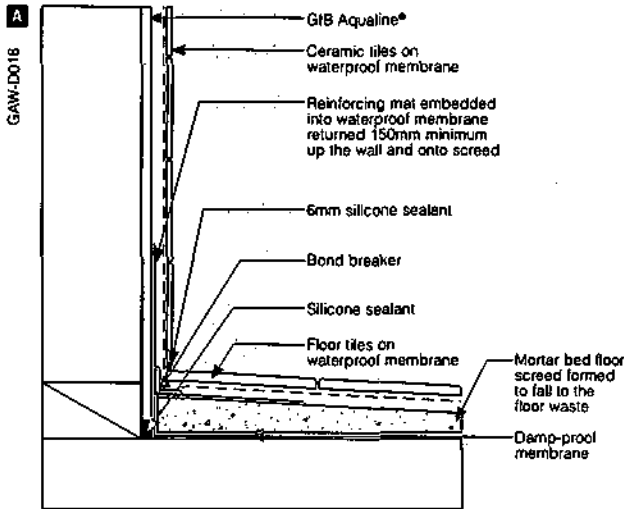
Run a bead of silicone sealant around the mixer unit on the tiles extending below the bottom of the pipe aperture.

For typical details, see the following pages.

GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

Shower – Tiled Walls and Base

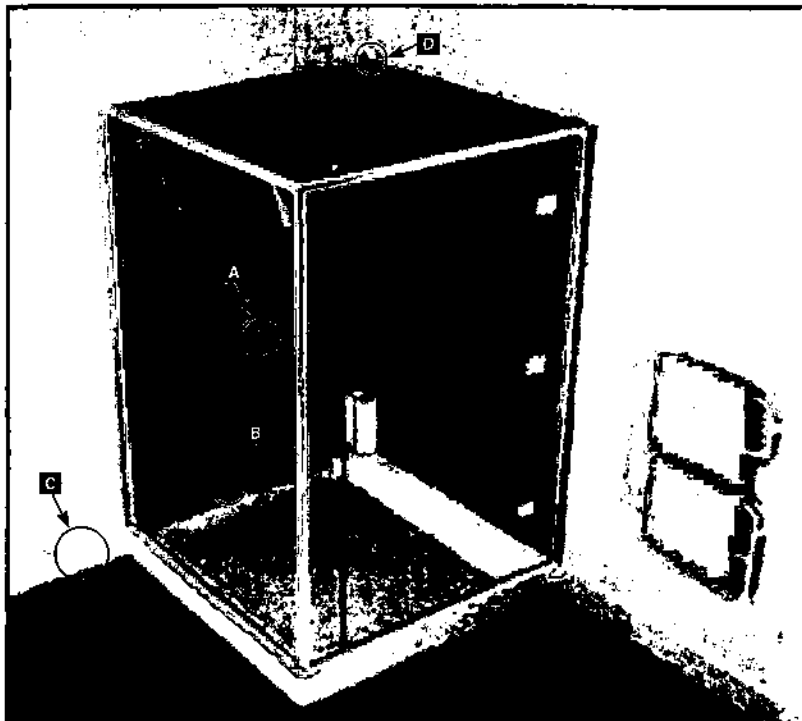
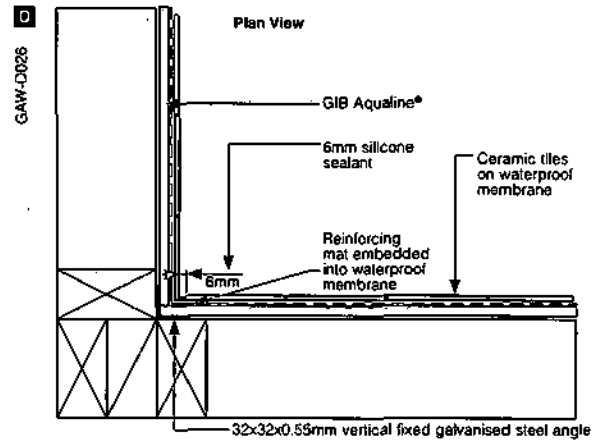
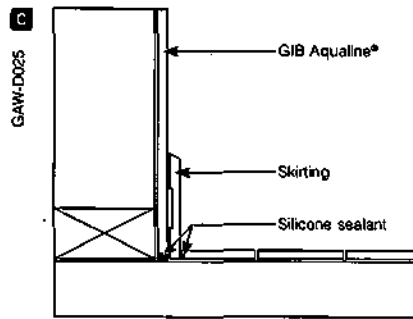
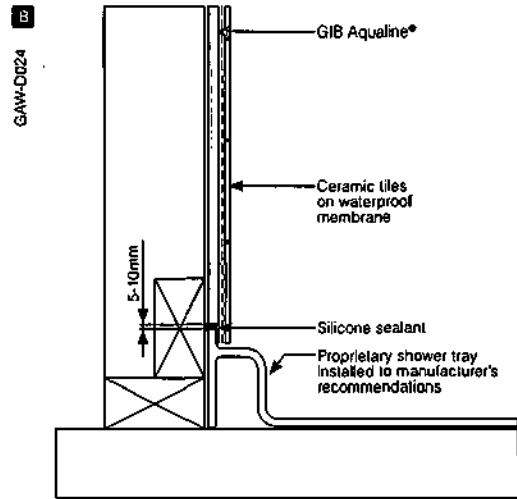
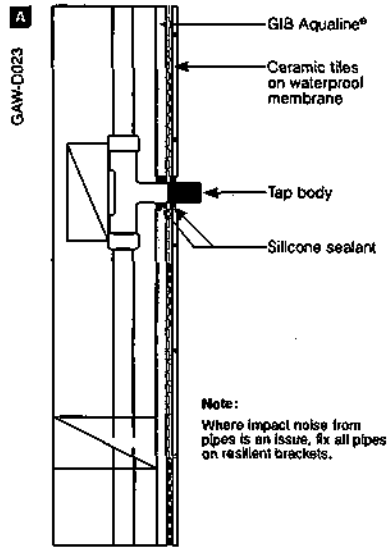
MARCH 2007



GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

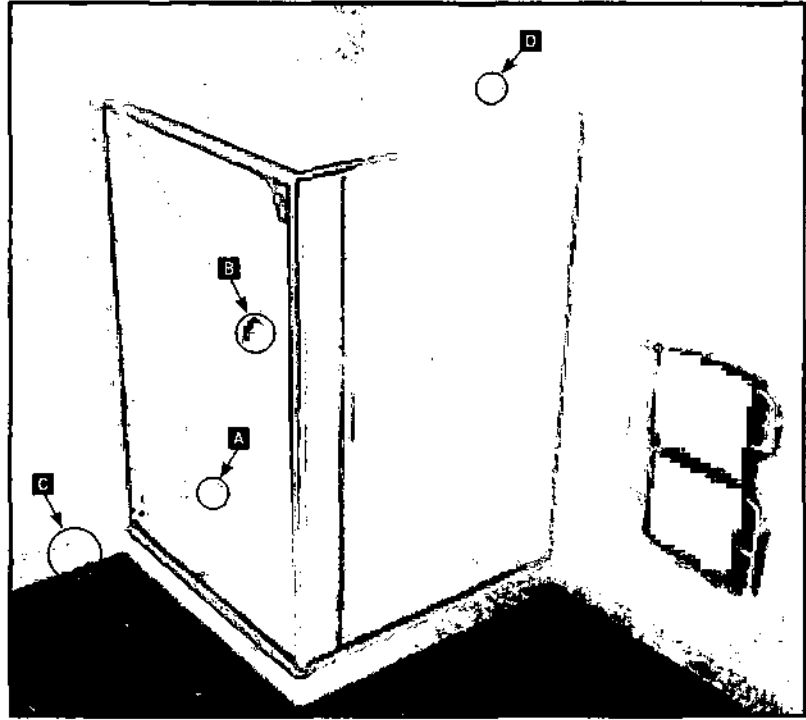
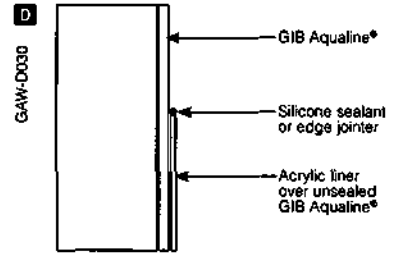
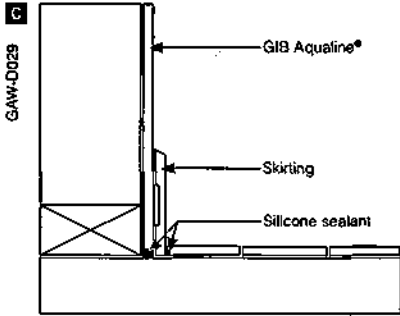
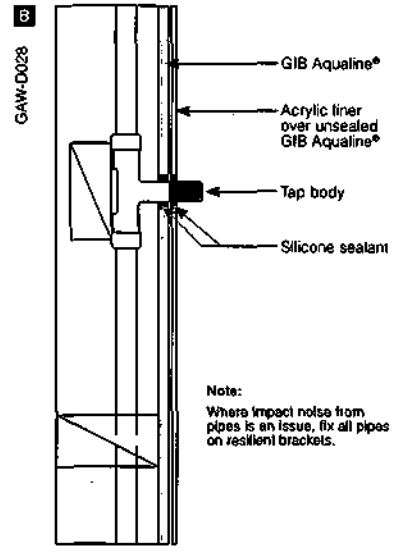
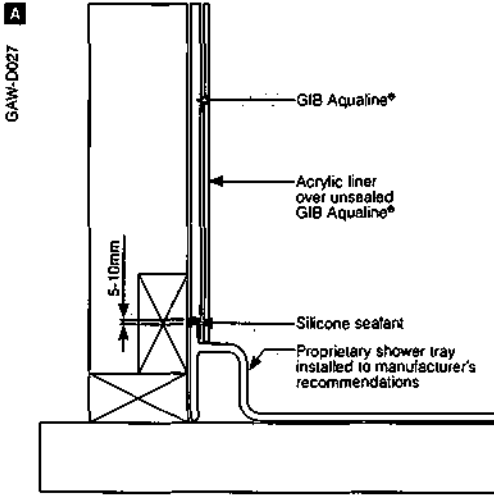
Shower - Tiled Walls and Acrylic Base

MARCH 2007

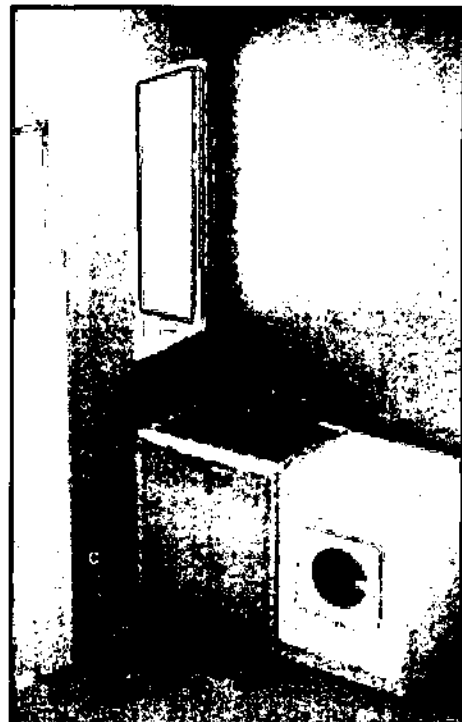
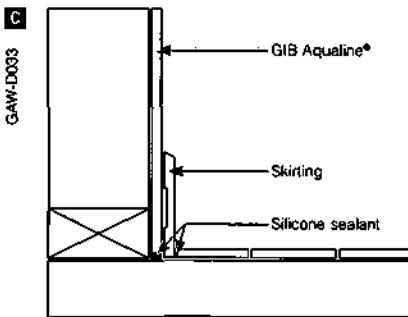
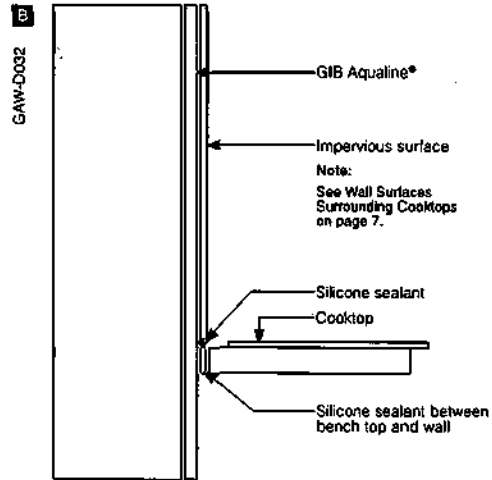
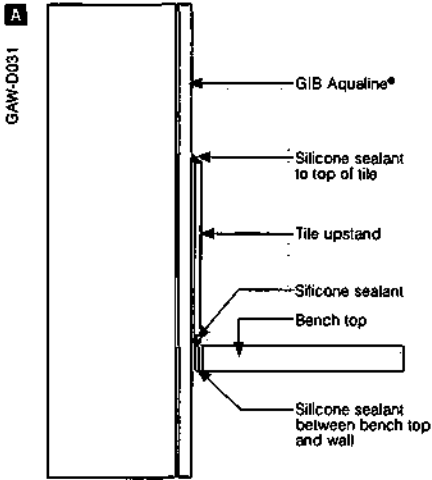


GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

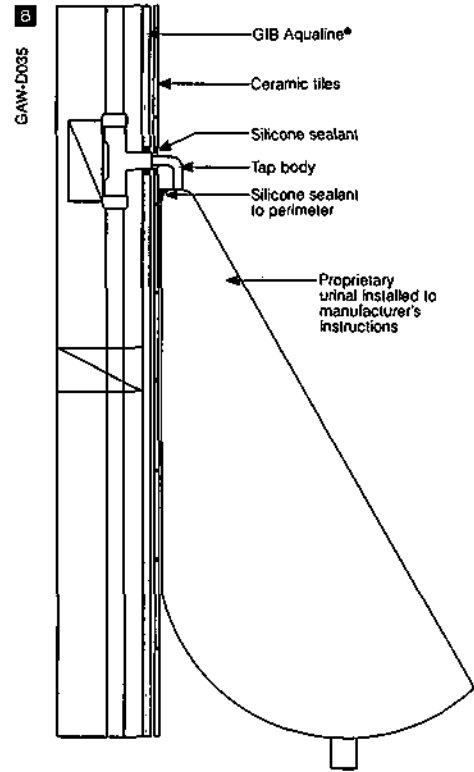
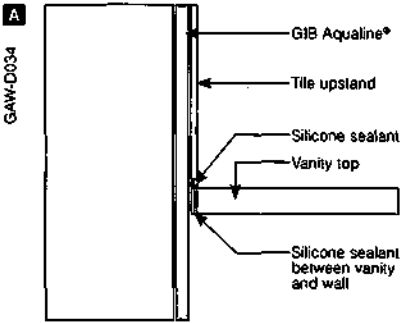
GIB Shower - Acrylic Liner and Base MARCH 2007



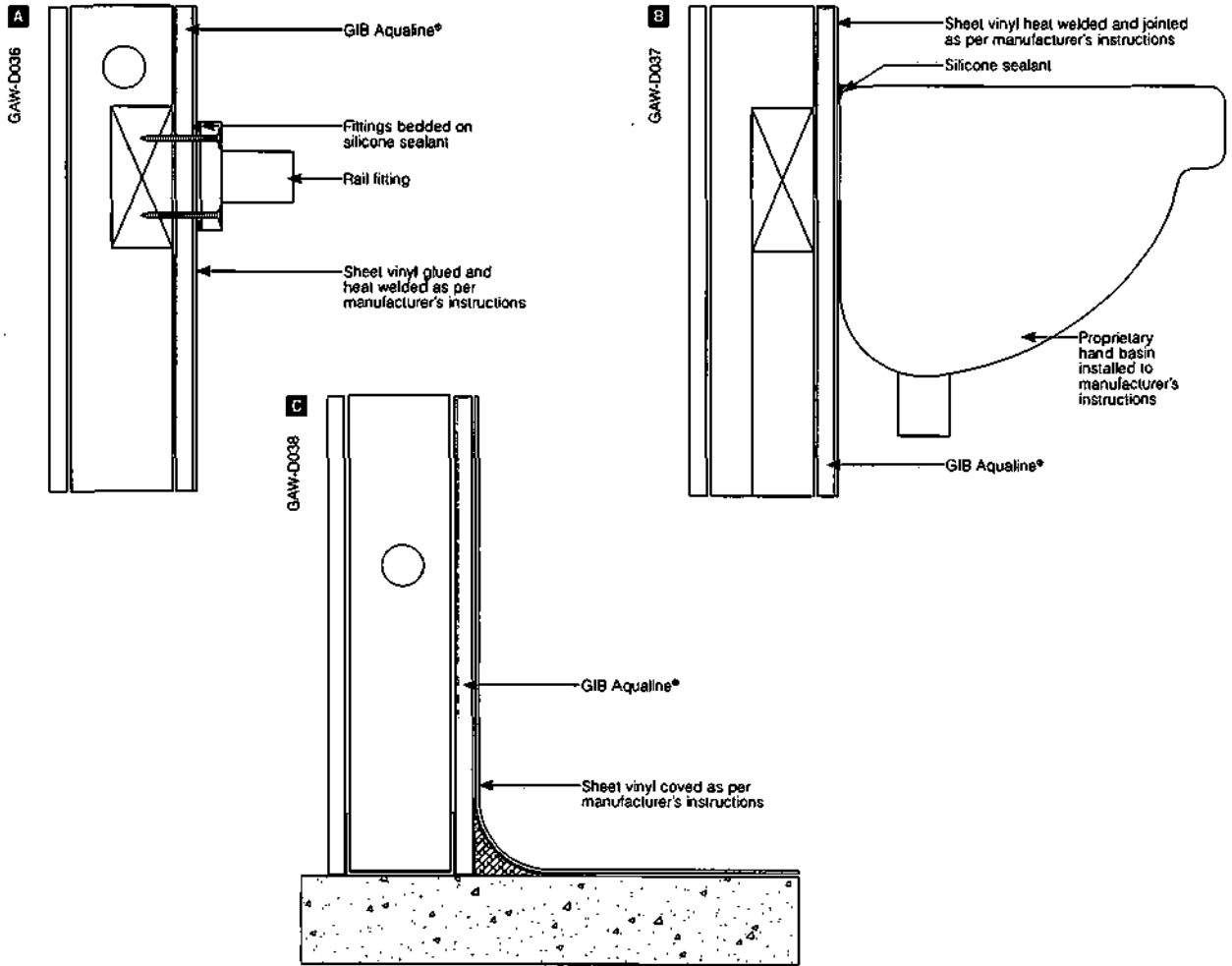
GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS



GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS



GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS



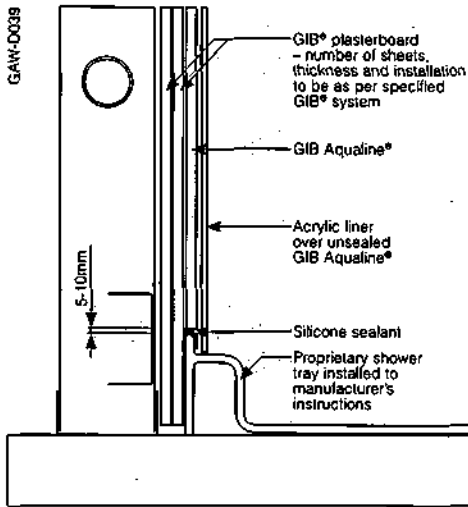
GIB AQUALINE® WET AREA SYSTEMS - TYPICAL DETAILS



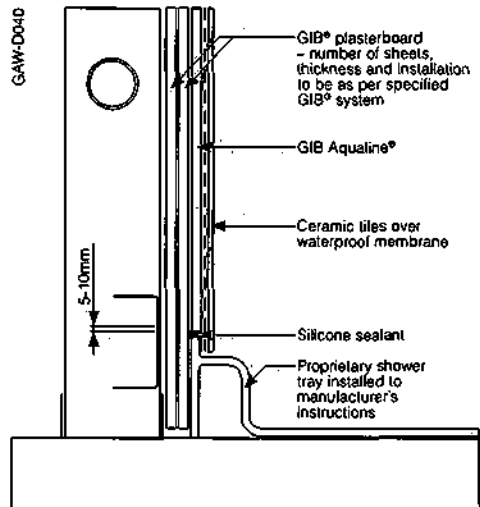
Fire Rated and Noise Control

MARCH 2007

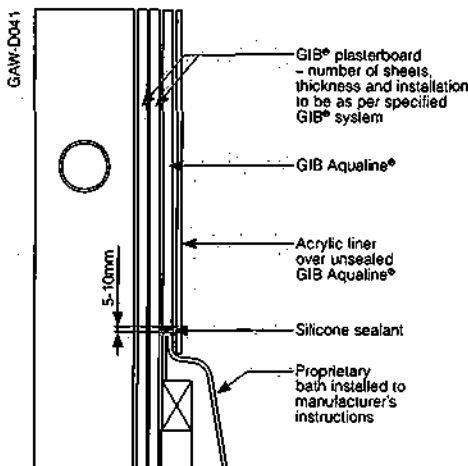
Shower – Acrylic Liner



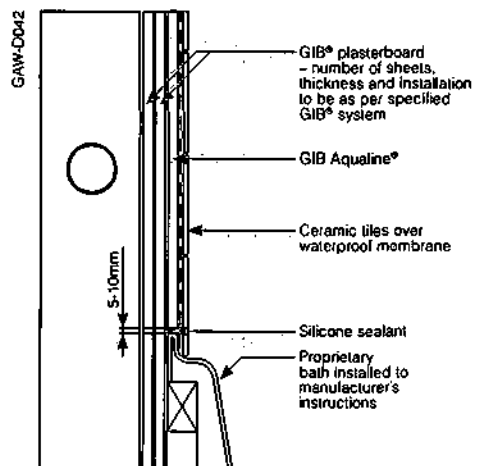
Shower – Tiled Walls



Shower Over Bath – Acrylic Liner



Shower Over Bath – Tiled Walls



GIB Aqualine® Fire Resistance and Noise Control Performance

When GIB Aqualine® is substituted into GIB® Fire Rated systems in place of the equivalent thickness GIB Fyrelite®, the Fire Resistance Rating (FRR) of that system will be maintained.

When GIB Aqualine® is substituted into GIB® Noise Control systems in place of the equivalent thickness GIB® Standard plasterboard or GIB Fyrelite®, the STC and IIC rating of that system will be maintained. When GIB Aqualine® is substituted in place of the equivalent thickness GIB Noiseline®, a small performance loss may occur. For further information contact the GIB® Helpline on 0800 100 442.

GIB AQUALINE® WET AREA SYSTEMS

GIB Specification and Installation Checklist MARCH 2007

Contract ID	
Site Address	
Client Name	
Designer	
Builder	
Plasterboard Installer	
Plasterboard Supplier	
Tiler	
Shower Installer	

DESIGNER	YES	NO	CHECKED BY	DATE
GIB Aqualine® specified for wet areas and appropriate details included on plans?				
Are tiled areas clearly shown on plans?				
Is area requiring waterproof membrane clearly shown on plan?				
Is the waterproof membrane required to be installed by a licensed applicator? If so, is this noted on the documentation?				
No bracing behind shower or bath?				
BUILDER	YES	NO	CHECKED BY	DATE
Galvanised steel angle installed to the internal corners of tiled shower?				
All sheet joints in showers to be made on solid timber. This may require some additional dwangs for horizontal board installation.				
PLASTERBOARD INSTALLER	YES	NO	CHECKED BY	DATE
10mm GIB Aqualine® for tiles up to 20kg per m²?				
13mm GIB Aqualine® for tiles up to 32kg per m²?				
GIB Aqualine® mechanically fastened at 100mm centres when tiles are to be installed?				
All junctions between GIB Aqualine® and walls, floors, baths, showers and other elements are correctly sealed with appropriate sealant?				
Pipe penetrations sealed?				
PLASTERBOARD STOPPER	YES	NO	CHECKED BY	DATE
Air drying compound (e.g. GIB ProMix® or GIB Plus 4®) not to be used on areas to be tiled.				
Recommended that GIB® AquaMix is used in wet areas.				
TILER	YES	NO	CHECKED BY	DATE
Waterproof membrane applied to shower areas prior to tiling?				
SHOWER INSTALLER	YES	NO	CHECKED BY	DATE
GIB Aqualine® walls must not be sealed or painted under where acrylic linings are to be installed.				
Ensure GIB Aqualine® is free from dust before installation of acrylic liners.				
Sealant applied to top edge of acrylic shower linings?				
BUILDER/PLUMBER	YES	NO	CHECKED BY	DATE
Sealant applied under penetration face covers?				

GIB AQUALINE® WET AREA SYSTEMS



The Wet-seal Scope of Works

Wet-seal's Internal Waterproofing System

Wet-seal's mission is to provide our clients with a waterproof system that:

- ✓ *Protects the building to the highest degree from water damage.*
- ✓ *Ensures peace of mind that the relevant building regulations have been adhered to.*
- ✓ *Is fully guaranteed and is the best practice waterproof system available.*
- ✓ *Fully BRANZ appraised.*

Consultation

Wet-seal (Franchisee/Applicator) will consult with you regarding the wet area waterproofing work required, thus ensuring it complies with the New Zealand Building Code (NZBC) and Department of Building and Housing Clause E3 Internal Moisture. Also to ensure all your specific requirements are catered for.

Provide Plans/Drawings

All measurements for quotation will be based on the plans/drawings you have provided. Any variations to this information are to be communicated in writing to Wet-seal.

Site Preparation Prior to Wet-seal Arrival

The area to be waterproofed must be clean and dry with no contaminants.

The structural flooring, substrate, wall sheets must be installed in accordance with the Manufacturers specifications (e.g. minimum wood float finish for concrete or sheeting glued/screwed correctly).

Extra noggins to be installed to allow for increased height of waterproofing if laminated sheeting is being installed.

Provide a work site that meets with the relevant OSH regulations.

Plumbing fittings correctly fitted. Wet-seal must be able to seal onto base fittings not spindle and into flanges or waste pipes.

Duty Of Care - Cure Time & Membrane Protection

Allowing adequate drying time of 48 hours at 25 degrees, allow longer at lower temperatures.

Protect the membrane system from being damaged by others (e.g. Corflute).

If the membrane is not being covered with tiles, vinyl or timber then the Wet-seal membrane must have a suitable approved Wet-seal protective coat applied.

Use adhesives that meet the requirements of AS/4992.2

Tiles to be laid in accordance with BRANZ Good Tiling Practice.

"Your Waterproofing & Underfloor Heating Professionals"

0800 436 000

www.wet-seal.ws



Warranty

Wet-seal will provide an Installation Certificate in a timely manner to the Client.

The Installation Certificate will state the warranty time and lists the work carried out by the Wet-seal Independent Franchisee in accordance with the New Zealand Building Code and Clause E3 requirements.

In the unlikely event of a defect, send an email to technical@wet-seal.ws with your name and contact details or call Wet-seal's Technical Department on 0800 436 000.

Wet-seal will respond with an Information Request Form to be completed and returned.

In relation to the Wet-seal warranty, no rectification work can be carried out without written consent from Wet-seal as this will void warranty.

Liability

If the membrane is damaged at any time, by someone other than the Independent Franchisee of the Wet-seal Franchise System, the Guarantee shall be voided.

No liability whatsoever is accepted for damage – accidental or otherwise – done to the waterproofing membrane after the application of the membrane is completed.

Any damage repairs will be quoted separately and must be accepted in writing prior to the commencement of work.

Quotation Variance

The quoted waterproofing system is specific to the building structure plans provided to Wet-seal at the time of quotation. While many minor variances can be accommodated, changes to the overall available area may require the submission and written approval of an updated quotation.

Properly Scheduled Site Visit

Provide a minimum of seven (7) working days as lead time (allows scheduling to keep project running on time).

Allowance has been made for a single site visit unless otherwise expressly listed in the accompanying quotation. It is the responsibility of the Project Manager and contracting party to ensure that adequate preparations have been made and that the Wet-seal installation team can work unencumbered on site. Any delay or unreasonable interruption may be subject to an additional labor/service fee.

Terms and Conditions

The Scope of Work must also be referenced against Wet-seal's standard terms and conditions. The terms and conditions are available on Wet-seal's website: www.wet-seal.ws

"Your Waterproofing & Underfloor Heating Professionals"

0800 436 000

www.wet-seal.ws



SPECIFY WITH
CONFIDENCE

**BRANZ
APPRAISAL
CERTIFICATE
No. 372 (2000)**

**THE WET-SEAL
SYSTEM
WATERPROOFING
MEMBRANE**

Wet-seal Management Pty Ltd
P O Box 481
Coffs Harbour
NSW 2452
Australia
Tel: 0-2-6658 2444
Fax: 0-2-6658 1696
Email: wetseal@Wet-seal.com.au
Internet Website
<http://www.Wet-seal.com.au>

Wet-seal New Zealand Ltd
P O Box 33720
Takapuna
Auckland
New Zealand
Tel/Fax: 0-9-486 6301

Readers are advised to check that this Certificate has not been amended, withdrawn or superseded by a later issue. Refer to the "Valid Certificates Index" in BUILD magazine published by BRANZ, The Australian Institute of Building Surveyors Magazine, 'The Building Surveyor', the Certificate Listing on the BRANZ Internet Site, or contact BRANZ.

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Mascot
NSW 1460
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BRANZ
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Porirua City
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Tel: +64-4-235 7600
Fax: +64-4-235 6070
<http://www.branz.org.nz>



Product

- This Certificate relates to the Wet-seal System, a site applied flexible fibreglass reinforced modified polyester resin waterproofing membrane.
- The Wet-seal System has been appraised for use as an internal wet area water proofing membrane for floors, walls and shower bases which are to be tiled.
- The Wet-seal System must be applied by licensed and trained applicators, in accordance with the Wet-seal Management Pty Ltd document entitled "Installation Procedures Manual Issue B," dated 1 December 1993. Unless stated otherwise, reference to "Installation Procedures Manual" shall be taken as this document.



The Wet-seal System for wet areas.

Building Regulations

1. New Zealand Building Code (NZBC)

In the opinion of BRANZ, the Wet-seal System waterproofing membrane if used, installed and maintained in accordance with the statements and conditions of this Certificate, will contribute to meeting the following provisions of the NZBC:

Clause B2 DURABILITY: Performance B2.3.1(b) 15 years. See Section 6.

Clause E3 INTERNAL MOISTURE: Performance E3.3.2, E3.3.3, E3.3.4, E3.3.5 and E3.3.6. See Section 8.

Clause F2 HAZARDOUS BUILDING MATERIALS: Performance F2.3.1 The Wet-seal System will not present a health hazard to people.

2. Building Code of Australia (BCA96)

In the opinion of BRANZ, the Wet-seal System waterproofing membrane if used, installed and maintained in accordance with the statements and conditions of this Certificate, will contribute to meeting the following BCA96 Performance Requirements:

BCA96 Volume 1 – Class 2 to Class 9 Buildings

Part F1 – Damp and Weatherproofing, Performance Requirement F1.7, F1.6, F1.7, SA3.1, SA F1.6 and SA F1.8. See Section 8.

BCA96 Volume 2 – Class 1 and Class 10 Buildings

Part 2.4 – Health and Amenity, Performance Requirement P2.4.1 and SA 3.1. See Section 8.

Product Information

3. Description

The Wet-seal System is a site applied flexible waterproofing membrane. It uses a fibreglass reinforced matting in conjunction with a flexible polyester resin hardened with a catalyst. When dry this is coated with a flow coat which is a jade coloured polymer also hardened with a catalyst. The total thickness of the membrane where a single layer of glass matt is used is 1.5 – 2 mm and greater at glass matt overlaps.

4. Handling and Storage

4.1 The Wet-seal System Safety Manual contains details on the safe handling and storage of the components.

4.2 The raw materials for the Wet-seal System must be stored in closed containers in a well ventilated area, protected from direct sunlight, heat and cold. They must not be stored near sources of heat or ignition, or near oxidising agents.

Design Information

5. General

5.1 A successful moisture excluding wet area system depends on the correct design and selection of all components including floor and wall substrates, plumbing fittings, tiles, adhesives, sealants and grouts. All components must be compatible with other parts of the system.

5.2 The Wet-seal System can be used on concrete slab, cement render, concrete and masonry walls, compressed fibre-cement flooring, fibre-cement flooring overlay, fibre-cement wall lining, water resistant plasterboard wall lining, plywood flooring and particleboard flooring. In each case the material must be determined as a suitable substrate for wet area waterproofing membranes by reference to the substrate manufacturer's technical literature.

5.3 Wall linings must be fixed in accordance with their manufacturer's instructions providing appropriate support for shower and wet area use and the support of tiles. Flashings must be installed at internal corners in showers, with a bond breaker at shower wall/floor junctions.

5.4 Flooring must also be fixed in accordance with their manufacturer's instructions for wet areas. The Wet-seal System must be laid on floor substrates that fall to waste. Deflections for tiled floors must not exceed 1/360th of the floor span. Specific engineering design may be required.

5.5 The Wet-seal System is flexible and able to accommodate normal building movement but must not be installed over movement joints.

5.6 The preferred installation method for tiled shower bases and floors is to apply the membrane to the floor substrate and

all edges, followed by a mortar bed which slopes to drainage outlets. The Wet-seal System can also be applied to floors that have been laid to falls with the tiles' adhesive fixed direct to the Wet-seal System. Use only tile adhesives that have been verified as suitable for this method by test (refer to Wet-seal Management Pty Ltd or Wet-seal New Zealand Ltd).

5.7 The extent of areas that must be protected from moisture are defined in BCA96 Vol 1 F1.7, Vol 2 Part 3.8.1 and SA 3.2 (Minister's specification SAF1.7); the minimum areas to be protected by a waterproofing membrane are described in AS 3740. The BRANZ Good Tiling Practice also gives guidance. Some manufacturers require their wall linings in shower areas to be protected by a waterproofing membrane. Also manufacturers of flooring, e.g. particleboard, may require their product to be protected in wet areas by a waterproofing membrane.

5.8 Adequate falls must be provided to drains in the floor. In Australia a minimum fall of 1 in 60 must be provided in accordance with BCA 96 Vol 2 Pt. 3.8.1.4 and in New Zealand the minimum fall of 1 in 50 must be provided in accordance with NZBC Acceptable Solution E3/AS1 Paragraph 3.3.5. Inadequate falls will allow moisture to collect, increasing the risk of mould, reducing the slip resistance of the tiles and increasing the risk of deterioration of tile joints and sealants.

5.9 Hobs (upstands) must be constructed of brick, concrete or masonry or any other materials compatible with the waterproofing membrane - excluding timber. Where frameless screens are fitted, the Wet-seal System must be finished to a floor mounted aluminium angle water stop at a minimum distance of 1500 mm from the shower rose, or alternatively the full floor must be sealed. Any other areas where the mortar bed can become wet must also be finished at an angle water stop or at a wall with a membrane upturn.

5.10 Floor wastes compatible with the Wet-seal System must be used and in place at the time of application so the membrane can be sealed to the pipe and flange. The use of floor wastes with Leak Control Flanges is preferred.

5.11 Tiles used must be selected with the correct water absorption and slip resistance; in New Zealand the water absorption and slip resistance of tiles must comply with the NZBC requirements. All tiling must be carried out according to AS 3958.1, using an adhesive complying with AS 2358, and a flexible waterproof grout. All tiles, adhesives, grouts and sealants must be installed according to their manufacturer's instructions.

5.12 Tiles, tile adhesives, grouts and sealants are outside the scope of this Certificate.

6. Durability

Serviceable Life

The Wet-seal System has been successfully used in Australia for over 15 years. It has a compatible life expectancy with typical overlaying tiling systems.

7. Maintenance

7.1 Regular checks of tiled areas (at least annually) must be made to ensure they are sound and prevent moisture penetration. Any cracks or damage must be repaired immediately by replacing tiles, grout or sealants.

7.2 Mildew and mould must be removed from the tiles and tile joints by regular cleaning. Showers must be cleaned weekly to prevent the build up of soap deposits and body oils. Cleaning will reduce deterioration of the tiles and tile joints. Cleaning agents recommended by the tile manufacturer or in the BRANZ Good Tiling Practice must be used.

8. Internal Moisture

8.1 When used as directed by this Certificate the Wet-seal

System will contribute to meeting the requirements of BCA96 and NZBC by providing wall surfaces that are impervious and easily cleaned, by providing an impervious membrane, and by preventing water from penetrating behind linings or to concealed spaces.

8.2 While the membrane provides the waterproof sealing requirements of the BCA96 and NZBC, it is reliant on being supported by a suitable substrate and protected by an overlaying tiled surface.

Installation Information

9. General

Installation of the Wet-seal System is by licensed and trained installers in accordance with the Installation Procedures Manual instructions which are summarised below.

10. Preparation

10.1 Prior to the application of the Wet-seal System the surface to be coated must be smooth, sound, clean, dry and free from dirt, oil, grease, loose matter and other contaminants. Surface defects and shrinkage cracks must be repaired.

10.2 Hobs and angle water stops must be in place.

10.3 Two methods are used for waste outlets. In one method a leak control flange is fitted prior to the membrane installation and the membrane is sealed to the waste flange. In the other, the floor waste pipe is cut off flush with the floor with the inside roughened with sandpaper. The Wet-seal System waterproofing membrane is turned down into the pipe. The waste outlet is fitted into substrates other than concrete through a neat hole, such that there is no more than a 5 mm gap between the pipe work and the substrate and is securely fixed to the substrate with a flanged fitting.

10.4 Wall penetrations for plumbing fittings must be sealed. A backing rod, bead of sealant or tape is applied to all shower wall/floor junctions as a bond breaker.

11. Membrane Application

11.1 In shower areas, the fibreglass is dressed to fit the entire shower base, 25-35 mm down the waste pipe, and 150 mm up the walls. A double layer of fibreglass is used in all wall/floor joints. Hobs, if fitted are completely covered with fibreglass across the inner face, top and outer face and for a distance of approximately 50 mm across the floor. Fibreglass is placed approximately 1800 mm up the internal wall corners (to at least the height of the shower rose).

11.2 In walk-in showers (showers without hobs), the fibreglass membrane is carried across the floor areas and stopped at a floor angle or carried across the full floor area and 80 mm up the walls.

11.3 The mixed resin is applied to completely cover the fibreglass, it is also applied down the floor waste.

11.4 When the fibreglass is dry, the mixed flowcoat is applied. In all cases except when the tiles are to be laid directly onto the membrane, clean sharp sand is spread across the wet flowcoat on the floor area to provide a key for the mortar bed.

11.5 In New Zealand water resistant plasterboard wall linings must be sealed with a full coat of the Wet-seal System prior to the application of tiles.

12. Tiling

12.1 Tiling directly to the membrane may be carried out a minimum of 24 hours after the flowcoat is applied. A flexible two part adhesive recommended by Wet-seal Management Pty Ltd or Wet-seal New Zealand Ltd must be used.

12.2 Mortar beds and floor screeds may be applied 24 hours after the flowcoat.

13. Health and Safety

Precautions must be taken during the installation and the curing of the Wet-seal System to minimise health risks associated with the application of the materials. Work areas and interconnecting spaces must be well ventilated. Work areas and interconnecting spaces must not be occupied until the product is fully cured and all airborne chemicals removed. Protective clothing, including masks must be worn in accordance with the Installation Procedures Manual.

Basis of Appraisal

The following is a summary of technical investigations carried out.

14. Tests

14.1 The following tests commissioned by Wet-seal Australia Management Pty Ltd, have been reviewed by BRANZ and found to be satisfactory.

14.2 Water Absorption by Coated Fibreglass Sheeting, Physical test on Cured Fibreglass Resin, Tensile Strength of Fibre Glass Samples, Water Vapour Transmission, and Shower Tray Acceptance Testing.

15. Other Investigations

15.1 The processes in Australia including methods adopted for quality control have been examined by BRANZ. Details of the quality and composition of the materials used were also obtained and found satisfactory. Wet-seal Management Pty Ltd are an ISO 9002 certified supplier.

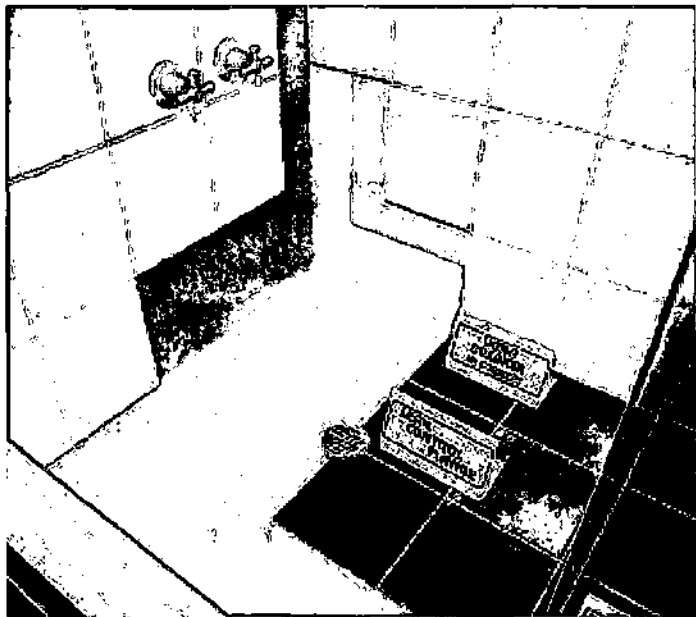
15.2 Site inspections were carried out by BRANZ to assess methods used for the installation of the Wet-seal System, and completed installations were examined.

15.3 The Applicators manual entitled "Installation Procedure Manual Issue B" dated 1 December 1993 has been reviewed by BRANZ and found to be satisfactory.

15.4 The Australian Building Systems Appraisal Council (ABSAC) Technical Opinion and the supporting files for the Wet-seal System were reviewed by BRANZ and found to be satisfactory. The review of the files was carried out with the assistance of ABSAC.

16. Sources of Information

- AS 2358:1990 Adhesive – for fixing ceramic tiles.
- AS 3740:1994 Waterproofing of wet areas within residential buildings.
- AS 3958.1:1991 Guide to the installation of ceramic tiles.
- BRANZ 'Good Tiling Practice', October 1996.
- BRANZ Bulletin No. 339 (December 1995) 'Internal Wall Tiling'.
- Building Code of Australia BCA96, Volumes 1 and 2, Australian Building Codes Board, 1996, including amendment No. 7.
- Minister's Specification SA F1.7, October 1995.
- Technical Report No. 110 (Amended) by the Australian Building Systems Appraisal Council Ltd 'Wet-sealing System' – February 1990 (Revalidated February 1993).
- New Zealand Building Code Handbook and Approved Documents, Building Industry Authority, 1992.
- The Building Regulations 1992, including September 1997 Amendment.



The Wet-seal System.



In the opinion of BRANZ, the Wet-seal System Waterproofing Membrane is fit for purpose and can be used to meet the relevant provisions of the Building Code provided it is used, designed, installed and maintained as set out in this Certificate.

This Certificate is issued only to the Certificate Holder, Wet-seal Management Pty Ltd, and is valid until further notice, subject to the Conditions of Certification.

Conditions of Certification

1. This Certificate relates only to the product as described herein.
2. The Certificate Holder:
 - a) continues to have the product reviewed by BRANZ;
 - b) shall notify BRANZ of any changes in product specification or quality assurance measures prior to the product being marketed;
 - c) abides by the BRANZ Appraisals Services Terms and Conditions.
3. The product and the manufacture are maintained at or above the standards, levels and quality assessed and found satisfactory by BRANZ.
4. This Certificate must be read, considered and used in full together with the technical literature.
5. BRANZ makes no representation as to:
 - a) the nature of individual examples of, batches of, or individual installations of the product, including methods and workmanship;
 - b) the presence or absence of any patent or similar rights subsisting in the product or any other product.
6. Any reference in this Certificate to any other publication shall be read as a reference to the version of the publication specified in this Certificate.
7. This Certificate does not address any Legislation, Regulations, Codes or Standards, not specifically named herein.

For BRANZ

S J Dickinson

M E Reed

Date of issue: 8th September 2000

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ISSN 1173-8677



Dave Pearson Architects Limited

SPECIFICATION of work to be done and materials to be used in carrying out the works shown on the accompanying drawings

Daffodil St

Project Specification

26 Daffodil St , Titirangi, Auckland, New Zealand

Project Ref: 995

Printed: 14 May 2014

Specification built using masterspec software

Masterspec ID: 102896; Version ID: 14245

masterspec

ABA AUCKLAND COUNCIL

2014 838#



WESTERN

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1210 PROJECT.**1. GENERAL****1.1 PROJECT**

Street address:	26 Daffodil St, Titirangi
Legal description:	PtLot 22 , C.T. 11A/1015
Site area:	685 m2
Project type:	Internal alteration
Intended use:	Single residential building
Intended life:	Indefinite but not less than 50 years / ~ years

1.2 PROJECT DESCRIPTION

Add New Ensuite

1.3 CATEGORY AND LBP REQUIREMENT

Category 1:

- Single household dwellings with low- or medium-risk envelope design

Any site license LBP's shall have a minimum:

Site license in area of practice 1

Bricklaying and Blocklaying 1 : Brick / masonry veneer

Bricklaying and Blocklaying 2: Structural masonry

Carpentry

External Plastering 1: Solid plastering

External Plastering 2: Proprietary Plaster Cladding Systems

Foundations 1: Concrete foundation walls and concrete slab-on-ground

Foundations 2: Concrete or timber pile foundations

Roofing 1: Concrete or clay tile roof

Roofing 2: Profiled metal roof and/or wall cladding

Roofing 3: Metal tile roof

Roofing 4: Roof membrane

Roofing 5: Torch on roof membrane

Roofing 6: Liquid membrane roof

Roofing 7: Shingle or slate roof

1.4 DESIGNER

Name:	Dave Pearson Architects
Mailing address:	P.O. Box 32-318, Devonport
Telephone:	09 445 8544
Email:	Dave@Heritagearchitects.co.nz

1.5 CONTRACTOR

Name:	TBC
Mailing address:	
Telephone:	
Email:	

1220 GENERAL REQUIREMENTS

1. GENERAL

1.1 THE WORKS

The works are as described in this specification and shown on the drawings.

1.2 PERSONNEL

Owner: The person defined as "owner" in the New Zealand Building Code.

Contractor: The person contracted by the owner to carry out the contract.

1.3 THE SITE

The site of the works, the site address and the legal description are listed under the sections 1210 PROJECT. Confine access and work to the area of site indicated on the drawings.

1.4 SPECIFICATION SECTIONS

Sections are for reference and convenience only and do not constitute individual trade sections or work elements. Read all sections together and read this section with all other sections.

1.5 INTERPRETATIONS

Required: Required by the documents, or by a statutory authority.

Proprietary: Identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

Approval: Approval in writing.

Direction: Direction in writing.

Notified: Notified in writing.

1.6 ABBREVIATIONS

The following abbreviations are commonly used throughout the specification:

AS	Australian Standard
AS/NZS	Joint Australian/New Zealand Standard
BCA	Building Consent Authority
BRANZ	Building Research Association of New Zealand
LBP	Licensed Building Practitioner
NZBC	New Zealand Building Code
NZS	New Zealand Standard
NZS/AS	Joint New Zealand/Australian Standard
NUO	Network Utility Operator
OSH	Occupational Safety and Health
RBW	Restricted Building Work
TA	Territorial Authority

1.7 INCONSISTENCIES

If there are any inconsistencies, errors or omissions in or between documents, the contractor must seek direction in resolving it. Figured dimensions take precedence over scaled dimensions; drawings to a larger scale take precedence over drawings to a smaller scale and drawings take precedence over specification.

1.8 SUBSTITUTIONS

A substitution may be proposed where specified products are not available, or if substitute products are brought to the attention of and are considered by the owner as equivalent or superior to those specified. Except where a specified product is not available, the owner is not bound to accept any substitutions.

Notify proposed substitution of specified products. Include sufficient information to allow the owner to confirm that the substitution is equivalent or superior to that specified.

Advise the owner whether an amendment will or may be required to the Building Consent and the expected costs of such amendment.

- 1.9 **THE WORDS "PROVIDE" OR "FIX"**
The words "provide" (or "supply") or "fix" if used separately mean "provide and fix" unless explicitly stated otherwise.
- 1.10 **MANUFACTURERS AND SUPPLIERS**
Manufacturers and suppliers requirements, instructions, specifications or details are those issued by them for their particular material, product or component and are the latest edition.
- 1.11 **REFERENCED DOCUMENTS**
Reference is made to various New Zealand Building Code (NZBC) acceptable solutions (AS) and verification methods (VM) for criteria and/or methods used to establish compliance with the Building Act 2004. Reference is also made to various Standards produced by Standards New Zealand (NZS, AS/NZS) and to listed Acts, Regulations and various industry codes of practice and practice guides. The latest edition (including amendments and provisional editions) at the date of this specification applies unless stated otherwise. Documents cited both directly and within other cited publications are part of this specification.
- 1.12 **PRECEDENCE OF REFERENCED DOCUMENTS**
This specification takes precedence in the event of it being at variance with and requiring a higher standard than, the cited documents. Resolution of any variance must be confirmed in writing and where Building Consent is affected, the change notified to the BCA for advice as to whether an amendment is required to the Building Consent Authority.
- 1.13 **BUILDING CONSENT COMPLIANCE**
It is an offence under the Building Act 2004 to carry out any work not in accordance with the Building Consent. Refer the resolution of matters concerning compliance to the owner for a direction. Where Building Consent is affected refer any change to the BCA for advice as to whether an amendment is required to the Building Consent.
- 1.14 **STATUTORY OBLIGATIONS**
Comply with all statutory obligations and regulations of regulatory bodies controlling execution of the works.
- 1.15 **BUILDING CONSENT**
Obtain the original or copies of the Building Consent form and documents from the owner and keep on site. Liaise with the BCA and/or the building certifier for all required notices and all inspections required during construction to ensure compliance. Return the consent form and documents to the owner on completion.
- 1.16 **INSPECTIONS**
Do not proceed with work noted on the Building Consent for inspection until it has been inspected and passed by the BCA inspector.
- 1.17 **KEY PERSONNEL**
Provide names and contact detail of LBP's/ key personnel. Prior to Restricted Building Work being carried out, provide names, registrations numbers (where appropriate) and contact detail of LBP's that are required for RBW by the Building Consent Authority as part of the Building Consent.
- Include the following as applicable:
- Person with the appropriate site license
 - Carpenter
 - Registered drainlayer
 - Registered plumber
 - Registered gasfitter
 - Registered electrician
 - Roofer
 - Block layer
 - Bricklayer
 - External plasterer

- External window manufacturer
 - Waterproof membrane applicator
- 1.18 **PRODUCER STATEMENTS AND LBP DOCUMENTATION**
When Records of Work or producer statements verifying construction are required, for the application for the Code Compliance Certificate, provide copies to both the BCA and the owner. Provide LBP documents and producer statements in the form required by the BCA.
- 1.19 **CODE COMPLIANCE CERTIFICATE**
Provide documentation that the Owner requires in order to obtain a Code Compliance Certificate for the consented work.
- 1.20 **TRADE GUARANTEES AND WARRANTIES**
Where specific trade guarantees/warranties are offered covering materials and/or execution of proprietary products or complete installations, or are required as a condition of Building Consent, provide guarantees/warranties to the owner.
- 1.21 **SITE ACCOMMODATION**
Provide, erect and maintain scaffolding, sheds, toilets, water, power and hoardings. Allow for cartage, craneage, plant hire and storage. Arrange for temporary works and services necessary for the completion of the works.
- 1.22 **HEALTH AND SAFETY**
Make the works safe and provide and maintain a safe working environment. Ensure that all those working on or visiting the site are aware of the rules governing site safety, are properly supervised and are not unnecessarily exposed to hazards.
- 1.23 **PROTECT THE WORKS**
Protect parts of the work liable to damage until completion of the works. Take all precautions necessary to protect the works from damage by unauthorised entry or inclement weather. Brace and support all parts of the works against damage during construction.
- 1.24 **STORAGE AND PROTECTION**
Provide temporary storage areas and protective covers and screens. Fillet stack and protect all framing and structural members from moisture and contamination. Completely protect finishing materials from the weather and damage and store in accordance with the manufacturer's requirements. Protect fabricated elements from the weather and damage, and store in accordance with suppliers requirements.
- 1.25 **ANTIQUITIES AND ITEMS OF VALUE AND INTEREST**
Report immediately the finding of any fossils, antiquities, pre-1900 items, or objects of value. Ensure they remain undisturbed until approval is given for their removal.
- 1.26 **MEANS OF COMMUNICATION**
All directions and approvals in writing.
- 1.27 **WORKING HOURS**
Work on site is restricted to between 0800 to 1800, Monday to Friday, excluding statutory holidays. Work outside these hours may be permitted, with prior approval in writing by the owner.
- 1.28 **RESTRICTIONS**
Do not:
 - smoke on site
 - light rubbish fires on the site
 - bring dogs on to or near the site
 - bring radios/audio players on to the site.

- 1.29 **QUALITY ASSURANCE**
Carry out and record regular checks of material quality and accuracy. Provide all necessary materials, equipment, plant, attendances, supervision, inspections and programming to ensure required standards are met.
- 1.30 **DAMAGE AND NUISANCE**
Prevent damage and nuisance from water, fire, smoke, vehicles, dust, rubbish, noise and other causes resulting from the contract works. Comply with the requirements of the TA and relevant Acts and Standards.
- 1.31 **SET-OUT AND DATUM**
Set out the works to conform with the drawings. Establish a permanent site datum to confirm the existing ground floor level and its relationship to other existing and new building levels.
- 1.32 **EXECUTION OF THE WORK**
Conform to the requirements of this specification. Ensure work is level, plumb, and true to line and face. Employ only experienced workers familiar with the materials and techniques specified.
- 1.33 **MATERIALS AND PRODUCTS**
Use only new materials and products, unless stated otherwise, of the specified quality and complying with cited documents.
- 1.34 **COMPATIBILITY**
Ensure all parts of a construction or finish are compatible and their individual use approved by the manufacturers and suppliers of other parts of the system. Source all parts of a system from a single manufacturer or supplier.
- 1.35 **CLEAR AWAY**
Regularly clear away trade debris, unused materials and elements from the site. On completion of the work leave the building clean and ready for occupancy, with all services operating and mechanical parts in good working order. Remove temporary markings, coverings and protective wrappings.
- 1.36 **CLEAN**
Clean and wash down external surfaces to remove dirt, debris and marking. Clean interior surfaces including floors, glass, cabinetwork, joinery, sanitary and hardware items.

3800 TIMBER FRAMING

1. GENERAL

Refer to 1213 SELECTIONS/drawings for specific product, material, accessories and finish selections.

Use experienced competent carpenter familiar with the materials and techniques specified. Work to be carried out by or supervised by the appropriate LBP.

2. PRODUCTS

2.1 TIMBER FRAMING GENERALLY

Species, grade and level of treatment to NZBC B2/AS1, NZS 3602, tables 1 to 3 **Requirements for wood-based building components...**, and moisture content to NZS 3602, table 4 **Allowable moisture content....** Structural Grade (SG) to NZS 3604, NZS 3622 with properties to NZS 3603.

2.2 ACCESSORIES

Damp-proof course:	High impact embossed polyethylene
Stud straps	Polypropylene tape run horizontal at 300mm centres over flexible wall underlay, for drained cavities with stud spacings greater than 450mm.
Nails, bolts and screws:	Steel, stainless steel, galvanized steel of pattern to suit the location and to BRANZ BU 519: Fasteners selection. To <u>NZS 3604</u> , 4 Durability and NZBC E2/AS1.
Nail plates connectors:	Stainless steel and/or galvanized steel toothed or nailed plates to the plate manufacturer's design for the particular locations as shown on the drawings and to <u>NZS 3604</u> , 4 Durability . Galvanized steel and stainless steel connectors and brackets to the connector manufacturer's design for locations shown on drawings and to <u>NZS 3604</u> , 4 Durability and NZBC E2/AS1
Corrosion risk	For exterior timber, timber in damp areas and timber subject to occasional wetting, use only stainless steel (or equivalent) fixings and connectors, when the timber is treated with; Copper Azole (CuAz, Preservative code 58), Alkaline Copper Quaternary (ACQ, Preservative code 90), Micronise Copper Azole (code 88) or Micronised Copper Quaternary (code 89).

3. EXECUTION

3.1 ATTENDANCE

Provide and fix blocks, nogs, openings and other items as required by others.

3.2 MOISTURE CONTENT

Maximum allowable moisture content to NZS 3602, table 4 **Allowable moisture content...**, for framing supporting interior linings:

Framing at erection	24%
Framing at enclosure	20%
Framing at lining	16%

3.3 EXECUTION GENERALLY

To NZS 3604 except as varied in this specification. To include those methods, practices and processes contained in the unit standards for the National Certificate in Carpentry and the National Certificate in Joinery (cabinetry, exterior joinery, stairs). Set out framing in accordance with the requirements of NZS 3604 and as required to support sheet linings and claddings.

3.4 INSTALL FLOOR, WALL AND ROOF FRAMING

Floors and bottom plates framed and fastened to NZS 3604, 7 **Floors**. Frame walls to required loading and bracing complete with lintels, sills and nogs, all fabricated and fastened to NZS 3604, 8 **Walls**. Frame roof to required loading and bracing complete

with valley boards, ridge boards and purlins to NZS 3604, 10 Roof framing. Design and fit roof trusses complete with anchorage. All fabricated and fastened to NZS 3604, 9 Posts, and NZS 3604, 10 Roof framing.

5230 INTERIOR DOORS & FRAMES

1. GENERAL

Refer to 1213 SELECTIONS/drawings for specific product, material, accessories and finish selections.

1.1 QUALIFICATIONS

Trades people qualified or experienced in those methods, practices and processes contained in the unit standards for the National Certificate in Carpentry and the National Certificate in Joinery (cabinetry, exterior joinery, and stairs).

2. PRODUCTS

2.1 DOORS GENERALLY

As selected.

2.2 INTERNAL JOINERY FRAMES

Fabricate as detailed.

2.3 DOOR HINGES

Type: loose-pin zinc-plated steel
Size: 89mm
Material: zinc-plated steel
Number: 3 hinges per door

2.4 DOOR HARDWARE

As selected.

2.5 NAILS

Zinc-plated steel, stainless steel and galvanized steel of pattern to suit location and to BRANZ BU 519: Fasteners selection.

3. EXECUTION

3.1 PROTECT

Protect joinery, fittings and finishes already in place from water staining or damage from lining installation. Ensure building is weatherproof before lining work commences.

3.2 FIT INTERNAL JOINERY FRAMES

Wedge and rigidly fix in place without distortion, plumb, and true to line and face.

3.3 FIT HARDWARE

Fit hardware selected and provided, all in accordance with the hardware manufacturer's requirements.

3.4 CHECK

Check and adjust operation of doors sets, hardware and furniture.

6200 TILING**1. GENERAL**

Refer to 1213 SELECTIONS/drawings for specific product, material, accessories and finish selections.

1.1 QUALIFICATIONS

Use tilers experienced with the materials and techniques specified.

2. PRODUCTS**2.1 ADHESIVES COMPATIBILITY**

On proprietary substrates or waterproof membranes use only adhesives with documented compatibility approval from the respective manufacturers.

2.2 ACCESSORIES

Waterproofing membranes:	As selected.
Cement-based screed:	Mix of 3:1 Portland cement, wash-mix sand, gauged with liquid polymer additive to the tile manufacturer's requirements.
Tile adhesive:	To the tile manufacturer's requirements.
Grout:	Cement based, compressible and to suit the particular location and use.
Control joint sealant:	To BRANZ Good practice guide: Tiling, section 5.0.

3. EXECUTION**3.1 HANDLING AND STORAGE**

Handle tiles with care to avoid chipping, soiling and damage. Store on hard, level standings in non-traffic, non-work areas that are enclosed, clean and dry. Reject all damaged tiles.

3.2 SUBSTRATE

Ensure all services and accessories are in place, located to suit the tile layout, with the substrate required for tiling work.

3.3 TEMPERATURE

Do not carry out tiling where the ambient temperature is below 5°C, or onto a substrate with a temperature higher than 40°C.

3.4 LAYOUT

Obtain confirmation of the proposed layout of tiles, expansion joints and other visual considerations.

3.5 EXECUTION GENERALLY

Prepare surfaces and carry out the tiling work in accordance with BRANZ Good practice guide: Tiling.

3.6 SURFACE PREPARATION

To BRANZ Good practice guide: Tiling, section 4.0.

3.7 APPLY LIQUID WATERPROOFING MEMBRANE

Apply the selected liquid waterproof membrane system to the membrane manufacturer's requirements. Flood test shower cubicle floors.

3.8 TILE FIXING, RIGID SHEET

Prime the surface after the curing of any waterproof membrane. Spread adhesive to a uniform minimum thickness of 3mm and rib it with a notched trowel to the tile manufacturer's requirements. Press the tile and beat it into place to obtain the required coverage by adhesive on the back of each tile.

- 3.9 **GROUTING**
Remove spacers. Prepare joints, mix and apply proprietary grout and finish off the grout uniform in colour, smooth and without voids, pinholes or low spots.
- 3.10 **MOVEMENT CONTROL JOINTS**
Minimum width of 6mm, carried through tile and bedding. Where substantial movement is anticipated, carry through the rigid sheet to the structure. Ensure joints are clean, formed, filled, and the sealant inserted to the sealant manufacturer's requirements.
- 3.11 **CLEAN**
Upon completion of setting and grouting, thoroughly sponge and wash the tiles to leave clean and free of blemish. Finally polish tiles with a clean, dry cloth.

7150 SANITARYWARE, TAPWARE & ACCESSORIES

1. GENERAL

Refer to 1213 SELECTIONS/drawings for specific product, material, accessories and finish selections.

1.1 QUALIFICATIONS

Carry out work by or under the direct supervision of a certifying person under the Plumbers, Gasfitters and Drainlayers Act 2006.

2. PRODUCTS

2.1 SANITARY FIXTURES, TAPWARE, APPLIANCES AND ACCESSORIES

Refer to 1213 SELECTIONS and drawings for product selections.

3. EXECUTION

3.1 EXECUTION GENERALLY

Carry out installation work and tests to AS/NZS 3500.2, as applicable.

3.2 INSTALL SHOWER CUBICLE

Install to NZBC G1/AS1 and in accordance with shower manufacturer's details and requirements. Ensure that screens and doors fit closely and accurately. Test for water egress around sides and base.

3.3 TEST

Test soil and waste disposal systems to ensure no leakage exists and leave in working order.

3.4 ENSURE

Ensure all sanitary plumbing fittings and pipework are complete and operational.

7420 SANITARY WASTE SYSTEM

1. GENERAL

Refer to 1213 SELECTIONS/drawings for specific product, material, accessories and finish selections.

1.1 QUALIFICATIONS

Carry out work by or under the direct supervision of a certifying person under the Plumbers, Gasfitters and Drainlayers Act 2006.

2. PRODUCTS

2.1 PVC-U WASTE, SOIL AND VENT PIPES

PVC-U pipe, complete with fittings brand-matched to the pipe manufacturer's requirements.

2.2 EXPOSED PIPES AND TRAPS

As selected and to the following details:

- chrome plate on copper pipes and associated copper and brass fittings
- white polybutylene or PVC, including all associated fittings.

3. EXECUTION

3.1 EXECUTION GENERALLY

Carry out sanitary plumbing work and tests as applicable to:

- NZBC G13/AS1
- AS/NZS 3500.2

3.2 ELECTROLYTIC ACTION

Avoid electrolytic action by eliminating actual contact or continuity of water between dissimilar metals.

3.3 INSTALL TRAPS, WASTE AND VENT PIPES

Connect waste outlets to traps and run waste pipes and back vents concealed, sized and fixed to AS/NZS 3500.2. Discharge wastes into floor waste gully, drainage system stack, soil pipe, or gully trap as shown. Bird proof mesh to roof vents and vermin proof mesh to untrapped waste pipes.

3.4 PENETRATIONS

At penetrations through constructions provide and fit collars and escutcheon plates to match pipework. Exterior roof and wall penetrations to NZBC E2/AS1.

3.5 TEST

Test soil and waste disposal systems to ensure no leakage exists and leave in working order.

3.6 ENSURE

Ensure all sanitary plumbing fittings and pipework are complete and operational.

RES1

Residential application for a project information memorandum and/or building consent

Section 33 or section 45, Building Act 2004



Date received: Application No: 20 MAY 2014 2014-838

APPLICATION TYPE (tick appropriately)

If you have an existing application number relating to this building work, please note the number beside the application type:

Restricted building work (RBW) applies from 1 March 2012
Financial assistance package (FAP)

<input type="checkbox"/> Project information memorandum (PIM)
<input checked="" type="checkbox"/> Building consent (BC)
<input type="checkbox"/> Staged consent
<input type="checkbox"/> Amendment to building consent N°:
<input type="checkbox"/> National multi-use approval No:

Does application involve RBW?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Is this a re-clad application?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Has a pre-application meeting been held?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is this application subject to a claim under the FAP scheme?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, FAP claim number:		

THE BUILDING

Street address of building: (for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection)

26 DAFFODIL STREET, TITIRANGI PK # 54398

Legal description of land where building is located: (state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent)

LOT 93, DP 55504

Building name:	—	Location of building within site/block number: (include nearest street access)	—
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Number of levels: (include ground level and any levels below ground)	2	Level or unit number:	
--	---	-----------------------	--

Current, lawfully established, use: (include number of occupants per level and per use if more than 1)	RESIDENCE
--	-----------

Area: (total floor area; indicate area affected by the building work if less than the total floor area)	TOTAL 555 - 5 m ²	Year first constructed:	1972
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THE OWNER

Name of owner: (include preferred form of address e.g. Mr, Miss, Dr if an individual)	Philip Ayers
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Contact person: (insert n/a if the applicant is an individual)	26 Daffodil Street
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Mailing address:	TITIRANGI	Postcode:	
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Street address/registered office:	
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Phone number: Landline		Daytime:	
------------------------	--	----------	--

Facsimile number:		Mobile:	
-------------------	--	---------	--

Email address:		Website:	
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The following evidence of ownership is attached to this application: [copy of certificate of title, lease agreement or agreement for sale and purchase showing full name of legal owner(s) of the building]

AGENT (only required if application is being made on behalf of the owner)

Name of agent: **DAVE PEARSON ARCHITECTS**

Contact person: **MATT DAVY**

Mailing address: **P.O. Box 32318 DEVONPORT** Postcode: **0477**

Street address / registered office: **93 VICTORIA ROAD, DEVONPORT 062A**

Phone number: Landline **09 445 8544** Daytime: **09 445 8544**

Facsimile number: Mobile: **027 516 3717**

Email address: **MATT@HERITAGEARCHITECTS.CO.NZ** Website: **HERITAGEARCHITECTS.CO.NZ**

Relationship to owner: (supply details of authorisation from the owner to make the application on the owner's behalf) **ARCHITECTS**

THE APPLICANT (only required where sale and purchase agreement in place or new certificate of title has not been issued)

Name of applicant: (include preferred form of address e.g. Mr, Miss, Dr if an individual)

Contact person: (insert n/a if the applicant is an individual)

Mailing address: Postcode:

Street address / registered office:

Phone number: Landline Daytime:

Facsimile number: Mobile:

Email address: Website:

Relationship to owner: (supply details of authorisation from the owner to make the application on the owner's behalf)

FIRST POINT OF CONTACT FOR COMMUNICATIONS WITH COUNCIL/BUILDING CONSENT AUTHORITY

Full name: **MATT DAVY**

Mailing address: **P.O. Box 32-318, DEVONPORT** Postcode: **0477**

Phone number: **09 445 8544** Mobile: **027 516 3717**

Facsimile number: Email address: **MATT@HERITAGEARCHITECTS.CO.NZ**

BILLING

All consent related invoices/refunds to be billed and posted to: Owner: Agent: Applicant:

Please note: any refunds are paid to the receipted name unless written authorisation has been received from the receipted person or company stating otherwise

SIGNATURE

Signature Owner Agent Applicant
Name Date

Please note: If not signed by owner, a letter of authorisation will be required from the owner

THE PROJECT

Description of the building work:

Will the building work result in a change of use? Yes No

If yes, provide details of new use:

Estimated total value of building work for this application, (building consent or amendment); it is this value that the building levy is calculated on including goods and services tax; (state estimated value as defined in section 7 of the Building Act 2004)

Stage: of an intended: stages

Intended life of new building (if less than 50 years): number of years

List building consents previously issued for this project (if any):

PROJECT INFORMATION MEMORANDUM (The following matters are involved in the project)

- Subdivision
- Alterations to land contours
- New or altered connections to public utilities
- New or altered locations and/or external dimensions of buildings
- Other matters known to the applicant that may require authorisations from the Building Consent Authority, please specify:
- New or altered access for vehicles
- Building work over or adjacent to any road or public place
- Disposal of stormwater or wastewater
- Building work over any existing drains or sewers or in close proximity to wells or water mains

ATTACHMENTS (the following documents are attached to this application)

- Plans and specifications
- Project information memorandum
- Certificate attached to project information memorandum
- Development contribution notice
- Completed relevant checklist(s)
- Memoranda from Licensed building practitioner(s) who carried out or supervised any design work that is restricted building work

BUILDING CONSENT (the building work will comply with the building code as follows)

Clause (involved in the proposed building work)	Means of compliance (refer to compliance documents) or detail of alternative solution in the plans or specifications	Clause (involved in the proposed building work)	Means of compliance (refer to compliance documents) or detail of alternative solution in the plans or specifications
B1 Structure	<input type="checkbox"/> B1/AS1 <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4229 <input type="checkbox"/> AS/NZS 1170 <input type="checkbox"/> Other _____	G1 Personal hygiene	<input checked="" type="checkbox"/> G1/AS1 <input type="checkbox"/> Other _____
B2 Durability	<input type="checkbox"/> B2/AS1 <input type="checkbox"/> NZS 3101 <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 3602 <input type="checkbox"/> Other _____	G2 Laundering	<input type="checkbox"/> G2/AS1 <input type="checkbox"/> Other _____
C1-C4 Fire	<input type="checkbox"/> C/AS1 <input type="checkbox"/> Other _____	G3 Food preparation and prevention of contamination	<input type="checkbox"/> G3/AS1 <input type="checkbox"/> Other _____
D1 Access Routes	<input type="checkbox"/> D1/AS1 <input type="checkbox"/> NZS 4121 <input type="checkbox"/> Other _____	G4 Ventilation	<input type="checkbox"/> G4/AS1 v AS 1668.2 <input type="checkbox"/> Other _____
D2 Mechanical installations for access	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> NZS 4121 <input type="checkbox"/> Other _____	G5 Interior environment	<input type="checkbox"/> G5/AS1 <input type="checkbox"/> Other _____
E1 Surface water	<input type="checkbox"/> E1/AS1 <input type="checkbox"/> E1/VM1 <input type="checkbox"/> Other _____	G6 Airborne and impact sound	<input type="checkbox"/> G6/AS1 <input type="checkbox"/> Other _____
E2 External moisture	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> E2/AS2 <input type="checkbox"/> E2/AS3 Other _____	G7 Natural light	<input type="checkbox"/> G7/AS1 <input type="checkbox"/> Other _____
E3 Internal moisture	<input checked="" type="checkbox"/> E3/AS1 <input type="checkbox"/> Other _____	G8 Artificial light	<input type="checkbox"/> G8/AS1 <input type="checkbox"/> NZS 6703 <input type="checkbox"/> Other _____
F1 Hazardous agents on site	<input type="checkbox"/> F1/AS1 <input type="checkbox"/> Other _____	G9 Electricity	<input type="checkbox"/> G9/AS1 <input type="checkbox"/> Other _____
F2 Hazardous building materials	<input type="checkbox"/> F2/AS1 <input type="checkbox"/> NZS 4223 <input type="checkbox"/> Other _____	G10 Piped services	<input type="checkbox"/> G10 <input type="checkbox"/> NZS 5261 <input type="checkbox"/> Other _____
F3 Hazardous substances	<input type="checkbox"/> F3 <input type="checkbox"/> Hazardous substances and new organism <input type="checkbox"/> Other _____	G11 Gas as an energy source	<input type="checkbox"/> G11/AS1 <input type="checkbox"/> Other _____
F4 Safety from falling	<input type="checkbox"/> F4 <input type="checkbox"/> Fencing of Swimming Pool Act 1987 <input type="checkbox"/> Other _____	G12 Water supplies	<input checked="" type="checkbox"/> G12/AS1 <input type="checkbox"/> AS/NZS 3500.1 <input type="checkbox"/> Other _____
F5 Construction and demolition hazards	<input type="checkbox"/> F5/AS1 <input type="checkbox"/> Other _____	G13 Foul water	<input checked="" type="checkbox"/> G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3 <input type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> Other _____
F6 Visibility in Escape Routes	<input type="checkbox"/> F6/AS1 <input type="checkbox"/> Other _____	G14 Industrial liquid waste	<input type="checkbox"/> G14/AS1 <input type="checkbox"/> Other _____
F7 Warning systems	<input type="checkbox"/> F7/AS1 <input type="checkbox"/> NZS 1668 <input type="checkbox"/> NZS 4512 <input type="checkbox"/> NZS 4515 <input type="checkbox"/> AS/NZS 1668.1 <input type="checkbox"/> Other _____	G15 Solid waste	<input type="checkbox"/> G15/AS1 <input type="checkbox"/> Other _____
F8 Signs	<input type="checkbox"/> F8/AS1 <input type="checkbox"/> Other _____	H1 Energy efficiency	<input type="checkbox"/> H1/AS1 <input type="checkbox"/> NZS 4218 <input type="checkbox"/> NZS 4243 <input type="checkbox"/> NZS 4214 <input type="checkbox"/> ALF Design Manual <input type="checkbox"/> Other _____
Cable car <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> NZS 5270:2005 Part 16, Appendix C <input type="checkbox"/> Other _____		

Waivers and modifications: State nature of waiver or modification of building code required

RESTRICTED BUILDING WORK (comes into effect 1 March 2012)

Will the building work include any restricted building work?

Yes

No

Is a solid fuel heater involved? (If yes, is exemption required)

Yes

No

If the flue penetration through the roof exceeds 300mm; this is deemed restricted building work (RBW). All RBW is required to be installed by a licensed building practitioner; however, as there are no license classes available for this type of work Council will apply an exemption if requested. Where an exemption is requested, Council will either inspect the work or rely on a producer statement issued by a person approved to issue such statements (refer to Auckland Council Producer Statement Register on our website for further information).

Please provide the following details of all licensed building practitioners (LPB) who will be involved in carrying out or supervising restricted building work. (If these details are unknown at the time of application, they must be supplied before the building work begins).

KEY CONTACTS / LICENSED BUILDING PRACTITIONERS (LBP) - please provide details

Designer or Architect		Structural Engineer	
Business/Name: DAVE PEARSON ARCHITECTS		Business/Name:	
Address: 93 VICTORIA RD, DEVONPORT		Address:	
Daytime: 445 8544	After hours: —	Daytime:	After hours:
Mobile: 027 516 3717	Fax: —	Mobile:	Fax:
Registration or LBP Registration No: NZIA: 1236		Registration or LBP Registration No:	

Head Contractor / Site Manager		Builder / Carpentry work	
Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After hours:	Daytime:	After hours:
Mobile:	Fax:	Mobile:	Fax:
LBP Registration No:		LBP Registration No:	

Drain layer		Plumber	
Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After hours:	Daytime:	After hours:
Mobile:	Fax:	Mobile:	Fax:
Registration No:		Registration No:	

Electrician		Gas Fitter	
Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After hours:	Daytime:	After hours:
Mobile:	Fax:	Mobile:	Fax:
Registration No:		Registration No:	

KEY CONTACTS / LICENSED BUILDING PRACTITIONERS (LBP) - please provide if applicable

Foundation work

Bricklaying

Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After hours:	Daytime:	After hours:
Mobile:	Fax:	Mobile:	Fax:
LBP Registration No:		LBP Registration No:	

Blocklaying

External Plastering

Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After hours:	Daytime:	After hours:
Mobile:	Fax:	Mobile:	Fax:
LBP Registration No:		LBP Registration No:	

Roofing work

Other

Business/Name:		Business/Name:	
Address:		Address:	
Daytime:	After hours:	Daytime:	After hours:
Mobile:	Fax:	Mobile:	Fax:
LBP Registration No:		LBP Registration No:	

OFFICE ONLY USE

Receipt No:	103426
Deposit \$:	\$902
PIM/BC No:	ABA-2014-838
Date:	20/5/14

Area Office		
<input type="checkbox"/> Central	<input checked="" type="checkbox"/> Henderson	<input type="checkbox"/> Orewa
<input type="checkbox"/> Papakura	<input type="checkbox"/> Pukekohe	<input type="checkbox"/> Takapuna
<input type="checkbox"/> Manukau		
<input type="checkbox"/> Compass	<input type="checkbox"/> MBC	<input type="checkbox"/> Professional

New compliance schedule required

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Existing compliance schedule requires amending

Lodgement checklist: residential

Please attach this checklist with your application



ABA-2014-838

GUIDANCE INFORMATION

Documentation must cover all aspects identified in this lodgement checklist. The checklist is designed to ensure applicants know up front what information is required, please ensure you read it and answer all questions with the applicable answer. This will ensure your application is processed in a timely manner. For guidance refer to the building consent practice notes on the Auckland Council website.

All applications must be accompanied by 2 x comprehensive sets of documentation (except in Manukau where 3 x sets are required).

Standard of documentation

Section 7 of the Building Act defines 'plans and specifications' as the drawings, specifications and other documents according to which a building is to be constructed, altered, demolished or removed. Documentation is required to be of a high, professional standard. Refer to the Department of Building and Housing publication "Guide to applying for a building consent" for a copy visit www.dbh.govt.nz

Drawings must be:-

- Produced to scale on white A3, A2 or A1 paper. Minimum font size of 10 or if CAD 2.5
- Produced in black ink only (no coloured or freehand drawings)
- each drawing must contain:-
 - a drawing number and title
 - designer's name
 - address of property
 - be dated for version control
- specifications must be project specific and include relevant supporting documentation (installation details)

Restricted building work (RBW): From March 1st 2012 the introduction of 'RBW' takes affect for residential dwellings and apartment buildings. It is defined as design or building work that is critical to the integrity of the building.

A house is:

- A free-standing, fully detached building consisting of a single residential unit (and can also have 1 or more residential facilities such as a foyer, laundry, garage, etc)

Licensed building practitioners (LBPs) are the only people allowed to supervise or carry out RBW. The classes of RBW are: design, carpentry, site supervision, roofing, bricklaying, blocklaying, external plastering, foundations and emergency warning systems.

For further information about licensing or restricted building work refer to the Department of Building and Housing website www.dbh.govt.nz

Applications supported by a producer statement (PS): If an application is supported by a producer statement, the architectural plans must be counter-signed by the design specialist (i.e. engineer) confirming design details unless the drawings are provided by the specialist.

Note: producer statements must be dated no older than 90 days and the author must be listed on Councils Approved Author Register. For a list of approved authors please visit www.aucklandcouncil.govt.nz

Deposit: all applications must be supported by a deposit payable at the time of lodgement. A final invoice will be sent when your building consent has been approved; the final invoice covers the full cost of processing the application as well as fees for inspections and the code compliance certificate less the deposit already paid.

Water meter applications: for new water meter connections download an application form and apply direct to WaterCare (note independent charges will occur) please refer to www.watercare.co.nz

Vehicle crossing applications: all building consent applicants should advise whether the property has an existing vehicle crossing that will be used to serve the new house or development. If the answer is No, then a new vehicle crossing application must be submitted to Auckland Council, who act as the receiving agent for Auckland Transport. An "Application Form", and description of the approval process, can be viewed and downloaded from the website www.aucklandtransport.govt.nz and type in the key word search "Vehicle Crossing" and select the "Vehicle Crossing link". The completed application form together with fee must be submitted in person to your nearest Auckland Council Office.

Network utility operator: prior approval is required if building under or near high voltage transmission lines or over or near public drains.

Financial assistance package (FAP): if this application is subject to a claim under the Financial Assistance Package (FAP) scheme; you must lodge this application in person at 35 Graham Street, Auckland City.

SITE ADDRESS

Property address 26 DAFFODIL STREET, TIRAKUA

DECLARATION

I/We confirm that all the information/documentation as indicated on this checklist is provided. If this Residential Building Consent application includes a Solid Fuel Heater, Solar water heater/heat pump water heater or a Pool/ Spa Pool all relevant sections of this checklist must be completed (please tick ✓ as applicable):

Solid fuel heater
 Solar water heater/heat pump water heater
 Pool / Spa Pool

Owner / Agent signature:
 Date:

Customer use (circle as appropriate)			Description	Council use only		
GENERAL REQUIREMENTS (N/A denotes not applicable)				Entire section N/A		<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application form completed in full and signed	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application fee as per Auckland Council fee schedule	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project description is accurate and describes all work involved in the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building within 2m of or over a public drain requires Watercare Services Ltd (WSL) or other NUO approval.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Have you provided bridging design details to build over the drain?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building within 10m of a WSL main trunk line requires WSL or other NUO approval.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	CCTV video / DVD and report provided for building over / near public drains?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Has the WSL or other NUO build-over approval been applied/approved/notified of? (Please circle one).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	WSL application form provided to the customer for them to apply.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Certificate of title (no older than 90 days) including all consent notices and encumbrances; sale and purchase agreement or lease agreement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Letter of authorisation from owner if application is submitted by an agent, company or trust	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
MEMORANDUM / CERTIFICATE OF DESIGN WORK (CoW)				Entire section N/A		<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The designer has provided a memorandum of design for restricted building work?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The engineer has provided a memorandum of design for restricted building work?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The memorandum of design is completed in full and personally signed by licensed building practitioner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Have all fields on the memorandum of design been fully completed? Contact details; type of design; description of work; reference to plans; etc	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Is there a waiver or modification?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Has the declaration been completed (no change to wording) and signed personally by the licensed building practitioner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
SITE PLAN (SCALE 1:100 FOR URBAN AREAS AND 1:200 FOR RURAL AREAS)				Entire section N/A		<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Legal description; Lot, DP and street address indicated?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	North point indicated on the site plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land contours, or spot levels shown at maximum 1m increments; datum identified with levels indicated.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site boundaries including bearings of boundaries / exclusive area boundaries for cross lease properties, common areas clearly shown.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All existing and proposed buildings clearly defined with dimensions from boundaries and other buildings (including notional boundaries if appropriate)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All existing and proposed sanitary/storm water drainage (including on-site treatment systems) indicated with distances to boundaries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of HWC if external	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SITE ADDRESS

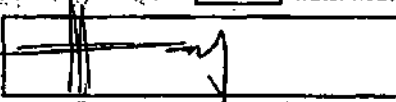
Property address

26 DAFODIL STREET, THIRAWA 1

DECLARATION

We confirm that all the information/documentation as indicated on this checklist is provided. If this Residential Building Consent application includes a Solid Fuel Heater, Solar water heater/heat pump water heater or a Pool/ Spa Pool all relevant sections of this checklist must be completed (please tick ✓ as applicable):

Solid fuel heater
 Solar water heater/heat pump water heater
 Pool / Spa Pool

Owner / Agent signature: 
 Date:

Customer use (circle as appropriate)			Description	Council use only		
GENERAL REQUIREMENTS (N/A denotes not applicable)						
<input checked="" type="checkbox"/>	No	N/A	Application form completed in full and signed	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
<input checked="" type="checkbox"/>	No	N/A	Application fee as per Auckland Council fee schedule	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Project description is accurate and describes all work involved in the project	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Building within 2m of or over a public drain requires Watercare Services Ltd (WSL) or other NUO approval.	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Have you provided bridging design details to build over the drain?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Building within 10m of a WSL main trunk line requires WSL or other NUO approval.	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	CCTV video / DVD and report provided for building over / near public drains?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Has the WSL or other NUO build-over approval been applied/approved/notified of? (Please circle one).	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	WSL application form provided to the customer for them to apply.	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Certificate of title (no older than 90 days) including all consent notices and encumbrances; sale and purchase agreement or lease agreement	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Letter of authorisation from owner if application is submitted by an agent, company or trust	<input checked="" type="checkbox"/>	No	N/A
MEMORANDUM / CERTIFICATE OF DESIGN WORK (CoDW)						
<input checked="" type="checkbox"/>	No	N/A	The designer has provided a memorandum of design for restricted building work?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	The engineer has provided a memorandum of design for restricted building work?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	The memorandum of design is completed in full and personally signed by licensed building practitioner?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Have all fields on the memorandum of design been fully completed? Contact details; type of design; description of work; reference to plans; etc	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
<input checked="" type="checkbox"/>	No	N/A	Is there a waiver or modification?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Has the declaration been completed (no change to wording) and signed personally by the licensed building practitioner?	<input checked="" type="checkbox"/>	No	N/A
SITE PLAN (SCALE 1:100 FOR URBAN AREAS AND 1:200 FOR RURAL AREAS)						
<input checked="" type="checkbox"/>	No	N/A	Legal description; Lot, DP and street address indicated?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	North point indicated on the site plan?	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Land contours, or spot levels shown at maximum 1m increments; datum identified with levels indicated.	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Site boundaries including bearings of boundaries / exclusive area boundaries for cross lease properties, common areas clearly shown.	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	All existing and proposed buildings clearly defined with dimensions from boundaries and other buildings (including notional boundaries if appropriate)	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	All existing and proposed sanitary/storm water drainage (including on-site treatment systems) indicated with distances to boundaries	<input checked="" type="checkbox"/>	No	N/A
<input checked="" type="checkbox"/>	No	N/A	Location of HWC if external	<input checked="" type="checkbox"/>	No	N/A

FOUNDATION PLAN (SCALE 1:100 OR 1:50)				Entire section N/A			<input checked="" type="checkbox"/>
Yes	No	N/A	Slab construction: concrete, steel reinforcing, slab thickening and control joints specified, detailed and dimensioned. If SED (e.g. rib-raft) provide engineers design (Refer specific engineered design section)	Yes	No	N/A	
Yes	No	N/A	Cross section of footing details including height in relation to ground levels shown	Yes	No	N/A	
Yes	No	N/A	Suspended timber floor construction: pile type, treatment, size, embedment depth and layout specified, detailed and dimensioned.	Yes	No	N/A	
Yes	No	N/A	Subfloor framing details, including size, centres, fixings, timber treatment and grading details for all subfloor and deck framing	Yes	No	N/A	
Yes	No	N/A	Joist layout plan for all levels including joist size, centres, timber treatment and grading details for all floors and decks.	Yes	No	N/A	
FLOOR PLAN (SCALE 1:100 OR 1:50)				Entire section N/A			<input type="checkbox"/>
Yes	No	N/A	Existing and proposed layout and use	<u>Yes</u>	No	N/A	
Yes	No	N/A	Internal stairs, handrails and decking shown	Yes	No	<u>N/A</u>	
Yes	No	N/A	Finished floor levels shown? <i>existing</i>	Yes	No	<u>N/A</u>	
Yes	No	N/A	Location of smoke alarms?	Yes	No	<u>N/A</u>	
Yes	No	N/A	Location of HWC if internal?	Yes	No	<u>N/A</u>	
ELEVATIONS (SCALE 1:100 OR 1:50)				Entire section N/A			<input checked="" type="checkbox"/>
Yes	No	N/A	Elevations for each external wall provided?	Yes	No	N/A	
Yes	No	N/A	Existing and finished ground levels/floor levels indicated?	Yes	No	N/A	
Yes	No	N/A	External stairs, handrails and decking shown?	Yes	No	N/A	
Yes	No	N/A	Sub floor ventilation indicated?	Yes	No	N/A	
CROSS-SECTIONS (SCALE 1:100 OR 1:50)				Entire section N/A			<input checked="" type="checkbox"/>
Yes	No	N/A	A minimum of two cross sections through the length and width of the building?	Yes	No	N/A	
Yes	No	N/A	Retaining wall details (cut, fill, height of retained ground, waterproof membrane and drainage) and height of wall indicated?	Yes	No	N/A	
Yes	No	N/A	Are foundation details, terraces, steps, balustrades indicated as to proximity to services?	Yes	No	N/A	
Yes	No	N/A	Floor, wall and roof construction shown (size, height, timber treatment, grading, insulation, lining and cladding)?	Yes	No	N/A	
Yes	No	N/A	Finished ground levels and floor levels?	Yes	No	N/A	
ROOF PLAN + ROOF FRAMING PLAN (SCALE 1:100 OR 1:50)				Entire section N/A			<input checked="" type="checkbox"/>
Yes	No	N/A	Roof bracing plan?	Yes	No	N/A	
Yes	No	N/A	M/F producer statement for computer software, fabricator design statement and truss layout plan supplied?	Yes	No	N/A	
Yes	No	N/A	Location and size of rainwater heads, scuppers, internal gutters, spouting and downpipes indicated?	Yes	No	N/A	
PLUMBING AND DRAINAGE PLAN (SCALE 1:100 OR 1:50)				Entire section N/A			<input type="checkbox"/>
Yes	No	N/A	Existing and proposed fixtures and fittings?	<u>Yes</u>	No	N/A	
Yes	No	N/A	Details of storm water/sewer disposal systems, e.g. detention tanks, pumps and effluent disposal provided?	Yes	No	<u>N/A</u>	
Yes	No	N/A	On-site waste water disposal and TP58 report?	Yes	No	<u>N/A</u>	
Yes	No	N/A	Soakage report provided and details shown on plans?	Yes	No	<u>N/A</u>	
Yes	No	N/A	Locate wastes, pipes and outlets, including sizes and gradients, shown in relation to mid-floor framing or slab construction. Schematic for more than one level.	<u>Yes</u>	No	N/A	
BUILDING ENVELOPE (SCALE 1:5 OR 1:10)				Entire section N/A			<input checked="" type="checkbox"/>
Yes	No	N/A	E2/AS1 risk matrix provided for each elevation	Yes	No	<u>N/A</u>	
Yes	No	N/A	Cross sections / details of all roof and wall junctions, eaves, balustrade, parapets, penetrations, control joints and sill/head/jamb flashings	Yes	No	<u>N/A</u>	
Yes	No	N/A	Current manufacturer's technical specifications/installation instructions and maintenance requirements for all cladding systems	<u>Yes</u>	No	N/A	

Customer use (circle as appropriate)			Description	Council use only		
Yes	No	N/A	Quality assurance programme (if re-clad)	Yes	No	N/A
BRACING PLAN				Entire section N/A <input checked="" type="checkbox"/>		
Yes	No	N/A	Bracing calculations, specifications and layout (wall, subfloor and deck)?	Yes	No	N/A
SPECIFIC ENGINEERED DESIGN (SED)				Entire section N/A <input checked="" type="checkbox"/>		
Yes	No	N/A	Engineering calculations and drawings?	Yes	No	N/A
Yes	No	N/A	Producer statements completed in full and signed (where provided)?	Yes	No	N/A
Yes	No	N/A	Plans signed and dated by engineer if supported by producer statement?	Yes	No	N/A
OTHER DOCUMENTATION (specification/reports/calculations)				Entire section N/A <input type="checkbox"/>		
Yes	No	N/A	Two copies of project-specific specifications and design reports provided?	Yes	No	N/A
Yes	No	N/A	Waterproofing details and floor / wall linings and finishes specified for wet areas (i.e. bathroom and laundry)?	Yes	No	N/A
Yes	No	N/A	Soil and ground stability; geotechnical report / plans?	Yes	No	N/A
Yes	No	N/A	Site contamination; report / plans?	Yes	No	N/A
Yes	No	N/A	Flooding and surface water; report / plans?	Yes	No	N/A
Yes	No	N/A	Erosion and sediment control plan; report / plans?	Yes	No	N/A
Yes	No	N/A	Energy efficiency (H1) report and calculations?	Yes	No	N/A
Yes	No	N/A	Acoustic design report?	Yes	No	N/A
Yes	No	N/A	Fire design report / construction details if building within 1m of boundary, > 3 stories, or household units are attached	Yes	No	N/A
PLANNING INFORMATION				Entire section N/A <input checked="" type="checkbox"/>		
Yes	No	N/A	Copy of approved resource consent with stamped plans provided?	Yes	No	N/A
Yes	No	N/A	Location, size, volume and depth of excavation for storm water management devices (rain gardens/retention/ detention tanks) shown?	Yes	No	N/A
Yes	No	N/A	Location, dimensions and gradient of car parking/ manoeuvring/ vehicle crossing shown on the plan?	Yes	No	N/A
Yes	No	N/A	All areas of proposed disturbed earth (eg. excavation, fill, retaining) indicated?	Yes	No	N/A
Yes	No	N/A	All areas of impermeable coverage, building and landscaping shown and calculations provided?	Yes	No	N/A
Yes	No	N/A	Show compliance with outdoor living and service court provisions shown?	Yes	No	N/A
Yes	No	N/A	Are all streams and riparian margins shown on the plan?	Yes	No	N/A
Yes	No	N/A	Are all trees protected by the District Plan (height, girth and drip line) shown?	Yes	No	N/A
Yes	No	N/A	Height in relation to boundary controls shown at the critical points and with the maximum height control?	Yes	No	N/A
DEMOLITION / REMOVAL / RELOCATION (if included as part of building project)				Entire section N/A <input checked="" type="checkbox"/>		
Yes	No	N/A	Services capped and sealed inside boundary?	Yes	No	N/A
Yes	No	N/A	All existing buildings and buildings to be demolished / removed shown?	Yes	No	N/A
Yes	No	N/A	Safety plan / report detailing safe handling and disposal of hazardous materials provided?	Yes	No	N/A
Yes	No	N/A	Pollution prevention plan covering control of noise and dust provided?	Yes	No	N/A
Yes	No	N/A	Details/means of barricading the site to prevent public access provided?	Yes	No	N/A
Yes	No	N/A	Third party report for relocatable building?	Yes	No	N/A

Customer use (circle as appropriate)			Description	Council use only		
SWIMMING / SPA POOL AND POOL FENCING				Entire section N/A <input checked="" type="checkbox"/>		
Yes	No	N/A	<input type="checkbox"/> Swimming pool <input type="checkbox"/> Spa pool <input type="checkbox"/> Ornamental pool	Yes	No	N/A
Yes	No	N/A	<input type="checkbox"/> In-ground <input type="checkbox"/> Above ground	Yes	No	N/A
Yes	No	N/A	Pool specifications i.e. type, brand, installation, etc	Yes	No	N/A
Yes	No	N/A	Engineering calculations / producer statements provided for structural design elements (refer to SED section)	Yes	No	N/A
Yes	No	N/A	Site Plan with location of proposed pool and pool fencing including any gates; gates to show opening projection. (refer site plan section)	Yes	No	N/A
Yes	No	N/A	Immediate pool area specified (i.e. pool isolated)	Yes	No	N/A
Yes	No	N/A	Fencing specification (materials, height) supplied	Yes	No	N/A
Yes	No	N/A	If building is used as part of fencing: <input type="checkbox"/> Floor plan indicating location and opening projection of all doors opening into pool area <input type="checkbox"/> Construction details and type of self-closing / latching devices for all doors leading into pool area <input type="checkbox"/> Elevations indicating any windows <1.2m in height opening into pool area and details of locking mechanisms i.e. restrictors	Yes	No	N/A
Yes	No	N/A	If boundary fencing used as part of pool fencing: <input type="checkbox"/> Photos showing all intersecting fences note: no climbable intersecting fences, rails, etc permitted <input type="checkbox"/> Photos showing both sides of fence note: no climbable projections permitted within 1.2m of fence (i.e. trees, sheds, etc) <input type="checkbox"/> Cross-section showing details of fencing (height, openings, materials, etc)	Yes	No	N/A
Yes	No	N/A	Exemption for pool covers, door alarms and non-complying doors?	Yes	No	N/A
SOLID FUEL HEATER APPLIANCE				Entire section N/A <input checked="" type="checkbox"/>		
Yes	No	N/A	Location of solid fuel heating appliance shown on floor plan?	Yes	No	N/A
Yes	No	N/A	Location of all windows and doors in close proximity to appliance shown?	Yes	No	N/A
Yes	No	N/A	Location of hot water cylinder (if wetback) provided?	Yes	No	N/A
Yes	No	N/A	Cross section through building to show penetrations through floor joists (required where building is 2 or more stories)?	Yes	No	N/A
Yes	No	N/A	Cross section through roof showing roof material and flashing details; floor construction (i.e. timber / concrete floor) and type of restraint (i.e. method of fixing appliance to hearth and hearth to floor)	Yes	No	N/A
Yes	No	N/A	Cross section through chimney where false chimney surround constructed	Yes	No	N/A
Yes	No	N/A	Elevation or photo of external wall that the appliance is being installed on to show location and height of flue; dimensions to be included (and clearances from upper storey windows where flue penetrates a lower storey)	Yes	No	N/A
Yes	No	N/A	Wetback details; details of valves and water supply pipes?	Yes	No	N/A
Yes	No	N/A	Type and capacity of hot water cylinder Note: HWC must be open vented low pressure system if wetback installed	Yes	No	N/A
Yes	No	N/A	Manufacturer's specifications, indicating make and model, installation instructions, clearances, flue details, flashing details, hearth insulating method, etc?	Yes	No	N/A
Yes	No	N/A	Method of ventilation specified? (Opening window; air duct; air blower)	Yes	No	N/A
Yes	No	N/A	National Environmental Standard: details of emission and thermal efficiency ratings for model installed	Yes	No	N/A
Yes	No	N/A	Authorisation number <input type="text"/> ECAN <input type="text"/> Nelson <input type="text"/>	Yes	No	N/A
Yes	No	N/A	Second hand appliance: third party report on condition of appliance, third party must also confirm that the appliance complies with emission standards	Yes	No	N/A
Yes	No	N/A	Heritage buildings: approval required from NZ Historic Places Trust and / or Planning Team	Yes	No	N/A
Yes	No	N/A	If RBW, has an exemption under clause K of Schedule 1 been requested? (Refer to application form)	Yes	No	N/A

WATER HEATERS (SOLAR OR HEAT PUMP)						Entire section N/A	<input checked="" type="checkbox"/>
Yes	No	N/A	Location and capacity of hot water cylinder and temperature or pressure relief valve discharge point provided?	Yes	No	N/A	
Yes	No	N/A	Supporting structural components in the roof space are details provided?	Yes	No	N/A	
Yes	No	N/A	Connection and weatherproofing details, including flashing details, provided?	Yes	No	N/A	
Yes	No	N/A	At least two elevations provided to show compliance with height to boundary restrictions and position / inclination of panels?	Yes	No	N/A	
Yes	No	N/A	Location of solar panels in relation to rafters / trusses details provided?	Yes	No	N/A	
Yes	No	N/A	Span and centres of rafters / trusses and under purlins if applicable details provided?	Yes	No	N/A	
Yes	No	N/A	Weight of panels; size of panel (area); and dimensions to edge of roof	Yes	No	N/A	
Yes	No	N/A	Temperature or pressure valve discharge point details provided?	Yes	No	N/A	
Yes	No	N/A	Specifications and technical data sheets provided?	Yes	No	N/A	
Yes	No	N/A	Engineering calculations / producer statements provided for structural design elements (refer to SED section)	Yes	No	N/A	
Yes	No	N/A	Product certification / appraisal certificates	Yes	No	N/A	
PRODUCER STATEMENTS						Entire section N/A	<input checked="" type="checkbox"/>
Yes	No	N/A	Agreement to provide producer statement construction if applicable?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A	
Yes	No	N/A	Plans signed and dated by engineer if supported by producer statement	Yes	No	<input checked="" type="checkbox"/>	
Yes	No	N/A	Producer statement register checked to determine approval status of authors?	Yes	No	<input checked="" type="checkbox"/>	

COUNCIL USE

Consent number: ABA-2014-838 PIM number: N/A

Other relevant consent numbers: ABA-2014-834 *wind zone: Low*
SSP: NO
CHI: NO

Project complexity level? R1 R2 R3

Application accepted: (please circle) Yes No NA If NO, state the reason(s) why application not accepted in comments section below:

LBP register checked: (please circle) Yes No NA Designer / Draftsperson / Engineer number: N/A

IPENZ register checked: (please circle) Yes No NA Chartered professional engineer number: N/A

NZRAB register checked: (please circle) Yes No NA Registered architect number: 1561

Name of Lodgement Officer: Sandy Shi Signature: [Signature] Date: 27/5/14

COMMENTS

21/5/14 application received + vetted, Reject as fully completed Memo. and app check list agreement

27/5/14 information received and vetted Accepted + lodged

Sandy


Philip & Monica Ayers
26 Daffodil Street
Titirangi
Auckland

Heritage Architects

Dear Matt,

This letter is to give you authority to complete the work required for the consent process for our house at 26 Daffodil Street.

Kind regards



Philip Ayers

P 817 6933

M 0274519063

E Philip@advisto.co.nz

Find out more: phone 09 301 0101 or visit www.aucklandcity.govt.nz



RECEIPT OF APPLICATION AUCKLAND COUNCIL

20 MAY 2014

Auckland Council (Graham Street Service Centre) has today received for *lodgement assessment* your application for: **CENTRAL - GRAHAM ST**

- Regional Consent
- Building Consent
- Land Use Consent
- Subdivision Consent
- Other _____

Relating to (address):

- Waiheke Manukau Central North Shore Franklin Rodney Papakura Waitakere

26 Daffodil St Titirangi

Choose type of payment below:

A fee of \$ 902.00 has also been received. Cheque No. 103426
with Cheque attached

Credit Card Authorisation Form complete and attached (*Legacy ACC only*)
(2% bank convenience fee applies for all credit card payments)

or

Pre-payment No. _____ / _____ / _____ Receipt No. _____ Amount: \$ _____

or

Fees to be charged to Customer's Account No. _____ (*Legacy ACC only*)

Deposit to be paid by online banking – payee email address _____

You will be advised after a pre-lodgement check whether your application has been accepted for lodgement.

Customer/Agent Name: MATT DAVY

Phone: 09 445 8544 Fax: _____

Email: MATTE@HERITAGEARCHITECTS.CO.NZ

Received by: [Signature]

Referred to: Henderson

Agreement to provide a producer statement during construction



Producer statement construction (PS3) or producer statement construction review (PS4)


1. **MATT DAVY** being the owner / agent, confirm that I have engaged, the person named below (the author), to be responsible for construction or observation of construction (as described below)

Name: **DAVE PEARSON** Role: **ARCHITECT**

Building consent number (if known): **—**

Address of project: **26 DAFFODIL ST, TITIRANGA**

Construction (description of work, which is the subject of this producer statement): **NEW BATHROOM**
If more than one producer statement is required, please complete the back of this form.

Owner / Agent signature:  Date: **22/05/14**

Producer statement author's name: **DAVID PEARSON** Date: **22/05/14**

Approved author number: **1561** Type: **PS3** PS4

Advice notes:

In order to approve a building consent, Council must be satisfied on reasonable grounds that the provisions of the Building Code will be met. Council must also be satisfied that the building work is constructed in accordance with the building consent and Building Code before it can issue a code compliance certificate.

Producer statements are a mechanism used for establishing compliance with the Building Code and are a cost-effective alternative to Council undertaking design reviews and inspections itself.

In order for a building consent to be granted and issued, Council must be satisfied that the construction works will be properly inspected and monitored. In some instances, building work that is specifically designed and/or construction is of a specialist nature may require specialist supervision. Where these elements are identified, the design professional and/or constructor may enter into an agreement with Council, to provide a producer statement to support compliance.

This form serves as acknowledgement by the owner/agent that a producer statement will be provided on completion of the building work to which it relates. If at the time of application, the design professional or contractor details are unknown, please complete all other fields of this form, noting the words "to be advised" in the author's name field.

Producer statements must be supported by way of site observation records and instructions, diary notes, testing and commissioning certificates, warranties, or such documents applicable to the construction, which has been undertaken / observed / supervised. On completion of the building work, Council will rely on the producer statement and supporting documentation when making its decision on whether to issue a code compliance certificate.

Producer statement construction review (PS4)

Where a PS4 is to be provided, the owner / applicant is responsible for ensuring the author is on Council's Approved Author Register (refer to Council's website for a copy of the register).

Producer statement construction (PS3)

PS3's are slightly different because Council usually undertakes an inspection on this work, in this instance, the person providing the statement does not need to be registered. However, if Council accepts that an inspection is not required in relation to the work, the author must be registered in order for Council to accept the statement.

Memorandum from licensed building practitioner: Certificate of design work

Section 45 and section 30C, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address: 26 DAFFODIL ST	
Suburb: TITIRANGA	
Town/City: AUCKLAND	Postcode: 0604

THE OWNER(S)	
Name(s): PHILLIP AYERS & MONICA AYERS	
Mailing address: 26 DAFFODIL ST	
Suburb: TITIRANGA	PO Box/Private Bag: —
Town/City: AUCKLAND	Postcode: 0604
Phone number: —	Email address: —

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies

- sole** designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design work myself – no other person will be providing any additional memoranda for the project
- lead** designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
- lead** designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memorandum relating to their specific RBW design
- specialist** designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I _____ carried out / supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
All RBW design work relating to B1 <input checked="" type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Foundations and subfloor framing <input checked="" type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies

- sole** designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design work myself – no other person will be providing any additional memoranda for the project
- lead** designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
- lead** designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memorandum relating to their specific RBW design
- specialist** designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I DAVE PEARSON carried out / supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
All RBW design work relating to B1	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	
Foundations and subfloor framing	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input type="checkbox"/> if excluded.	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Walls	<input checked="" type="checkbox"/> NEW INTERIOR WALLS	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	A 101, 102
Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Columns and beams	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Bracing	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Other	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2			
All RBW design work relating to E2	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Damp proofing	<input checked="" type="checkbox"/> <i>WET AREA MEMBRANE</i>	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	<i>A 101</i>
Roof cladding or roof cladding system	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Ventilation system (for example, subfloor or cavity)	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Wall cladding or wall cladding system	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Waterproofing	<input checked="" type="checkbox"/> <i>WET AREA MEMBRANE</i>	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	<i>A 101, 102</i>
Other	<input checked="" type="checkbox"/>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
FIRE SAFETY SYSTEMS: C1 - C6			
Emergency warning systems Evacuation and fire service operation systems <input checked="" type="checkbox"/> Suppression or control systems Other		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.			
WAIVERS AND MODIFICATIONS			
Waivers or modifications of the Building Code are required. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If Yes, provide details of the waivers or modifications below:			
Clause	Waiver/modification required		
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required		

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
FIRE SAFETY SYSTEMS: C1 - C6			
Emergency warning systems Evacuation and fire service operation systems <input checked="" type="checkbox"/> Suppression or control systems Other		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.			

WAIVERS AND MODIFICATIONS	
Waivers or modifications of the Building Code are required. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, provide details of the waivers or modifications below:	
Clause	Waiver/modification required
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required

12
11
10

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: DAVID PEARSON LBP or Registration number: 1561

The practitioner is a: Design LBP Registered architect Chartered professional engineer

Design Entity or Company (optional): DPA ARCHITECTS

Mailing address (if different from below): ^{PO Box} 32318 DEVONPORT

Street address/Registered office: 93 VICTORIA ROAD

Suburb: DEVONPORT Town/City: DUCKLAND

PO Box/Private Bag: 32318 Postcode: 0477

Phone number: 09 445 8544 Mobile: 027 497 2203

After hours: — Fax: —

Email address: DAVE@HERITAGEARCHITECTS.CO.NZ Website: HERITAGEARCHITECTS.CO.NZ

DECLARATION

I, DAVID PEARSON LBP, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code, or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form

Signature: [Signature]

Date: 9 May 2014

Building consent processing cover sheet



Complexity level:	R1	R2	R3	C1	C2	C3	RBW: YES
Consent N°:	ABA - 2014 - 838					Pre-application N°:N/a	
New PIM N°:	N/a					Existing PIM N°:N/a	
Project address:	26 Daffodil Street, TITIRANGI						
Project description:	RBW-RES1 Bathroom addition						

Tick if required	Inputs	Pre-check		RFI		Final approval		
		Date	Print name	Date requested	Date received	Date approved	Initials	Time spent (if required)
<input type="checkbox"/>	Acoustic							
<input type="checkbox"/>	Arborist							
<input type="checkbox"/>	Building ✓	29/05	Erina Huang	09/06/14	16/06/14	18/06/14	EH	
	Compliance schedule	<input type="checkbox"/> Required <input type="checkbox"/> Not required						
<input type="checkbox"/>	Contractor							
<input type="checkbox"/>	Dangerous goods							
<input type="checkbox"/>	Drainage engineer							
<input type="checkbox"/>	Fire & egress							
<input type="checkbox"/>	Geotechnical							
<input type="checkbox"/>	Hazards	S.71 notice <input type="checkbox"/> Required <input type="checkbox"/> Not required						
<input type="checkbox"/>	Health							
<input type="checkbox"/>	HVAC							
<input type="checkbox"/>	Lifts							
<input type="checkbox"/>	NZHPT	<input type="checkbox"/> Required <input type="checkbox"/> Not required						
<input type="checkbox"/>	NZFS	<input type="checkbox"/> Required <input type="checkbox"/> Not required Amount: \$						
<input type="checkbox"/>	Onsite wastewater							
<input type="checkbox"/>	Plumbing & drainage							
<input type="checkbox"/>	Planning							
<input type="checkbox"/>	Resource consent	<input type="checkbox"/> Required <input type="checkbox"/> Not required <input type="checkbox"/> Applied for <input type="checkbox"/> Approved <input type="checkbox"/> S.37 RC#						
<input type="checkbox"/>	Dev. Con	<input type="checkbox"/> Required <input type="checkbox"/> Not required <input type="checkbox"/> DC# Amount: \$						
<input type="checkbox"/>	Pool fencing							
<input type="checkbox"/>	Public safety & traffic							
<input type="checkbox"/>	Re-clad review							
<input type="checkbox"/>	RBW / LBP register	<input type="checkbox"/> Checked <input type="checkbox"/> N/A						
<input type="checkbox"/>	Structural engineer							
<input type="checkbox"/>								
<input type="checkbox"/>	Final vet	<input type="checkbox"/> Approved <input type="checkbox"/> Refused						

Administration check:

<input type="checkbox"/> Advice notes	<input type="checkbox"/> Conditions	<input type="checkbox"/> Attachments	<input type="checkbox"/> Inspection book	<input type="checkbox"/> Inspection #
<input type="checkbox"/> RBW	<input type="checkbox"/> Invoice	<input type="checkbox"/> Final scan	<input type="checkbox"/> Ready for uplift	<input type="checkbox"/> Computer updated <input type="checkbox"/> BC issued
Date:		Print name:		

Building consent processing cover sheet

Complexity level:	R1	R2	R3	C1	C2	C3	RBW: YES
Consent N°:	ABA - 2014 - 838					Pre-application N°:N/a	
New PIM N°:	N/a					Existing PIM N°:N/a	
Project address:	26 Daffodil Street, TITIRANGI						
Project description:	RBW-RES1 Bathroom addition						

Tick if required	Inputs	Pre-check		RFI DUPLICATE			Final approval	
		Date	Print name	Date requested	Date received	Date approved	Initials	Time spent (if required)
<input type="checkbox"/>	Acoustic							
<input type="checkbox"/>	Arborist							
<input type="checkbox"/>	Building							
	Compliance schedule	<input type="checkbox"/> Required <input type="checkbox"/> Not required						
<input type="checkbox"/>	Contractor							
<input type="checkbox"/>	Dangerous goods							
<input type="checkbox"/>	Drainage engineer							
<input type="checkbox"/>	Fire & egress							
<input type="checkbox"/>	Geotechnical							
<input type="checkbox"/>	Hazards	S.71 notice <input type="checkbox"/> Required <input type="checkbox"/> Not required						
<input type="checkbox"/>	Health							
<input type="checkbox"/>	HVAC							
<input type="checkbox"/>	Lifts							
<input type="checkbox"/>	NZHPT	<input type="checkbox"/> Required <input type="checkbox"/> Not required						
<input type="checkbox"/>	NZFS	<input type="checkbox"/> Required <input type="checkbox"/> Not required Amount: \$						
<input type="checkbox"/>	Onsite wastewater							
<input type="checkbox"/>	Plumbing & drainage							
<input checked="" type="checkbox"/>	Planning	27/5/14				5/6/14 BEN PW		
<input checked="" type="checkbox"/>	Resource consent	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Applied for <input type="checkbox"/> Approved <input type="checkbox"/> S.37 RC#						
	Dev. Con	<input type="checkbox"/> Required <input type="checkbox"/> Not required <input type="checkbox"/> DC# Amount: \$						
<input type="checkbox"/>	Pool fencing							
<input type="checkbox"/>	Public safety & traffic							
<input type="checkbox"/>	Re-clad review							
<input type="checkbox"/>	RBW / LBP register	<input type="checkbox"/> Checked <input type="checkbox"/> N/A						
<input type="checkbox"/>	Structural engineer							
<input checked="" type="checkbox"/>	FERINA	5/6/14						
<input type="checkbox"/>	Final vet	<input type="checkbox"/> Approved <input type="checkbox"/> Refused						

Administration check:

<input type="checkbox"/> Advice notes	<input type="checkbox"/> Conditions	<input type="checkbox"/> Attachments	<input type="checkbox"/> Inspection book	<input type="checkbox"/> Inspection #	
<input type="checkbox"/> RBW	<input type="checkbox"/> Invoice	<input type="checkbox"/> Final scan	<input type="checkbox"/> Ready for uplift	<input type="checkbox"/> Computer updated	<input type="checkbox"/> BC issued
Date:		Print name:			

Checklist for building consent document preparation

Residential, commercial & minor P & D

 Application Number: ABA-2014-838

The following should be checked on all consents:

1. **Section 71 (building on land subject to natural hazards)** – will be noted on process sheets - should have been to Legal Services and fees charged;
2. **Section 75 (construction of building on 2 or more allotments)** – will be noted on process sheets - should have been to Legal Services and fees charged;
3. **Second hand materials used**
4. **Consent for more than one unit**
5. **Swimming / Spa Pool** – check for pool fencing guidelines, F02 inspection, inspection
6. **Compliance schedule** – Check SPECSYS Printed
7. **If all required fees have been paid the building consent can be issued** – attach post-it note for the counter and for Payment under \$500.00 or an A/C with Council

HARDCOPY FILES

- | | | |
|-------------------------------------|----|--|
| <input checked="" type="checkbox"/> | 1. | Check all "Finalled" |
| <input checked="" type="checkbox"/> | 2. | Duplicate Only: Remove process sheet and checklists. |
| <input checked="" type="checkbox"/> | 3. | Original Only – Place amendment on top. Check Superseded plans placed at back of file |

PATHWAY

- | | | |
|-------------------------------------|----|--|
| <input checked="" type="checkbox"/> | 4. | Location Maintenance – Check against application form. |
| <input checked="" type="checkbox"/> | | Names Maintenance - C/- address and owners name should be showing. |
| <input checked="" type="checkbox"/> | | Dates – Delete To Be Commenced By date. |
| <input checked="" type="checkbox"/> | | Fees – Are there any outstanding upfront fees or overpayments or underpayments. |
| <input checked="" type="checkbox"/> | | Building Categories – Check for BT minor development categories. |
| <input checked="" type="checkbox"/> | | NZ Building Stats – Check Project Value, Intended Life, work types, floor area etc. |
| <input checked="" type="checkbox"/> | | Check VXG required? |

Conditions Maintenance

- | | | |
|-------------------------------------|----|---|
| <input checked="" type="checkbox"/> | 5. | Conditions - Check advice notes |
| <input checked="" type="checkbox"/> | | Section 37 – Is stop scheduling Inspections box ticked? Have planning seen FIR? |
| <input checked="" type="checkbox"/> | | Check urgent memo entered to warn the call centre not to book inspections. |
| <input checked="" type="checkbox"/> | 6. | Inspections – Charge for site inspections only. (4) |

CALCULATE FEES

- | | | |
|-------------------------------------|----|---|
| <input checked="" type="checkbox"/> | 7. | Check the Debtor and Receipt, Prepayment |
| <input checked="" type="checkbox"/> | 8. | Close time recording tasks – check for hours, rate, activity code and billable tick.
Enter Doc Prep time for Process Support, Document Management fee, Counter issue time |

<input checked="" type="checkbox"/>	9.	Are Building Levies required Accreditation Fee	n/a under \$20,000
<input checked="" type="checkbox"/>	10.	Complete Time Cost Sheet .	
<input checked="" type="checkbox"/>	11.	Has a Fees Audit been carried out by a Team Leader ?	
<input type="checkbox"/>	12.	Invoice processing cost and reverse deposit.	
<input type="checkbox"/>	13.	Enter any fees to be paid at issue stage and Dev Con	
<input type="checkbox"/>	14.	Print GTD fees letter(s) .	
<input type="checkbox"/>	15.	Double check the total outstanding on letter against time cost sheet.	
Workflow - Continue Document Preparation task			
<input checked="" type="checkbox"/>	16.	Related Applications / Licenses - Have all additional actions been taken?	
<input checked="" type="checkbox"/>	17.	PIM - Action on the related application. Generate, format and print. Complete workflow & check fees.	
<input checked="" type="checkbox"/>	18.	Advice notes - Check formatting and print.	
<input checked="" type="checkbox"/>	19.	Application status - Should now show as Approved for Issue (or Refused) .	
<input checked="" type="checkbox"/>	20.	Section 37 Certificate - Check and print.	
<input checked="" type="checkbox"/>	21.	Development Contribution Notice - Check and print.	
Finishing Off			
<input checked="" type="checkbox"/>	22.	Scan and attach Time Cost sheet , time recording report	
<input checked="" type="checkbox"/>	23.	Insert & start Pickup task .	
<input checked="" type="checkbox"/>	24.	Update Process sheet .	
<input checked="" type="checkbox"/>	25.	Complete Clipboard showing consents waiting to be collected by Counter.	

Signed

ym

Dated

23.6.14

Residential processing checklist

Address:	26 Daffodil Street, Titigangi		Consent N°:	ABA-2014-838	
Processed by:	Erina Huang		Date:	30/05/14 RFI 1 received: 16/06/14 RFI 2: 17/06/14 RFI 2 received: 17/06/14	
Description of work:	RES 1: New bathroom addition.				
Corrosion zone	Zone C	Wind zone	Low		
Project complexity	RES 1	Processors competency	RES 1 (Dev)		
Purpose group	SH	Application:	<input checked="" type="checkbox"/> Building consent	<input type="checkbox"/> Amends	
LBP N°: (Eng)	N/A	LBP N°: (Design)	Registered Architect: David Pearson #1561		

PIM / PIC (list any non-standard issues raised in the PIM that affect this application to show they have been considered)

None recorded for this site.

Means of Compliance

NZS3604:2011 SED NASH NZS4229 Other

SED elements included in this application

<input type="checkbox"/> Foundations (pile)	<input type="checkbox"/> Floor (timber subfloor)	<input type="checkbox"/> Verandah beams	<input type="checkbox"/> Swimming pool
<input type="checkbox"/> Foundations (strip)	<input type="checkbox"/> Floor (timber mid-floor)	<input type="checkbox"/> Barriers	<input type="checkbox"/> Solar water heating
<input type="checkbox"/> Masonry walls	<input type="checkbox"/> Wall framing / bracing	<input type="checkbox"/> Wastewater	<input type="checkbox"/> Lift / Cable car
<input type="checkbox"/> Floor (slab)	<input type="checkbox"/> Lintels / portals	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Conservatory
<input type="checkbox"/> Retaining walls	<input type="checkbox"/> Roof framing / bracing	<input type="checkbox"/> Solid fuel heater	<input type="checkbox"/> Other (list below)

B2 Durability

Concrete strength (Mpa)	Timber treatment	Flashings and fixings
<input type="checkbox"/> 17.5 <input type="checkbox"/> 20 <input type="checkbox"/> 25 <input type="checkbox"/> 30	<input type="checkbox"/> H1.2 <input checked="" type="checkbox"/> H3.2 <input type="checkbox"/> H5	<input checked="" type="checkbox"/> Type <input checked="" type="checkbox"/> Compatibility <input checked="" type="checkbox"/> Fixings

Additional checklists attached

SFH Solar Ancillary buildings Pool Re-clad On-site wastewater
 Other (list)

N/A

Site plan <i>(items must be shown on plans)</i>	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Siting dimensions 3 minimum shown on site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: Please provide site plan and existing basement floor plan. RFI received 16/06/14: Information provided – refer to drawing A103.	
Minimum (floor and finished ground) levels shown on site plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Datum / contours	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
All building works shown on site plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> Garage <input type="checkbox"/> Deck <input type="checkbox"/> Pool <input type="checkbox"/> Outbuildings <input type="checkbox"/> Ret walls	
Main access to building shown on site plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Public & private drainage shown on site plan <input checked="" type="checkbox"/> Location <input checked="" type="checkbox"/> Connections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: Please provide public & private drainage (location and connections) shown on site plan. RFI received 16/06/14: Information provided – refer to drawing A103.	
Erosion and sediment control plan provided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

B1 Structure Landscape retaining walls	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Construction details <input type="checkbox"/> Footings <input type="checkbox"/> Wall construction <input type="checkbox"/> Height	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Drainage <input type="checkbox"/> Clear of public drains <input type="checkbox"/> Gess pit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/> Drainage medium <input type="checkbox"/> Protection <input type="checkbox"/> Tanking <input type="checkbox"/> Product register checked	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Surcharge	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Masonry type <input type="checkbox"/> A <input checked="" type="checkbox"/> B <input type="checkbox"/> C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Barrier (safety from falling)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

B1 Structure Strip footings	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Footings <input type="checkbox"/> Depth <input type="checkbox"/> Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Horizontal reinforcing <input type="checkbox"/> Size <input type="checkbox"/> C/s	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Vertical reinforcing / starters <input type="checkbox"/> Size <input type="checkbox"/> C/s	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Steps in foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

B1 Structure Piles, pads and posts	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Pile foundation plan <input type="checkbox"/> Depth <input type="checkbox"/> Size <input type="checkbox"/> C/s <input type="checkbox"/> Point loads	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Column and posts foundations / pads <input type="checkbox"/> Depth <input type="checkbox"/> Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Pile height <input type="checkbox"/> 150 mm minimum <input type="checkbox"/> 3.0m maximum	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

Anchor / braced piles <input type="checkbox"/> Ftg size <input type="checkbox"/> Height <input type="checkbox"/> Connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Driven piles <input type="checkbox"/> SED <input type="checkbox"/> NZS3604 <input type="checkbox"/> Condition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DRAFT

B1 Structure Masonry, concrete and retaining walls	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Wall height <input type="checkbox"/> Minimum <input type="checkbox"/> Maximum	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Vertical reinforcing (starters) <input type="checkbox"/> Size <input type="checkbox"/> C/s	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Horizontal reinforcing (bond beam) <input type="checkbox"/> Size <input type="checkbox"/> C/s <input type="checkbox"/> Block size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Masonry type <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> Surcharge	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Split level <input type="checkbox"/> Drainage <input type="checkbox"/> Tanking <input type="checkbox"/> Strapped & lined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

B1 Structure Slab	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Type: <input type="checkbox"/> SED (PS1) (PS2) <input type="checkbox"/> NZS3604 <input type="checkbox"/> Slab-on-grade <input type="checkbox"/> Raft <input type="checkbox"/> Suspended floor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Edge beam, ribs, starters	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Base preparation / hard-fill <input type="checkbox"/> 75mm min <input type="checkbox"/> 600mm max <input type="checkbox"/> Sand	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Slab (thickness)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Membrane (type)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Plumbing pipes <input type="checkbox"/> Fall <input type="checkbox"/> Thickenings (X-check truss plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Shrinkage control <input type="checkbox"/> Free joints <input type="checkbox"/> Internal corners <input checked="" type="checkbox"/> Max. length	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Mesh (type) <input type="checkbox"/> 500E	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Point loads pads / slab thickenings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Additions Connection to existing slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

B1 Structure Subfloor framing and bracing	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Subfloor bracing calculations <input type="checkbox"/> Zone <input type="checkbox"/> Demand <input type="checkbox"/> Capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Subfloor bracing plan indicating <input type="checkbox"/> Type <input type="checkbox"/> Location <input type="checkbox"/> Length <input type="checkbox"/> 5.0m c/s <input type="checkbox"/> 4 min <input type="checkbox"/> Evenly distributed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
2-storey (height vs. width)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Diaphragms <input type="checkbox"/> > 100 Bus <input type="checkbox"/> Location <input type="checkbox"/> Limitations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Bearers <input type="checkbox"/> Size <input type="checkbox"/> C/s <input type="checkbox"/> Span <input type="checkbox"/> Point loads <input type="checkbox"/> C/L <input type="checkbox"/> Load <input type="checkbox"/> Fixing to foundation walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Joists <input type="checkbox"/> Size <input type="checkbox"/> C/s <input type="checkbox"/> Span <input type="checkbox"/> Point loads <input type="checkbox"/> C/L <input type="checkbox"/> Load <input type="checkbox"/> Penetrations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Cantilever joist <input type="checkbox"/> 2.4m max. height <input type="checkbox"/> Support for L/B walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

Lateral support	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Mid-span <input type="checkbox"/> Blocking <input type="checkbox"/> Bracing lines	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DRAFT

B1 Structure Subfloor framing and bracing	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Flooring <input type="checkbox"/> Thickness <input type="checkbox"/> Clearances <input type="checkbox"/> Type	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Base cladding <input type="checkbox"/> Type <input type="checkbox"/> Support <input type="checkbox"/> Access <input type="checkbox"/> Ventilation <input type="checkbox"/> Crawlspace <input type="checkbox"/> Vermin proofing <input type="checkbox"/> Obstructions <input type="checkbox"/> Large area <input type="checkbox"/> Ltd x-flow	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Provision for surface water runoff sloping sites	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

B1 Structure Mid-floor	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Structure/load path Beams/Posts: <input type="checkbox"/> SED <input type="checkbox"/> Timber <input type="checkbox"/> Steel <input type="checkbox"/> Flitch <input type="checkbox"/> Engineered timber <input type="checkbox"/> Suspended concrete	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Joists <input type="checkbox"/> C/L <input type="checkbox"/> Floor load <input type="checkbox"/> Penetrations <input type="checkbox"/> Size <input type="checkbox"/> C/s <input type="checkbox"/> Span <input type="checkbox"/> Point loads	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Flooring <input type="checkbox"/> Type <input type="checkbox"/> Diaphragm	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		

B1 Structure Deck construction (ground floor or external decks above ground floor)	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Piles <input type="checkbox"/> Size <input type="checkbox"/> Depth <input type="checkbox"/> C/s <input type="checkbox"/> Height	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Bearer <input type="checkbox"/> 2.0 kPa <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> C/s <input type="checkbox"/> C/L	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Joists <input type="checkbox"/> 2.0 kPa <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> C/s <input checked="" type="checkbox"/> C/L <input type="checkbox"/> Saddle flashings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Decking material <input type="checkbox"/> Slip resistance <input type="checkbox"/> Type <input type="checkbox"/> Fixings <input type="checkbox"/> FFL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Stringer <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> Fixings <input type="checkbox"/> Air-gap	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Subfloor deck bracing if >2.0m in width	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Slab / patio <input type="checkbox"/> Connection to slab <input type="checkbox"/> FFL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Barrier construction <input type="checkbox"/> SED <input type="checkbox"/> Materials <input type="checkbox"/> Fixings <input type="checkbox"/> Openings <input type="checkbox"/> Height	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Stairs and landings <input type="checkbox"/> Type <input type="checkbox"/> Tread <input type="checkbox"/> Riser <input type="checkbox"/> Pitch <input type="checkbox"/> Openings <input type="checkbox"/> Slip resistance <input type="checkbox"/> Handrail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

B1 Structure Framing – lower of two	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Bottom plate <input type="checkbox"/> Size <input type="checkbox"/> Fixings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Top plate <input type="checkbox"/> Size <input type="checkbox"/> Point loads	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Studs and trimmers <input type="checkbox"/> Size <input type="checkbox"/> Height <input type="checkbox"/> C/s <input type="checkbox"/> Point loads	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Gable end framed for cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Uplift fixings detailed for studs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

Lintels / beams	<input type="checkbox"/>	Point loads	<input type="checkbox"/>	Fixing details	<input type="checkbox"/>				
Size	<input type="checkbox"/>	Span	<input type="checkbox"/>	Uplift	<input type="checkbox"/>	C/L			

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B1 Structure Framing – ground or upper floor	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Bottom plate <input type="checkbox"/> Size <input type="checkbox"/> Fixings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Top plate <input type="checkbox"/> Size <input type="checkbox"/> Point loads	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Studs and trimmers <input type="checkbox"/> Size <input type="checkbox"/> Height <input type="checkbox"/> C/s <input type="checkbox"/> Point loads	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Gable end framed for cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Uplift fixings detailed for studs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Lintels / beams <input type="checkbox"/> Point loads <input type="checkbox"/> Fixing details <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> Uplift <input type="checkbox"/> C/L	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

B1 Structure Wall bracing (all floors)	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Wall bracing calculations <input type="checkbox"/> Zone <input type="checkbox"/> Demand <input type="checkbox"/> Capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Wall bracing plan indicating <input type="checkbox"/> Type <input type="checkbox"/> Location <input type="checkbox"/> Length	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Bracing capacity external walls <input type="checkbox"/> >100 BU <input type="checkbox"/> 50% demand <input type="checkbox"/> 15 BUs / m	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Bracing capacity internal walls <input type="checkbox"/> > 100 Bus <input type="checkbox"/> 50% total demand	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Location of bracing elements <input type="checkbox"/> 6.0m c/s <input checked="" type="checkbox"/> Evenly distributed <input type="checkbox"/> Wings <input checked="" type="checkbox"/> Blocks <input type="checkbox"/> Wet areas <input type="checkbox"/> Split, or discontinuous levels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Dragon ties to extend brace lines to 7.5m <input type="checkbox"/> > 100 Bus <input type="checkbox"/> Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Ceiling diaphragm <input type="checkbox"/> > 100 Bus <input checked="" type="checkbox"/> Location <input type="checkbox"/> Limitations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

B1 Structure Roof and ceiling framing	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Roof type (pitch) <input type="checkbox"/> Pitched <input type="checkbox"/> Trussed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Trusses <input type="checkbox"/> Design statement <input type="checkbox"/> Software statement <input type="checkbox"/> Truss layout	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Roof bracing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Rafter / ridge beam <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> Support <input type="checkbox"/> Fixings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Skillion roof <input type="checkbox"/> Type <input type="checkbox"/> Thickness <input type="checkbox"/> Fixing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Purlin / tile batten (size, fixing, span, spacing) <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> C/s <input type="checkbox"/> Fixings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Membrane roof framing (joists) <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> C/s <input type="checkbox"/> Fixings <input type="checkbox"/> Fall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Ceiling battens <input type="checkbox"/> Size <input type="checkbox"/> Span <input type="checkbox"/> C/s <input type="checkbox"/> Fixings <input type="checkbox"/> Ceiling lining	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

C Documents - Fire safety	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Means of compliance <input checked="" type="checkbox"/> C/AS1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Escape height <input checked="" type="checkbox"/> Under 10m	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Two storeys.	
Escape paths <input checked="" type="checkbox"/> Open <input checked="" type="checkbox"/> Dead end	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: No site plan shown. RFI received 16/06/14: Site Plan provided – refer to drawing A 103. Escape path Open/Dead End < 25m.	
External wall ≤1.0 to boundary	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Eaves ≤650mm to boundary	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
FRR construction <input type="checkbox"/> Details on plans <input type="checkbox"/> No foamed plastics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Non-combustible surfaces (appliances)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Non-combustible surfaces (chimneys)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

D1 Access (internal and external)	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Stairs / slip resistance <input type="checkbox"/> Internal <input type="checkbox"/> External <input type="checkbox"/> Type <input type="checkbox"/> Tread <input type="checkbox"/> Pitch <input type="checkbox"/> Riser	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Landings top and bottom of all stairs and ramps <input type="checkbox"/> Handrails provided to stairs > 3 risers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Stairwell <input type="checkbox"/> Width <input checked="" type="checkbox"/> Height	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

D2 Lifts or cable cars	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Design calculations and specifications <input type="checkbox"/> D2/AS1 <input type="checkbox"/> EN/81 <input type="checkbox"/> PS2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

E1 Surface water	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Sediment and erosion control plans provided	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Overflow path / runoff to other land <input type="checkbox"/> Flood report	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Downpipes and external gutters <input type="checkbox"/> N° <input type="checkbox"/> Size <input type="checkbox"/> Distribution <input type="checkbox"/> Spreaders	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Stormwater run-off (paved areas >10 m ²) <input type="checkbox"/> Cesspit size <input type="checkbox"/> Cut-off drain garage / basement	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Stormwater drainage <input type="checkbox"/> Public <input type="checkbox"/> Detention tank <input type="checkbox"/> Rainwater tank	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Public drains affected / approval <input type="checkbox"/> Approval <input type="checkbox"/> Easements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

E2 External moisture	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		

Building subject to re-clad policy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Send to re-clad team for review				
E2 risk matrix (confirm and note score)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

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E2 External moisture	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Wall cladding (type) <input type="checkbox"/> E2/AS1 <input type="checkbox"/> Alt. Solution <input type="checkbox"/> Maintenance and installation details	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Wall cladding clearances <input type="checkbox"/> Ground <input type="checkbox"/> Deck <input type="checkbox"/> Wall <input type="checkbox"/> Roof	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Building wrap <input type="checkbox"/> Type <input type="checkbox"/> Compatibility <input type="checkbox"/> Strapping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Air barrier <input type="checkbox"/> Rigid <input type="checkbox"/> Non-rigid	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Cavity battens <input type="checkbox"/> Size <input type="checkbox"/> Type <input type="checkbox"/> Fixing <input type="checkbox"/> Vermin proof	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Window details <input type="checkbox"/> E2/AS1 <input type="checkbox"/> Wanz Wis <input type="checkbox"/> Alt. Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Wall junction details <input type="checkbox"/> E2/AS1 <input type="checkbox"/> SED <input type="checkbox"/> Alt. Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Barge, fascia, spouting to wall junction details <input type="checkbox"/> E2/AS1 <input type="checkbox"/> SED <input type="checkbox"/> Alt. Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Internal gutters and roof penetrations <input type="checkbox"/> Slope <input type="checkbox"/> Size <input type="checkbox"/> Scupper <input type="checkbox"/> Overflow <input type="checkbox"/> Flashing details for roof penetrations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Control joints / junctions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Flashing details <input type="checkbox"/> E2/AS1 <input type="checkbox"/> Alt. Solution <input type="checkbox"/> Roof <input type="checkbox"/> Wall <input type="checkbox"/> Pergola <input type="checkbox"/> Chimney <input type="checkbox"/> Apron <input type="checkbox"/> Pipes <input type="checkbox"/> Joinery <input type="checkbox"/> Meter box	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Parapets / enclosed barriers <input type="checkbox"/> Framing <input type="checkbox"/> Cap <input type="checkbox"/> Drainage <input type="checkbox"/> Junctions <input type="checkbox"/> Slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Internal decks <input type="checkbox"/> Joists <input checked="" type="checkbox"/> Slope <input type="checkbox"/> Junctions <input type="checkbox"/> Drainage <input type="checkbox"/> FFL <input type="checkbox"/> Air-gap <input type="checkbox"/> Fixings <input type="checkbox"/> Saddle <input checked="" type="checkbox"/> 2 nd floor limitations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		NB - no direct fixed tiles permitted
Roof cladding / underlay (type) <input type="checkbox"/> E2/AS1 <input type="checkbox"/> Alt. Solution <input type="checkbox"/> Maintenance and installation details	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Membrane substrate (type) <input type="checkbox"/> E2/AS1 <input type="checkbox"/> Alt. Solution <input type="checkbox"/> Thickness <input type="checkbox"/> Fixing <input type="checkbox"/> Venting <input type="checkbox"/> Control joints	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

E3 Internal moisture	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Waterproofing (type) <input checked="" type="checkbox"/> Product register checked	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	GIB Aqualine – Wet Area System The Wet-seal System waterproofing membrane.	
Ventilation / condensation control	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: Please provide ventilation/condensation control detail. RFI received 16/06/14: Information noted on drawing A101 – provide Mechanical Vent to wall.	
Showers, urinals, baths – impervious surfaces <input checked="" type="checkbox"/> Walls <input checked="" type="checkbox"/> Floors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: Please confirm for single skin normal weight masonry based wall construction without a cavity R-values 0.6 – refer to NZBC E3/AS1 1.1.1(b). RFI received 16/06/14: Information noted on drawing A101. Wall R-values 0.6 complies as NZBC E3/AS1 1.1.1(b). Walls: Ceramic tiles on waterproof membrane. Floors: Floor tiles on waterproof membrane.	

Wall junction to fixtures <input checked="" type="checkbox"/> Bath <input type="checkbox"/> Basin <input type="checkbox"/> Sink	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overflow provision (other property)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

F1 Hazardous agents on site	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Contamination checked on PIR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

F2 Hazardous building materials	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
<input type="checkbox"/> F2/AS1 <input type="checkbox"/> NZS4223.3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/> Asbestos products	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Glazing <input type="checkbox"/> Visible <input type="checkbox"/> Type	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Safety glass <input type="checkbox"/> Shower <input type="checkbox"/> Skylights <input type="checkbox"/> Barriers <input type="checkbox"/> Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

F4 Safety from falling	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Lower edge window 760mm above FL <input type="checkbox"/> Restrictors if opening width <1.0m <input type="checkbox"/> Barrier if opening width >1.0m	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Barrier construction details (stairs) <input type="checkbox"/> Height <input type="checkbox"/> SED <input type="checkbox"/> Balusters <input type="checkbox"/> Palings <input type="checkbox"/> Openings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

F7 Warning systems	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Smoke alarms shown on plan <input type="checkbox"/> Type <input checked="" type="checkbox"/> Location	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: Please confirm smoke alarm status in existing building as per F7/AS1. RFI received 16/06/14: Smoke Alarm installed within 3m of each room complies as per F7.	

G1 Personal hygiene	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Suitable facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Suitable facilities complies as per NZBC G1/AS1.	
Basins provided within / in adjacent space of WC	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Basins provided within/ in adjacent space of WC complies as per NZBC G1/AS1.	
Minimum room size (WC)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum room size for WC pans complies as per NZBC G1/AS1 – Figure 4.	

G2 Laundering	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Laundering facilities provided to Table 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Working space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Impervious surfaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

G3 Food preparation and prevention of contamination	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Cooker, oven, fridge, food storage space provided <input type="checkbox"/> Work space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

Prep bench and sink provided <input type="checkbox"/> Size <input type="checkbox"/> Capacity <input type="checkbox"/> Surface finishes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
G4 Ventilation	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Natural ventilation 5% of floor area	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Laundry / WC <input type="checkbox"/> Natural <input type="checkbox"/> Mechanical	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Ensuite / Bathroom <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Mechanical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: Please provide Mechanical ventilation system. RFI received 16/06/14: Information noted on Drawing A101 - Provide mechanical vent to wall.	
Fumes and odours collection / disposal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Ventilation for gas appliances <input type="checkbox"/> Hob <input type="checkbox"/> Bayonet <input type="checkbox"/> HWC	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
G6 Airborne and impact sound	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
STC 55 between household units <input type="checkbox"/> Type <input type="checkbox"/> System <input type="checkbox"/> Construction details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
G7 Natural light	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Windows <input type="checkbox"/> 10% of floor area <input type="checkbox"/> 50% clear to habitable area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Restricted light <input type="checkbox"/> Daylight angle <input type="checkbox"/> Reflectance finishes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Awareness of outdoor environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
G9 Electricity	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Energy works certificate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Energy Work Certificate to be provided on Advise Note.	
G10 – G11 Piped services & gas as an energy source	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Energy works certificate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Specifications	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Ventilation of appliances <input type="checkbox"/> Heating <input type="checkbox"/> Cooking <input type="checkbox"/> Hot water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Location and size of gas cylinders <input type="checkbox"/> Windows <input type="checkbox"/> Drains <input type="checkbox"/> Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
G12 Water supplies	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Water supply (potable) <input checked="" type="checkbox"/> Town <input type="checkbox"/> Rainwater <input type="checkbox"/> Bore <input type="checkbox"/> Other	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI: Please confirm the water supply details – refer to NZBC G12.3.5. RFI received 16/06/14: Information noted on Drawing A101 – Contractor to locate and provide water supply to all fixtures and fittings as per NZBC G12 Hot & Cold Water.	
HWC type <input type="checkbox"/> Mains <input type="checkbox"/> Low <input type="checkbox"/> Solar (attach checklist) <input type="checkbox"/> Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
HWC location <input type="checkbox"/> Internal <input type="checkbox"/> External	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

HWC / header tank in roof space <input type="checkbox"/> Access <input type="checkbox"/> Support <input type="checkbox"/> Overflow	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Operating devices and valves <input type="checkbox"/> Backflow <input type="checkbox"/> Other	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

G13 Foul water	Decision			Reasons for decision / comments	N/A <input type="checkbox"/>
	Yes	RFI	N/A		
Drainage layout and / or schematic <input checked="" type="checkbox"/> G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Overflow relief gully / gully trap <input checked="" type="checkbox"/> Gully trap <input checked="" type="checkbox"/> ORG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Connect to existing ORG.	
Stacks and vents <input type="checkbox"/> Systems <input type="checkbox"/> Size <input type="checkbox"/> Fall <input type="checkbox"/> Material	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Discharge pipes <input type="checkbox"/> Material <input type="checkbox"/> Falls <input type="checkbox"/> Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RFI-17/06/14 : Please confirm the level of ORG, show how to achieve it and comply with NZBC G13? AND the Gradients of Vanity waste pipe 40 & new 80 Upvc waste. RFI received 17/06/14: The ORG is lower than the new waste pipes as the waste pipe will come out of the wall slightly above floor level then turned into the ground, worked out on site to comply with G13. The gradients exceed 1 in 60 with the depth of the gully trap.	
Combined waste / storm water systems <input checked="" type="checkbox"/> Separated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Drainage connections <input type="checkbox"/> Invert level <input type="checkbox"/> Reflux valve	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Connect to existing sewer line.	

G13 Foul water	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Angle of influence <input type="checkbox"/> Depth and proximity of drain to building	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Sewer under or within 2.0m of building <input type="checkbox"/> Drainage engineering approval	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Drains entering other properties <input type="checkbox"/> Neighbour's approval / easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Onsite effluent system (type) <input type="checkbox"/> attach checklist	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

G15 Solid waste	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Space and access at ground level for refuse	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

H1 Energy efficiency	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Means of compliance <input type="checkbox"/> H1/AS1 <input type="checkbox"/> NZS4218 <input type="checkbox"/> NZS4214	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Method <input type="checkbox"/> Schedule <input type="checkbox"/> Calculation <input type="checkbox"/> Modelling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Insulation type and R values detailed on plans <input type="checkbox"/> Sub floor <input type="checkbox"/> Walls <input type="checkbox"/> Ceiling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Insulation 25mm clearance from underside of roofing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Glazing requirements <input type="checkbox"/> Single <input type="checkbox"/> Double	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Thermal break to metal framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

Thermal break to metal framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Hot water system insulated <input type="checkbox"/> H1/AS1 Section 5 NZS4305	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Garages included / excluded <input type="checkbox"/> Included min. R-value 1.5 (E3/AS1)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

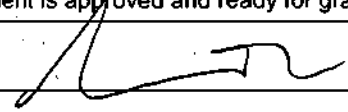
Producer statements / certificates required	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
Risk level (AC2303) <input type="checkbox"/> Low <input type="checkbox"/> Medium	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Geotechnical / structural	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Other (list)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

Requests for further information	N/A <input type="checkbox"/>	Decision		Date requested	Date resolved	Signed
		Yes	N/A			
Information requested		<input checked="" type="checkbox"/>	<input type="checkbox"/>	09/06/14	16/06/14	
Information requested		<input checked="" type="checkbox"/>	<input type="checkbox"/>	17/06/14	17/06/14	

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Building Act matters	Decision			Reasons for decision / comments	N/A <input checked="" type="checkbox"/>
	Yes	RFI	N/A		
S.67 Waivers and modifications	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
S.72 Hazards (stability / flooding) <input type="checkbox"/> Condition <input type="checkbox"/> Registration on title	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> Attach checklist	
S.75 Building on 2 or more allotments <input type="checkbox"/> Condition <input type="checkbox"/> Registration on title	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
S.84 Restricted building work	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
S.112 Alterations to existing buildings <input type="checkbox"/> Complies to same extent as before alts <input type="checkbox"/> Escape paths	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	New bathroom addition.	
S.113 Specified intended life	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
S.115 Change of use	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
S.116A Subdivisions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

Final check / sign off	Decision		Final check / sign off	Decision	
	Yes	N/A		Yes	N/A
Agreement to provide PS 3 & 4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Development contribution (Form 3)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Document sets collated and stamped	<input checked="" type="checkbox"/>	<input type="checkbox"/>	S.72 lodged with LINZ	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Superseded plans separated / retained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	S.75 lodged with LINZ	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other checklists attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Modification / Waiver (to Mgr. Durability)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plans signed by engineer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inspection requirements identified	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Structural / geotechnical engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	LBP; NZRAB (NZIA); CPeng registers checked	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public drainage / approvals	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Conditions completed	<input checked="" type="checkbox"/>	<input type="checkbox"/>
PIM issues resolved	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Computer tasks completed	<input checked="" type="checkbox"/>	<input type="checkbox"/>
RMA issues (Form 4)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	File handed onto admin / invoicing	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Final sign off (signature)	Yes	No
I am satisfied on reasonable grounds that compliance has been established with the Building Code and the building consent / amendment is approved and ready for granting	<input type="checkbox"/>	<input type="checkbox"/>
Building: 	Date:	18/6/14
P & D:	Date:	

Supervision (signature)	<input type="checkbox"/> N/A
Supervisor: 	Date: 18/6/14

If supervised, supervision form must be completed and forwarded to BCaudits@aucklandcouncil.govt.nz

Record of direct supervision 'processing'



Supervision

Assessment

Trainees name:	Erina Huang
Supervisor / Assessor name:	SWATI GUPTA
Consent number:	ABA - 2014 - 838
Description of building consent:	RES 1 : Bathroom addition
Application type:	<input type="checkbox"/> Amendment <input checked="" type="checkbox"/> Building consent
Complexity level:	<input checked="" type="checkbox"/> R1 <input type="checkbox"/> R2 <input type="checkbox"/> R3 <input type="checkbox"/> C1 <input type="checkbox"/> C2 <input type="checkbox"/> C3
Discipline:	<input checked="" type="checkbox"/> Building <input type="checkbox"/> Plumbing and drainage


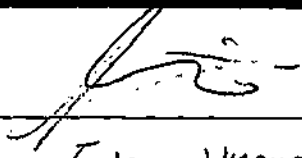
N°:	Tasks:	Yes	No	N/A
1	Reviews application and familiarises themselves with proposal before starting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Understands what the application is about and what needs to be considered	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Has correct checklist and commences assessment in logical and methodical manner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Has checked and confirmed project complexity level	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5	Has checked and confirmed plans are numbered, version controlled, are to scale, etc	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6	Has checked and confirmed contents of PIM/PIC for any implications	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7	Has correctly referenced and checked relevant tables, figures, etc to determine compliance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Have RFI's been clearly articulated, addressed and signed off with appropriate reasons noted	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9	Have revised plans been superseded and retained on file	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10	Have procedures been followed in respect to producer statements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11	Have consent conditions been agreed to, if applicable (PS3, PS4)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12	Have procedures been followed in respect to alternative solutions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13	Advice notes appropriate for this application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

14	Have inspections been properly assessed for the type of construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	If plans have been endorsed, has reason for decision been documented (i.e. email or phone call record giving approval to action)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16	Have all processes been signed off by appropriate disciplines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17	Have all computer tasks been completed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18	Asked supervisor for clarification on any issues during or after processing completed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19	Identified and managed risks associated with application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Reasons for decision (please record reasons for decision referencing the task number, overview of trainees performance, any issues identified, items missed, learning outcomes or training needs identified during this review)

	The content was processed competently
	Trainee discussed the file while processing

Outcome:	Yes	No
The trainee has competently processed the application	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Supervisor / Assessor	Trainee
Signature		
Name	Swati Gupta	Enha Huang
Title	Senior Building Processor	Building Control Processor
Date	18/6/14	18/6/14

Direct supervision means that the trainee has insufficient competence to process building consent and sign off application independently. Processing is completed under direct supervision of Team Leader or Peer.

When completed, please email as an attachment to: BCAudits@aucklandcouncil.govt.nz



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy


R.W. Muir
Registrar-General
of Land

Identifier NA22D/1302
Land Registration District North Auckland
Date Issued 06 June 1972

Prior References
NA7B/1248

Estate Fee Simple
Area 789 square metres more or less
Legal Description Lot 93 Deposited Plan 55504

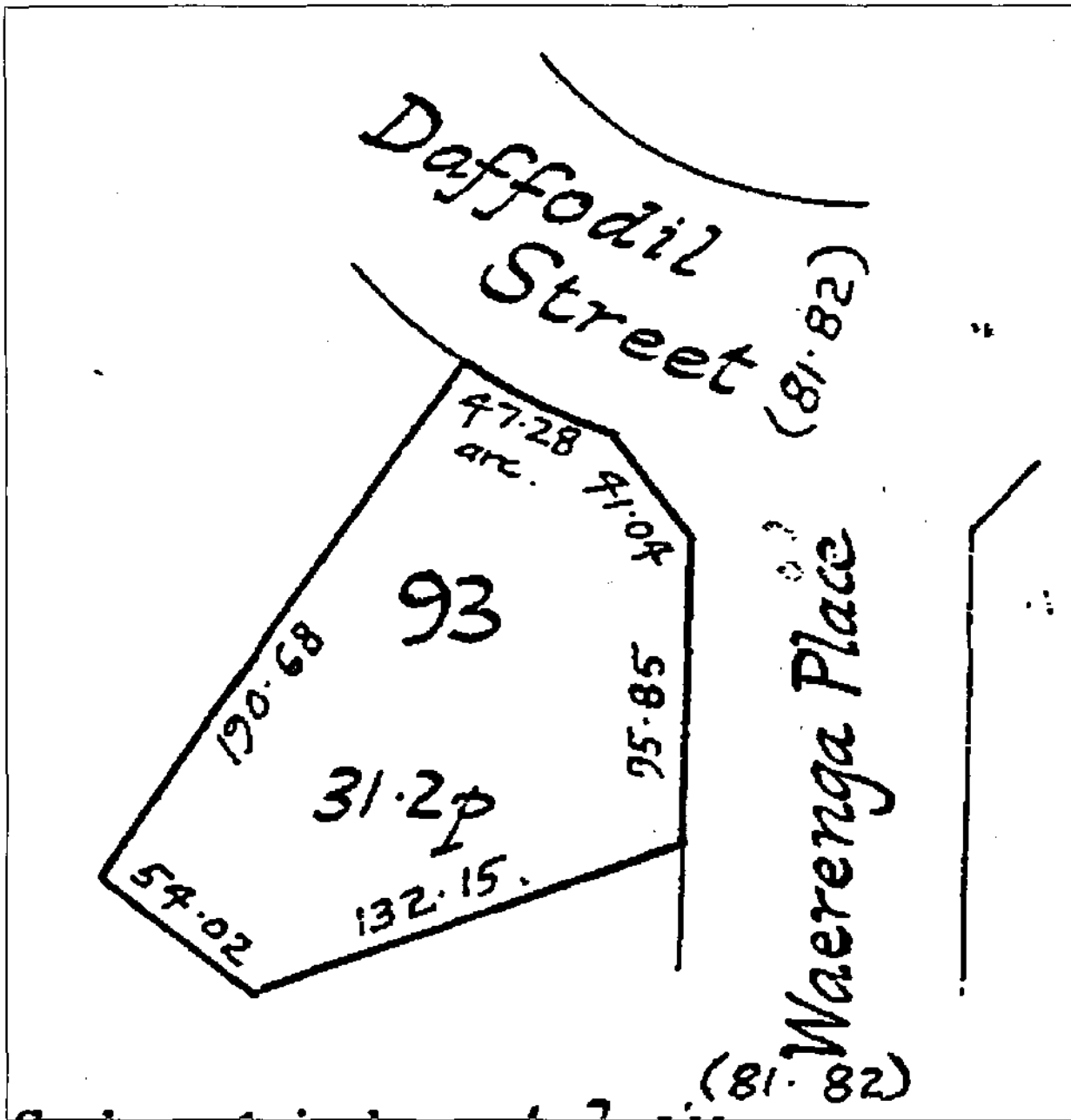
Proprietors
Philip James Ayers and Monica Joan Ayers

Interests

Subject to a drainage right (in gross) in favour of The Waitemata County Council created by Transfer 536117
A96953 Building Line Restriction
9689542.2 Mortgage to Kiwibank Limited - 23.4.2014 at 3:47 pm

Identifier

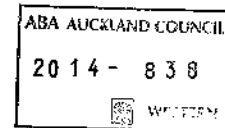
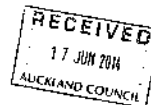
NA22D/1302



Daffodil Street

26 Daffodil Street, Titirangi

Bathroom Addition
Building consent

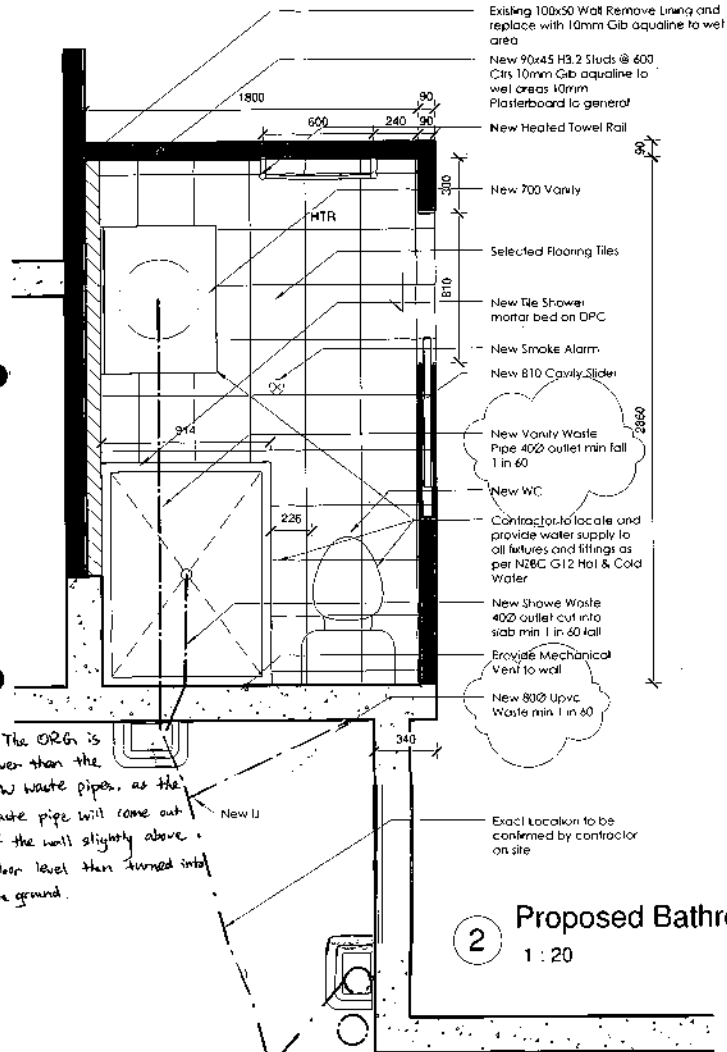


26 Daffodil Street			
Sheet Issue Date	Sheet Name	Sheet Status	Current Revision

13/06/14	Bathroom addition	Building Consent	1
13/06/14	Title Page	Building Consent	
13/06/14	Detail	Building Consent	
13/06/14	Site plan	Building Consent	

93 VICTORIA RD PO BOX 32-318
DEVONPORT AUCKLAND 0744
ph: +649 445 8544
www.heritagearchitects.co.nz
info@heritagearchitects.co.nz





Existing 100x50 Wall Remove Lining and replace with 10mm Gib aqualine to wet area

New 90x45 HB.2 Studs @ 600 Ctrs 10mm Gib aqualine to wet areas 10mm Plasterboard to general

New Heated Towel Rail

New 700 Vanity

Selected Flooring Tiles

New Tile Shower mortar bed on OPC

New Smoke Alarm

New 810 Cavity Slider

New Vanity Waste Pipe 400 outlet min fall 1 in 60

New WC

Contractor to locate and provide water supply to all fixtures and fittings as per NZBC G12 Hot & Cold Water

New Shower Waste 400 outlet cut into slab min 1 in 60 fall

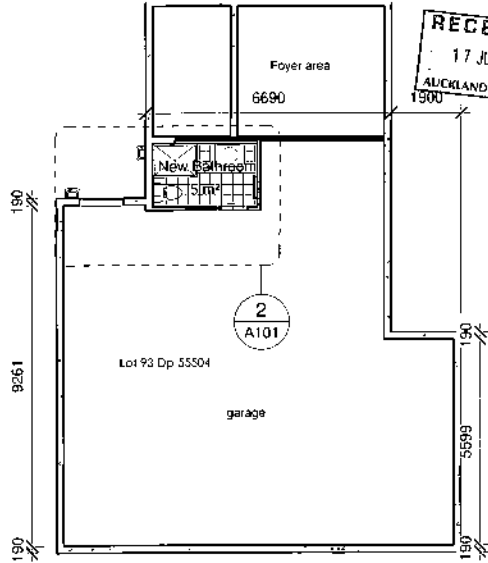
Provide Mechanical Vent to wall

New 800 Upvc Waste min 1 in 60

Exact Location to be confirmed by contractor on site

2 Proposed Bathroom Plan
1 : 20

ABA AUCKLAND COUNCIL
2014 - 038
WESTERN



1 Basement
1 : 100

Existing Conc. Wall R Value : 0.6

AUCKLAND COUNCIL
18 JUN 2014
BLDG
* CONSENTED *

Revision Schedule		
Ref.	Description	Date
1	Revision 2	17/06/14

- NOTES:
GENERAL
1. CLIENT/ARCHITECT RESPONSIBLE TO VERIFY ALL DIMENSIONS, ANGLES & LEVELS ON SITE PRIOR TO COMMENCEMENT WORK.
 2. THESE DRAWINGS & FIGURES ARE TO BE USED ONLY AS A GUIDE UNDER PROJECT STATUS.
 3. ERRORS ARE TO BE REPAIRED IN CONSULTATION WITH THE ARCHITECT/ENGINEER BEFORE ANY OTHER WORKMAN'S DRAWINGS, DETAILS, REPORTS AND DOCUMENTS.
 4. ALL WORK SHALL BE TO BE DONE IN ALL THESE AREAS TO BE INSTALLED WITHIN 15 MIN AND ALL THE FLASHINGS AND AIR SEALS IN ACCORDANCE WITH THE RELEVANT STANDARDS.
 5. ALL PROPOSED PRODUCTS MUST BE APPROVED BY THE ARCHITECT/ENGINEER.
 6. THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE ARCHITECT/ENGINEER'S SPECIFICATIONS AND SEE DRAWING FOR FURTHER INFORMATION.
 7. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE ARCHITECT/ENGINEER'S SPECIFICATIONS AND SEE DRAWING FOR FURTHER INFORMATION.
 8. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE ARCHITECT/ENGINEER'S SPECIFICATIONS AND SEE DRAWING FOR FURTHER INFORMATION.
 9. DO NOT SCALE OFF DIMENSIONS AS THEY MAY VARY FROM THE ORIGINAL DRAWING.

RECEIVED
17 JUN 2014
AUCKLAND COUNCIL

dpa
DESIGN & ARCHITECTURE
93 VICTORIA RD
PO BOX 32-318
DEVONPORT
AUCKLAND 0744
ph: 1 649 445 8544
www.henryjpa.co.nz
05-33-72
info@henryjpa.co.nz

Dafydd Street

Bathroom addition

Drawn: AM Checked: DP

Job No: 595

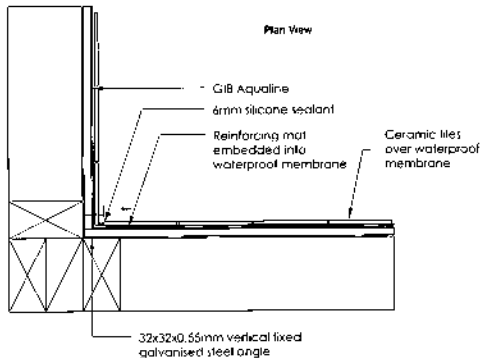
Date: 17/06/2014 11:53:45

Drawing No. A101

As indicated @ A1

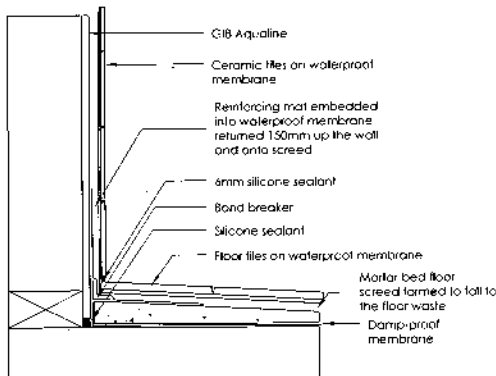
Reduced 50% @ A3

All Dimensions to be verified on site before commencing any work or making any 1:100 drawings. Do not scale measure dimensions from drawings.



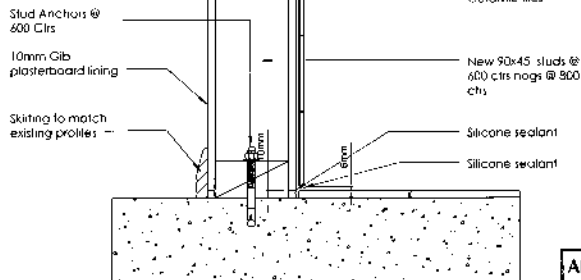
1 Shower Corner Detail

1:5



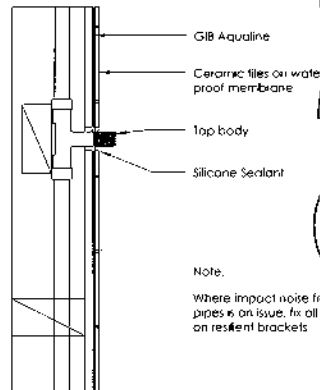
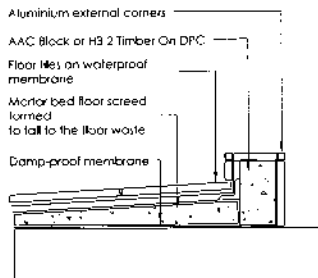
3 Shower Base detail

1:5



2 Wall/Floor Detail

1:5



4 Penetration detail

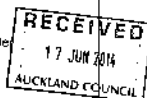
1:5

Revision Schedule		
Ref.	Description	Date

- NOTES**
- GENERAL**
1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS, ANGLES & LEVELS ON SITE PRIOR TO COMMENCE ANY WORK.
 2. THESE DRAWINGS PURPOSE ARE TO BE USED ONLY AS A DOWN BIDDING UNDER PROJECT STATUS.
 3. EXAMINERS ARE TO BE READ IN CONSULTATION WITH WRITING SPECIFICATIONS, GENERAL AND OTHER CONSULTANT'S DRAWINGS, DETAILS, REPORTS AND DOCUMENTS.
 4. ALL WORKSHOPS BY WATERPROOFING ALL TUBES, TUBES TO BE INSTALLED OVERHEAD AND ALL SELF-SUPPORTING AND AIR SEALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 5. ALL PROPERTY PRODUCTS TO BE INSTALLED IN ACCORDANCE TO THE MANUFACTURER'S INSTRUCTIONS.
 7. THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THESE PROJECT'S SPECIFICATIONS AND SET SUBMITTALS DRAWING SET.
- FOR MORE INFORMATION
ENGINEERS LTD
IN NEW ZEALAND
- ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE
1. DO NOT SCALE OFF DRAWINGS, IF IN DOUBT REFER TO DESIGNER OR CONTRACTOR

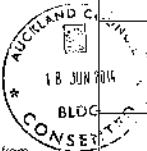
ABA AUCKLAND COUNCIL

2014-838



93 VICTORIA RD
PO BOX 32-318
DEVONPORT
AUCKLAND 0744
ph. +649 445 8544
www.hemagpacarchile
c/o dpa
info@hemagpacarchile
5/0/12

Daffodil Street



Details

Drawn: AM Checked: DPA

Job No. 995

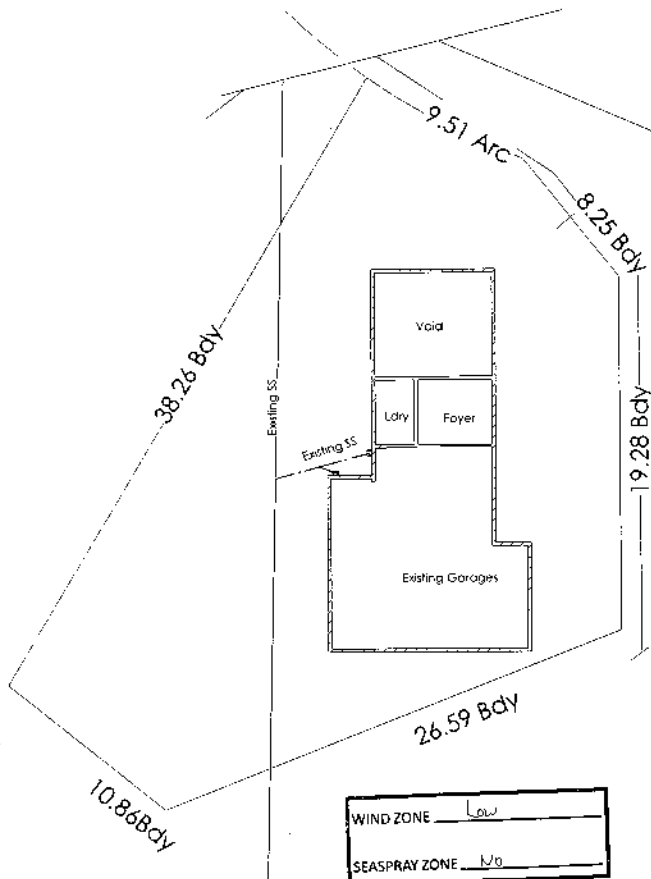
Issue Date
17/06/2014 11:53:45
CMM

Drawing No.
A102

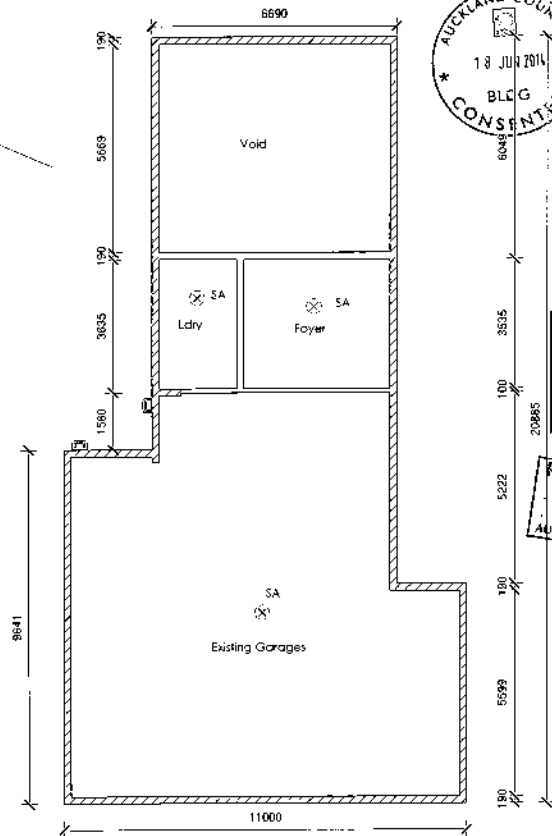
1:5@A1

Reduced 50%@A3

All Dimensions To be verified on site before commencing any work or making any shop drawings do not scale measure dimensions from drawings



1 Site Drainage Existing
1 : 200



2 Basement Floor Plan Existing
1 : 100

Revision Schedule		
Ref.	Description	Date

- NOTES**
GENERAL
- 1- CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS, ANGLES, LEVELS, ETC PRIOR TO COMMENCEMENT WORK.
 - 2- THESE DIMENSIONS PURPOSES ARE TO BE USED ONLY AT 300MM BELOW FINISH FLOOR LEVEL STATUS.
 - 3- DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS, DETAILS AND OTHER CONSULTANT'S DRAWINGS, DETAILS, REPORTS AND DOCUMENTS.
 - 4- ALL WORK SHALL BE WELL LIGHT, ALL WORK ZONES TO BE ISOLATED WITH RED TAPE AND YELLOW BARRIERS AND ALL ELECTRICAL WORK TO BE MARKED WITH RED TAGS.
 - 5- ALL PROPOSED PRODUCTS TO BE APPROVED IN ACCORDANCE TO THE MANUFACTURER'S INSTRUCTIONS.
 - 7- THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH TRAFFIC ENGINEER'S SPECIFICATIONS AND THE SUPERVISOR'S DRAWING SET.

DATE ISSUED
ENGINEERED
REGISTERED
NO. 1001000

ALL CONTRIBUTION TO COMPLY WITH THE BUILDING CODE

1- DO NOT SCALE OFF DRAWINGS, IF IN DOUBT REFER TO DESIGNER OR COORDINATOR

ABA AUCKLAND COUNCIL
2014 - 638



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17 JUN 2014
AUCKLAND COUNCIL

VICTORIA RD
PO BOX 32-318
DEVONPORT
AUCKLAND 0744
ph +649 445 8544
www.aucklandcouncil.govt.nz
info@newagearchitect.co.nz

Daffodil Street

Site plan

Drawn by: Checked by: DPA

Job No: 955

Issue Date
17/06/2014 11:53:46
0000

Drawing No.
A103

As indicated @ A1
Reduced 50% @ A3

All Dimensions To be verified on site before commencing any work or making any shop drawings do not scale measure dimensions from drawings.

Building consent

Section 51, Building Act 2004
(Form 5 – Building (Forms) Regulations 2004)

THE BUILDING

Building consent number:	ABA-2014-838	Date building consent issued:	27 June 2014
Street address of building:	26 Daffodil Street, TITIRANGI		
Legal description of land where building is located:	LOT 93 DP 55504		
Building name:	N/A		
Location of building within site / block number:	N/A	Level or unit number:	

THE OWNER

Name of owner:	P J Ayers and M J Ayers		
Contact person			
Mailing address:	26 Daffodil Street, Titirangi, AUCKLAND 0604		
Street address / registered office:			
Daytime phone:		Mobile:	
After hours:		Facsimile:	
Email address:			
Website:	N/A		

FIRST POINT OF CONTACT FOR COMMUNICATION (Must be in New Zealand)

Full name:	Matt Davy		
Mailing address:	PO BOX 32318 DEVONPORT		
Street address / registered office:			
Daytime phone:		Mobile:	0275163717
After hours:	N/A	Facsimile:	
Email address:	matt@heritagearchitects.co.nz		

BUILDING WORK

The following building work is authorised by this building consent:

RES1: Bathroom addition.

BUILDING CONSENT

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Under s.90 of the Act, agents (staff and contractors) authorised by the Building Consent Authority are entitled at all times during normal working hours or while building work is being done, to inspect the building work and ensure the provisions endorsed on the building consent are being carried out.

Under s.90 of the Act, agents (staff and contractors) authorised by the Building Consent Authority are entitled at all times during normal working hours or while building work is being done, to inspect the building work and ensure the provisions endorsed on the building consent are being carried out.

COMPLIANCE SCHEDULE

No Compliance Schedule is required for this consent.

ATTACHMENTS *copies of the following documents are attached to this building consent*

- Project Information Memorandum
- Development contribution notice
- Resource Management Act notice
- AC1129 List of approved specified systems included in this building consent
- Other authorisations and approvals required
- Schedule of inspections and documentation required for compliance

OTHER AUTHORISATIONS AND APPROVALS REQUIRED

No additional authorisations or approvals are required for this consent.

SIGNED ON BEHALF OF AUCKLAND COUNCIL BY:

Signature:



Date issued: 27 June 2014

Name:

Ian McCormick

Position: Manager, Building Control

For all queries regarding your building consent, building inspections and code compliance certificate (CCC), please phone 09 301 0101

Auckland Council, Private Bag 92300, Auckland 1142

23 June 2014

DAVE PEARSON ARCHITECTS
PO Box 32318
Devonport
AUCKLAND 0744

Dear Sir or Madam

Building consent number: ABA-2014-838
Address: 26 Daffodil Street, TITIRANGI
Description: RES1: Bathroom addition.

Building consent ready for uplifting

We are pleased to advise that your building consent is ready to be uplifted; an invoice for the balance of fees outstanding is enclosed.

If you are collecting your building consent, please go to the office stated below:

Please note once payment is received, a final step is required to finalise and prepare your consent for you. To enable us to undertake this please allow 10-15 minutes prior to the collection of your consent.

Please collect your Building Consent from:

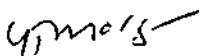
- Henderson Service Centre, 6 Henderson Valley Road, Henderson

If your application identified for the consent to be mailed out, this will be completed accordingly.

Please note that applications must be uplifted within one month (30 days) of approval. Under section 49.2(a) of the Building Act 2004, Council is not required to grant a building consent until it receives any fees and charges fixed by it in relation to the consent.

If you have any further queries regarding this matter, please contact your local Council Service Centre or call the Council Call Centre on (09)301-0101 quoting the above building consent number and service centre.

Yours faithfully



Yvonne Morgan
Process Support Administrator
BUILDING CONTROL- WESTERN
(Copy sent to owner)

Schedule of inspections and documentation required for compliance



Application number:	ABA-2014-838
Property Address:	26 Daffodil Street, TITIRANGI

Introduction

Please read all documentation associated with this building consent in detail; documentation includes:

- the building consent, which lists building consent conditions, compliance schedule requirements and attachments
- advice on any other authorisations or approvals that maybe required; and
- advice notes and an inspection schedule (this document)

As the building owner, you have very significant procedural and legal obligations, which need to be met in order that the building work is properly completed and to enable a code compliance certificate to be issued by Council on completion of the work. If there are details or issues that are unclear, you should clarify these by contacting the Council or seeking independent legal advice.

Council has developed a building consent guidance document, which provides information on your legal obligations and information that will assist you in successfully completing your building project.

How work is certified:

<http://www.aucklandcouncil.govt.nz/SiteCollectionDocuments/BrochHowWorkIsCertified.pdf>

How work is inspected:

<http://www.aucklandcouncil.govt.nz/SiteCollectionDocuments/BrochInspections.pdf>

Section A: Advice Notes

Booking Inspections

Please make sure that you call for the inspections identified in section B of this documentation. It is advisable that you plan your inspections well ahead of time and book these inspections with as much notice as possible. If insufficient notice is given, Council may not be able to schedule the inspection at your preferred time and this may cause construction delays.

Restricted Building Work

The following restricted building work must be carried out or supervised by a licensed building practitioner (LBP)

- foundations (includes floor slab)
- bricklaying
- blocklaying
- carpentry
- external moisture management systems (all wall and roof claddings)

The **owner** is required to notify Council of the name of each LBP involved in this project prior to work commencing. As this project involves multiple elements of restricted building work, please ensure all trades are notified.

As soon as the work is completed, the **LBP** is required to provide a copy of their memorandum (record of work) to the owner and Council.

If an amendment occurs during construction, that affects the primary structure, the **Design LBP** must submit a copy of the amended plan and memorandum (certificate of design) to Council for approval. A copy of the amended plans must be attached to the memorandum and be available on site for inspection.

Compliance with Manufacturers' Specifications

Schedule of inspections and documentation required for compliance



Products and systems incorporated in the proposed building work must be constructed as approved in this consent and in compliance with the manufacturers' specifications.

Note:-

1. The drawings or details referenced in the manufacturers' specification cannot be substituted for specifically approved drawings or details in this building consent.
2. It is the owner(s) responsibility to ensure that the manufacturers' specifications relevant to this building project are on site and available for the Council staff during the inspection process. The manufacturer's specification must be the version that was current at the time your building consent was issued.

Consent Documents on Site

Please ensure that a full copy of the approved building consent documents is on site at all times, together with the previous inspection records so that the Council staff can undertake inspections.

Durability

Clause B2 – Durability (section 2) of the New Zealand Building Code compliance documents specifies the requirements relating to durability of specific building elements. Please note that many of these elements require regular maintenance to be undertaken to maintain the durability requirements, for the specified period, as required by the New Zealand Building Code.

Erosion and Sediment Control

Effective erosion and sediment control measures must be provided on site to ensure that runoff from construction minimises the discharge of silt or sediment as required by the erosion and sediment control plan of the Auckland Council (previously controlled by the former Auckland Regional Council (ARC)).

Notations on Plans

Notations on the plans are as agreed to by you.

Booking Inspections

Please make sure that you call for the inspections identified in section B of this documentation. It is advisable that you plan your inspections well ahead of time and book these inspections with as much notice as possible. If insufficient notice is given, Council may not be able to schedule the inspection at your preferred time and this may cause construction delays.

Compliance with Manufacturers' Specifications

Products and systems incorporated in the proposed building work must be constructed as approved in this consent and in compliance with the manufacturers' specifications.

Note:-

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2. It is the owner(s) responsibility to ensure that the manufacturers' specifications relevant to this building project are on site and available for the Council staff during the inspection process. The manufacturer's specification must be the version that was current at the time your building consent was issued.

Consent Documents on Site

Please ensure that a full copy of the approved building consent documents is on site at all times, together with the previous inspection records so that the Council staff can undertake inspections.

Schedule of inspections and documentation required for compliance



Products and systems incorporated in the proposed building work must be constructed as approved in this consent and in compliance with the manufacturers' specifications.

Note:-

1. The drawings or details referenced in the manufacturers' specification cannot be substituted for specifically approved drawings or details in this building consent.
2. It is the owner(s) responsibility to ensure that the manufacturers' specifications relevant to this building project are on site and available for the Council staff during the inspection process. The manufacturer's specification must be the version that was current at the time your building consent was issued.

Consent Documents on Site

Please ensure that a full copy of the approved building consent documents is on site at all times, together with the previous inspection records so that the Council staff can undertake inspections.

Durability

Clause B2 – Durability (section 2) of the New Zealand Building Code compliance documents specifies the requirements relating to durability of specific building elements. Please note that many of these elements require regular maintenance to be undertaken to maintain the durability requirements, for the specified period, as required by the New Zealand Building Code.

Erosion and Sediment Control

Effective erosion and sediment control measures must be provided on site to ensure that runoff from construction minimises the discharge of silt or sediment as required by the erosion and sediment control plan of the Auckland Council (previously controlled by the former Auckland Regional Council (ARC)).

Notations on Plans

Notations on the plans are as agreed to by you.

Booking Inspections

Please make sure that you call for the inspections identified in section B of this documentation. It is advisable that you plan your inspections well ahead of time and book these inspections with as much notice as possible. If insufficient notice is given, Council may not be able to schedule the inspection at your preferred time and this may cause construction delays.

Compliance with Manufacturers' Specifications

Products and systems incorporated in the proposed building work must be constructed as approved in this consent and in compliance with the manufacturers' specifications.

Note:-

1. The drawings or details referenced in the manufacturers' specification cannot be substituted for specifically approved drawings or details in this building consent.
2. It is the owner(s) responsibility to ensure that the manufacturers' specifications relevant to this building project are on site and available for the Council staff during the inspection process. The manufacturer's specification must be the version that was current at the time your building consent was issued.

Consent Documents on Site

Please ensure that a full copy of the approved building consent documents is on site at all times, together with the previous inspection records so that the Council staff can undertake inspections.

Schedule of inspections and documentation required for compliance

Durability

Clause B2 – Durability (section 2) of the New Zealand Building Code compliance documents specifies the requirements relating to durability of specific building elements. Please note that many of these elements require regular maintenance to be undertaken to maintain the durability requirements, for the specified period, as required by the New Zealand Building Code.

Erosion and Sediment Control

Effective erosion and sediment control measures must be provided on site to ensure that runoff from construction minimises the discharge of silt or sediment as required by the erosion and sediment control plan of the Auckland Council (previously controlled by the former Auckland Regional Council (ARC)).

Notations on Plans

Notations on the plans are as agreed to by you.

Section B: List of Notifiable Inspections

In order for a code compliance certificate (CCC) to be issued, Council needs to be satisfied on reasonable grounds that the completed building work complies with the approved building consent. To enable this to be achieved, the building owner is responsible for ensuring the following inspections are booked and undertaken and supplying the documentation listed in Section C Producer statements, testing certificates and warranties to confirm compliance during construction

Req'd	Number of inspections	Inspection type	Description of inspection
<input checked="" type="checkbox"/>		Wall / roof framing IFG	Wall / roof framing To check hold down straps, bolts, wall and roof framing members; bracing; tie downs; wall framing; beams and lintels; plywood substrates for membranes including falls and outlets Note: Timber treatment and truss layout certificates required
<input checked="" type="checkbox"/>		Membrane/Tanking ITK	Membrane roof, deck and wet areas To check the application of the membrane prior to completing decoration, floor coverings and roof claddings
<input checked="" type="checkbox"/>		Plumbing P/L IPP	Preline plumbing To check pipe work is under test (water supply and soil wastes) Note: This inspection maybe included with the preline building inspection
<input checked="" type="checkbox"/>		Final residential IF1	Final inspection To check that all construction associated with the building consent has been completed; this includes painting and decorating; floor coverings; fixtures; fittings; electrical work; heating appliances; etc Note: Electricity must be connected at time of inspection

Schedule of inspections and documentation required for compliance



Section C: Producer statements, testing certificates and warranties required to confirm compliance during construction

Energy Works Certificate - Electrical

The electrician is required to submit an energy works certificate certifying that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the Electrical Regulations

Producer Statement Construction (PS3) Waterproofing Membrane

A producer statement construction (PS3) is to be submitted by the waterproofing membrane applicator for each membrane application, e.g. roofs, decks, tanking and wet areas confirming that construction meets the requirement of this approved building consent and any relevant New Zealand Building Code clauses

Product Warranty - Waterproof Membrane

A warranty certificate from the waterproof membrane supplier or manufacturer for roofs, decks tanking and wet areas membranes is required confirming that the work complies with the design as approved in this building consent and any relevant New Zealand Building Code clauses

Schedule of inspections and documentation required for compliance



Section C: Producer statements, testing certificates and warranties required to confirm compliance during construction

Energy Works Certificate - Electrical

The electrician is required to submit an energy works certificate certifying that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the Electrical Regulations

Producer Statement Construction (PS3) Waterproofing Membrane

A producer statement construction (PS3) is to be submitted by the waterproofing membrane applicator for each membrane application, e.g. roofs, decks, tanking and wet areas confirming that construction meets the requirement of this approved building consent and any relevant New Zealand Building Code clauses

Product Warranty - Waterproof Membrane

A warranty certificate from the waterproof membrane supplier or manufacturer for roofs, decks tanking and wet areas membranes is required confirming that the work complies with the design as approved in this building consent and any relevant New Zealand Building Code clauses

17 June 2014

DAVE PEARSON ARCHITECTS
PO Box 32318
Devonport
AUCKLAND 0744
Attn: Matt Dave

Dear Sir or Madam

Building consent number: ABA-2014-838
Address: 26 Daffodil Street, TITIRANGI
Description: RBW-RES1 Bathroom addition
Area office: Henderson

Request for further information

This letter is to advise you that I have received your building consent for the above property and require further information to help progress the application.

Please be advised that the statutory timeframe on your application has been suspended and the clock will not restart until all information has been received and checked.

Please provide your response addressing all the items below, together with two copies of the relevant information and revised plans, (where applicable) and address it to my attention:-

BUILDING SURVEYOR

Please contact Erina Huang on 09 301 0101 extension 8916 or
Email: erina.huang@aucklandcouncil.govt.nz for any further clarification relating to the requirements listed below.

G13 Foul Water:

1. Please confirm the level of ORG, show how to achieve it to comply with NZBC G13? AND the Gradients of Vanity waste pipe 40 & new 80 Upvc waste.

Important notes:

- o This letter refers to <<Building>> issues only. Other processors may still be reviewing your application and require further information.
- o If your response results in changes to engineer designed plans, which are supported by a producer statement; the revised plans must be signed by the producer statement author
- o All changes should be clearly marked (i.e. clouded) on the revised plans and each sheet version controlled and dated.
- o Council's policy requires that all information be provided within one month or (30 calendar days) from the date of this letter. Failure to provide this information on time may result in the application being refused.

If you have any further queries regarding this matter, please contact your local Council Service Centre or call the Council Call Centre on (09) 301-0101 quoting the above building consent number and service centre.

I look forward to receiving the information requested so that I may continue processing your application.

Yours faithfully

Erina Huang
BUILDING CONTROL-WESTERN

cc: **Owner:**
P J Ayers and M J Ayers
26 Daffodil Street
Titirangi
AUCKLAND 0604

DRAFT

Erina Huang

From: Alex Murray <Alex@heritagearchitects.co.nz>
Sent: Monday, 16 June 2014 8:46 a.m.
To: Erina Huang
Subject: FW: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi
Attachments: Daffodil street Rfi 1 13_06_14.pdf

From: Alex Murray [<mailto:Alex@heritagearchitects.co.nz>]
Sent: Friday, 13 June 2014 10:48 a.m.
To: 'Alex Murray'
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Hi Erina Apologies I have attached the wrong plans here are the correct plans

From: Alex Murray [<mailto:Alex@heritagearchitects.co.nz>]
Sent: Friday, 13 June 2014 10:14 a.m.
To: erina.huang@aucklandcouncil.govt.nz
Subject: FW: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Sorry Erina, The Attachment Failed. Resent

From: Alex Murray [<mailto:Alex@heritagearchitects.co.nz>]
Sent: Friday, 13 June 2014 10:11 a.m.
To: 'erina.huang@aucklandcouncil.govt.nz'
Cc: MattDavy
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Hi Erina

In response to your Request for information For 26 Daffodil St, Titirangi

1. Site plan and existing Floor plan have been added to the drawings A103
2. The drainage has been included in 1/A03
3. Notes for mechanical vents have been added on 2/A101
4. Note For R-Value Has been Added On A101
5. Smoke Alarms Have Been Confirmed on A103
6. Note Regarding Water Supply Have Been Added on 2/A101

If you Have Any queries, Don't Hesitate to Call

Kind Regards

Alex Murray



93 Victoria Road, P.O. Box 32-318, Devonport, M 021 268 7153 P 09 445 8544
www.heritagearchitects.co.nz



From: MattDavy [<mailto:matt@heritagearchitects.co.nz>]
Sent: Monday, 9 June 2014 1:39 p.m.
To: Alex Murray
Subject: FW: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Kind Regards,

Matthew Davy

B Arch



93 Victoria Road, P.O. Box 32-318, Devonport, Auckland, New Zealand.
E matt@heritagearchitects.co.nz M 027 516 3717 P 09 445 8544
SKYPE matthew-davy-nz
www.heritagearchitects.co.nz



From: Erina Huang <Erina.Huang@aucklandcouncil.govt.nz>
Date: Monday, 9 June 2014 12:42 pm
To: Matthew Davy <matt@heritagearchitects.co.nz>
Subject: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Dear Matt

Thanks for the Building Consent ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi.
I have finished assessing your application and there are few more items requiring further attention as listed below and RFI letter attached.

Site Plan:

1. Please provide Site Plan and Existing Basement Floor Plan. ✓
2. Please provide existing public & private drainage plan - show location and connections. ✓

E3 Internal Moisture:

3. Please provide ventilation/condensation control details – Mechanical ventilation system? ✓
4. Please confirm for single skin normal weight masonry based wall construction without a cavity, the R-values shall be no less than 0.6 – refer to NZBC E3/AS1 1.1.1(b). ✓

F7 Warning Systems:

5. Please confirm smoke alarm status in existing building as per F7/AS1.

G12 Water supplies:

6. Please confirm the water supply details – refer to NZBC G12.3.5/

Please get back to me with above information ASAP as it remains suspended until further response.
If you have any questions, please do not hesitate to contact me.

Thank you very much! Have a nice day.

Best Regards

Erina Huang | Building Control Processor

WesternBuilding Control (Henderson)

Ph 09 3010101| Extn (42) 8916 | DDI 09 4407529| Fax 09 301-0100

Auckland Council, Level 1, Admin Building, 6 Henderson Valley Road, Henderson 0612

Postal Address: Private Bag 92300, Auckland 1142

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Erina Huang

From: Alex Murray <Alex@heritagearchitects.co.nz>
Sent: Tuesday, 17 June 2014 12:00 p.m.
To: Erina Huang
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi
Attachments: Daffodil street RFI 17_06_14.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Erina

I have added the pipe gradients to plans, I am having trouble finding the information regarding the original drains is this required for this consent ? the gradients will exceed 1 in 60 with the depth of the gully trap, if you have any queries give me a call

Kind Regards

Alex Murray



93 Victoria Road, P.O. Box 32-318, Devonport, M 021 268 7153 P 09 445 8544
www.heritagearchitects.co.nz



From: Erina Huang [<mailto:Erina.Huang@aucklandcouncil.govt.nz>]
Sent: Tuesday, 17 June 2014 11:11 a.m.
To: Alex Murray
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Dear Alex

Thank you very much for the information provided.
I have finished re-assessing your application and there is one more items requiring further information to help progress the application as listed below and RFI letter attached.

It would be very much appreciated if you could please confirm the level of ORG, show how to achieve it to comply with NZBC G13. AND the Gradients of Vanity Waste pipe 40 & New 80 Upvc Waste.

Please be advised that the statutory timeframe on your application has been suspended and the clock will not restart until all information has been received and checked. If you have any questions, please do not hesitate to contact me.

Thank you very much! Have a nice day.

Best Regards

Erina Huang | Building Control Processor

Western Building Control (Henderson)

Ph 09 3010101 | Extn (42) 8916 | DDI 09 4407529 | Fax 09 301-0100

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Postal Address: Private Bag 92300, Auckland 1142

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Erina Huang

From: Alex Murray <Alex@heritagearchitects.co.nz>
Sent: Tuesday, 17 June 2014 4:32 p.m.
To: Erina Huang
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Erina

Yes the ORG is lower than the new waste pipes as the waste pipe will come out of the wall slightly above floor level then I will be turned into the ground, and levels will be worked out on site to comply with G13.

Kind Regards

Alex Murray



93 Victoria Road, P.O. Box 32-318, Devonport, M 021 268 7153 P 09 445 8544
www.heritagearchitects.co.nz



From: Erina Huang [<mailto:Erina.Huang@aucklandcouncil.govt.nz>]
Sent: Tuesday, 17 June 2014 4:22 p.m.
To: Alex Murray
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Dear Alex

Thank you very much for the information provided.

There is one more item requiring further information to help progress the application, please confirm the level of ORG, just make sure the level of ORG it should be lower than waste pipes and comply with BC G13. We are happy to endorse the plans for you if information confirmed.

If you have any questions, please do not hesitate to contact me.
Thank you very much!

Best Regards

Erina Huang | Building Control Processor

Western Building Control (Henderson)
Ph 09 3010101 | Extn (42) 8916 | DD1 09 4407529 | Fax 09 301-0100
Auckland Council, Level 1, Admin Building, 6 Henderson Valley Road, Henderson 0612
Postal Address: Private Bag 92300, Auckland 1142

From: Alex Murray [<mailto:Alex@heritagearchitects.co.nz>]
Sent: Tuesday, 17 June 2014 12:00 p.m.
To: Erina Huang
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Hi Erina

I have added the pipe gradients to plans, I am having trouble finding the information regarding the original drains is this required for this consent ? the gradients will exceed 1 in 60 with the depth of the gully trap, if you have any queries give me a call

Kind Regards

Alex Murray



93 Victoria Road, P.O. Box 32-318, Devonport, M 021 268 7153 P 09 445 8544
www.heritagearchitects.co.nz



From: Erina Huang [<mailto:Erina.Huang@aucklandcouncil.govt.nz>]
Sent: Tuesday, 17 June 2014 11:11 a.m.
To: Alex Murray
Subject: RE: ABA - 2014 - 838 @ 26 Daffodil Street, Titirangi

Dear Alex

Thank you very much for the information provided.
I have finished re-assessing your application and there is one more items requiring further information to help progress the application as listed below and RFI letter attached.

It would be very much appreciated if you could please confirm the level of ORG, show how to achieve it to comply with NZBC G13. AND the Gradients of Vanity Waste pipe 40 & New 80 Upvc Waste.

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Thank you very much! Have a nice day.

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Ph 09 3010101 | Extn (42) 8916 | DD1 09 4407529 | Fax 09 301-0100

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9 June 2014

DAVE PEARSON ARCHITECTS
PO Box 32318
Devonport
AUCKLAND 0744
Attn: Matt Dave

Dear Sir

Building consent number: ABA-2014-838
Address: 26 Daffodil Street, TITIRANGI
Description: RBW-RES1 Bathroom addition
Area office: Henderson

Request for further information

This letter is to advise you that I have received your building consent for the above property and require further information to help progress the application.

Please be advised that the statutory timeframe on your application has been suspended and the clock will not restart until all information has been received and checked.

Please provide your response addressing all the items below, together with two copies of the relevant information and revised plans, (where applicable) and address it to my attention:-

BUILDING SURVEYOR

Please contact Erina Huang on 09 301 0101 extension 8916 or
Email: erina.huang@aucklandcouncil.govt.nz for any further clarification relating to the requirements listed below.

Site Plan:

1. Please provide Site Plan and Existing Basement Floor Plan.
2. Please provide existing public & private drainage plan - show location and connections.

E3 Internal Moisture:

3. Please provide ventilation/condensation control details – Mechanical ventilation system?
4. Please confirm for single skin normal weight masonry based wall construction without a cavity, the R-values shall be no less than 0.6 – refer to NZBC E3/AS1 1.1.1(b).

F7 Warning Systems:

5. Please confirm smoke alarm status in existing building as per F7/AS1.

G12 Water supplies:

6. Please confirm the water supply details – refer to NZBC G12.3.5.

Important notes:

- o This letter refers to <<Building>> issues only. Other processors may still be reviewing your application and require further information.
- o If your response results in changes to engineer designed plans, which are supported by a producer statement; the revised plans must be signed by the producer statement author
- o All changes should be clearly marked (i.e. clouded) on the revised plans and each sheet version controlled and dated.
- o Council's policy requires that all information be provided within one month or (30 calendar days) from the date of this letter. Failure to provide this information on time may result in the application being refused.

If you have any further queries regarding this matter, please contact your local Council Service Centre or call the Council Call Centre on (09) 301-0101 quoting the above building consent number and service centre.

I look forward to receiving the information requested so that I may continue processing your application.

Yours faithfully

Erina Huang
BUILDING CONTROL-WESTERN

cc: **Owner:**
P J Ayers and M J Ayers
26 Daffodil Street
Titirangi
AUCKLAND 0604

COPY

Kathleen McAlister

To: matt@heritagearchitects.co.nz
Subject: FW: Consent for 26 Daffodil Street

Hi Matt,

It appears the fee or the estimated value of the project is wrong.

The value is shown at \$35,000 which should be an application fee of \$1880
The cheque is for \$902.00 which covers value of between \$2000 and \$4,999.
Should the value be \$3,500 do you think? This would make the cheque okay.

I will put this consent on hold until I hear back from you.

Kind regards

*Kathie McAlister | Customer Services Representative
Counter Services
Ph 09 301 0101 | Extn (42) 8163*

Auckland Council, Level 2, Council Office, 6 Henderson Valley Road, Henderson

Visit our website: www.aucklandcouncil.govt.nz

From: Kathleen McAlister
Sent: Tuesday, 20 May 2014 1:51 p.m.
To: 'matt@heritagearchitects.co.nz'
Subject: Consent for 26 Daffodil Street

Hi Matt,

Further to our conversation, I couldn't hear you very well as the phone was breaking up but I am completing the owners details on the form as Philip Ayers, 26 Daffodil Street, Titirangi and billing to go to the owner.

If there is anything else I need to know, please email me.
Many thanks

*Kathie McAlister | Customer Services Representative
Counter Services
Ph 09 301 0101 | Extn (42) 8163*

Auckland Council, Level 2, Council Office, 6 Henderson Valley Road, Henderson

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Sandy Shi

From: Sandy Shi
Sent: Wednesday, 21 May 2014 4:59 p.m.
To: 'matt@heritagearchitects.co.nz'
Subject: building consent for 26 Daffodil Street, TITIRANGI
Attachments: SKMBT_C280 14052016551.pdf; SKMBT_C280 14052016550.pdf

Good afternoon, Matt

I have looked at your building consent for 26 Daffodil Street, TITIRANGI ABA-2014-838, could you please provide the following additional information

1. Please provide agreement to provide produce statement during construction (find attachment) — Done
2. please provide signature and date on residential page 2 of checklist (find attachment) — Done
3. please provide fully completed memorandum i.e. reference to plans — Done
4. please provide current manufacturer's technical specifications for GIB Aqualine and Damp-proof membrane — Done

Please provide information as soon as possible, as a council policy is that we cannot hold consent over 48 hours. Thanks

Re-checked by Sandy,
2

Regards

Sandy Shi

Lodgment Co-ordinator
Building Control - Central
Ph 09 301 0101 | Extn (40) 9222 | Fax 09 353 9359
Ground Floor, 35 Graham Street, Auckland City
Visit our website: www.aucklandcouncil.govt.nz

Sandy Shi

From: Alex Murray <Alex@heritagearchitects.co.nz>
Sent: Thursday, 22 May 2014 12:11 p.m.
To: Sandy Shi
Subject: RE: building consent for 26 Daffodil Street, TITIRANGI
Attachments: BRANZ-Appraisal-3722000-Fibrecoat.pdf; GIB-Aqualine-Wet-Area-SystemsMarch3.pdf; Scope-of-Works-New-Zealand-01-02-2012-Internal1.pdf

Hi Sandy

I Have attached the products specifications, and branz appraisal for wet seal

Kind Regards

Alex Murray



93 Victoria Road, P.O. Box 32-318, Devonport, M 021 268 7153 P 09 445 8544
www.heritagearchitects.co.nz



From: Sandy Shi [<mailto:Sandy.Shi@aucklandcouncil.govt.nz>]
Sent: Thursday, 22 May 2014 12:02 p.m.
To: Alex Murray
Subject: RE: building consent for 26 Daffodil Street, TITIRANGI

Hi, Alex
Your additional information has been vetted, but we need you provide manufacture's products specifications as it is not general specifications. Thanks
Regards
Sandy

From: Alex Murray [<mailto:Alex@heritagearchitects.co.nz>]
Sent: Thursday, 22 May 2014 11:40 a.m.
To: Sandy Shi
Subject: RE: building consent for 26 Daffodil Street, TITIRANGI

Hi Sandy attached are the documents you require to continue processing

Kind Regards

Alex Murray



93 Victoria Road, P.O. Box 32-318, Devonport, M 021 268 7153 P 09 445 8544
www.heritagearchitects.co.nz



From: MattDavy [<mailto:matt@heritagearchitects.co.nz>]
Sent: Wednesday, 21 May 2014 7:05 p.m.
To: Alex Murray
Subject: FW: building consent for 26 Daffodil Street, TITIRANGI

FYI below, note 48 hrs

Kind Regards,

Matthew Davy

B Arch



93 Victoria Road, P.O. Box 32-318, Devonport, Auckland, New Zealand,
E matt@heritagearchitects.co.nz M 027 516 3717 P 09 445 8544
sKYPE matthew-davy-nz
www.heritagearchitects.co.nz



From: Sandy Shi <Sandy.Shi@aucklandcouncil.govt.nz>
Date: Wednesday, 21 May 2014 4:59 pm
To: Matthew Davy <matt@heritagearchitects.co.nz>
Subject: building consent for 26 Daffodil Street, TITIRANGI

Good afternoon, Matt

I have looked at your building consent for 26 Daffodil Street, TITIRANGI ABA-2014-838, could you please provide the following additional information

1. Please provide agreement to provide produce statement during construction (find attachment)
2. please provide signature and date on residential page 2 of checklist (find attachment)

3. **please provide fully completed memorandum i.e. reference to plans**
4. **please provide current manufacturer's technical specifications for GIB Aqualine and Damp-proof membrane**

Please provide information as soon as possible, as a council policy is that we cannot hold consent over 48 hours. Thanks

Regards

Sandy Shi

Lodgment Co-ordinator
Building Control - Central
Ph 09 301 0101 | Extn (40) 9222 | Fax 09 353 9359
Ground Floor, 35 Graham Street, Auckland City

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Version: 2014.0.4570 / Virus Database: 3950/7536 - Release Date: 05/21/14



Memorandum

To

From

Date

Subject ABA-2014-838 - 26 Daffodil Street, TITIRANGI
 RBW-RES1 Bathroom addition

Information provided as at 29 May 2014:

Hazard / Special Features

Nil notified at 29 May 2014

Wind Zone:

Low

Sea Spray Zone:

No

Vehicle Crossing/Street Damage Deposit: NOT REQUIRED

If a vehicle crossing is required or the value of work requires a street damage deposit, pursuant to Waitakere City Council Bylaw No. 22 you are required to complete an application in the prescribed form for a vehicle crossing and street damage deposit with your application for building consent.

Time/Cost Sheet for Granting of Building Consent

Application Number:

ABA-2014-838

Address:

26 Daffodil Street, Titirangi

App Class: (Res 1,2 or 3; Comm 1,2 or 3)

RBW - RES 1

Section 1 - Processing Charges	Recording Amounts	Maximum amounts	Invoiced Amount
* Counter Administration	24.25	Refer to table	48.50
* Administration	106.70	Refer to table	198.85
* Document Management Fee (Records)		Refer to table	58.20
Planning Processing			29.00
Processing			390.85
Consultant Building Surveyor			
Certificate of Title			
Copying			
Building Research Levy		n/a under \$20,000	
Min of Business Innovation & Employment Levy		n/a under \$20,000	
Accreditation Fee			0.80
Drainage Engineer			
Design Check Fee			
Consultant Structural Engineer			
Roading and Traffic			
Fire and Egress			
Environmental Health			
Swimming Pools			
Fire Service			
Weathertightness / Durability			
Section 71-74 Notice			
Building Inspection deposit			520.00
Code Compliance Certificate deposit			112.00
Bond/Damage deposit			
Inspection for refund of Bonds			
Deposit paid at lodgement	902.00		902.00
Granted Invoice Total	-771.05		456.20
Section 2 - To be paid after issue		Paid	Awaiting Transfer
Development Contributions			
Total Fees Payable			\$ 456.20

Name: Yvonne Morgan

Date: 20.6.2014

Debit Note

Auckland Council
 Private Bag 92300
 Auckland 1142
 09 301 0101

www.aucklandcouncil.govt.nz

WCC

GST No. 104-736-998

P J Ayers
 26 Daffodil Street
 Titirangi
 AUCKLAND 0604

Customer number: 305840-1
 Debit note number: 1186005
 Debit note date: 23-Jun-2014
 Reference:

Application No. ABA-2014-838 **Location** 26 Daffodil Street, TITIRANGI
Description RES1: Bathroom addition.

Fee code	Fee description	Fee amount
ACBCV2	BC deposit project value \$2,000 - \$4,999	-512.00
ACINS	Building Inspection deposit	-390.00
ACCTR	Counter Administration	48.50
ACPRO	Processing	390.85
ACRMA	Planning Processing	29.00
ACDOCM	Document Management	58.20
ACINS	Building Inspection deposit	520.00
ACCC1	Code Compliance Certificate value up to \$19,999	112.00
ACACL	Accreditation Fee	0.80
ACADMN	Administration	198.85

This is an adjustment to a previous invoice

Payment is due immediately.

All items are GST inclusive unless specifically marked otherwise.

Total amount due	\$456.20
------------------	----------

Page 1 of 1

Please see overleaf for payment options

Remittance advice

To:

Auckland Council
 Private Bag 92300
 Auckland 1142
 New Zealand

WCC

For:

Application number: ABA-2014-838
 Customer number: 305840-1
 Debit note number: 1186005
 Debit note date: 23-Jun-2014

Total amount due	\$456.20
------------------	----------

Payment options:**Internet banking / Direct credit**

Log into your internet banking site and select "One off payments" and complete all the payee information as shown below.

Payee name	Payee Account number		
AUCKLAND COUNC	01-0102-0451400-00		
Details to appear on payee statement			
Particulars (Invoice/Debit Note No.)	Code (Customer Name)	Reference (Customer No.)	
1186005	P J Ayers	305840-1	

In person:

You can pay by cash, cheque, Eftpos or Credit Card (MasterCard or Visa) at Auckland Council Service Centres, a list of which can be found at www.aucklandcouncil.govt.nz. Credit card payments will incur a surcharge of 2 percent of your payment amount.

By post:

Send your cheque and remittance advice to:

Auckland Council
Private Bag 92300
Auckland 1142

To ensure payment is processed to your account, please include remittance advice.

Customer Breakdown of Charges Summary for period from 20/05/2014 to 23/06/2014



Application No: ABA-2014-838
Address: 26 Daffodil Street, TITIRANGI
Applicant: DAVE PEARSON ARCHITECTS
Proposal: RES1: Bathroom addition.

Timesheet Date	Activity	Officer	Comments	Rate (\$/hr)	Time (Hrs)	Charge (incl. GST)	Billable
21/05/2014	Application Rejected	Sandy Shi	application received and vetted, rejected as additional information is required	\$97.00	0.70	\$67.90	Y
27/05/2014	Filing/Photocopying	Sandy Shi	doc. checked	\$97.00	0.20	\$19.40	Y
27/05/2014	Lodge Application	Sandy Shi	information received and vetted, accepted and lodged	\$97.00	0.50	\$48.50	Y
27/05/2014	Lodgement Make Up	Dan Blokker	file make up	\$97.00	0.15	\$14.55	Y
29/05/2014	Allocation of Work	Vijaya Ramakrishna	allocation of work	\$130.00	0.20	\$26.00	Y
29/05/2014	Assessment / Appraisal	Erina Huang	Prepare referral	\$130.00	0.25	\$32.50	Y
05/06/2014	Assessment / Appraisal	Ben Gelderbloem	Assessment/processing - internal only - file back to cpu.	\$145.00	0.20	\$29.00	Y
09/06/2014	Assessment / Appraisal	Erina Huang	Assessed application, few more items requiring further information - RFI letter created.	\$130.00	1.00	\$130.00	Y
18/06/2014	Assessment / Appraisal	Erina Huang	Approved application, stamped/superseded/collated plan, form 5 and bc-con letter generated, send to doc prep.	\$130.00	0.40	\$52.00	Y
19/06/2014	Approved for Issue	Yvonne Morgan	start doc prep	\$97.00	0.50	\$48.50	Y
20/06/2014	Approved for Issue	Yvonne Morgan	continue doc prep, return for building consent advice note inspections not selected	\$97.00	0.60	\$58.20	Y
23/06/2014	Approved for Issue	Yvonne Morgan	additional time spent, unable to print conditions, discuss with Erina, update Technical Error Spreadsheet, reprint conditions, scan docs	\$97.00	0.35	\$33.95	N
Billable Total:						\$526.55	
Non Billable Total:						\$33.95	
Total:					5.05	\$560.50	

Producer statement construction (PS3) Waterproofing



All sections of this form must be completed

TO BE COMPLETED BY THE APPLICATOR WHO CARRIED OUT THE WATERPROOFING WORK

Author name:	Robert Watt	Building consent No:	ABA-2014-836
Author company:	Watt a Seal Ltd	Author registration No:	2308
Site address:	26 Dolgodil Street, Titirangi		
Legal description:	Lot 93 DP 53304		
Product used:	Wet-seal Enviro-coat System		
Location: (e.g. balcony)	Wet Area Ground Floor Bathroom		

I have sighted the above building consent and read the attached conditions of consent together with the waterproofing details contained therein; and confirm that

- the substrate is suitable for the application of the above waterproof membrane
- the waterproof membrane has been applied in accordance with the manufacturer's specifications and technical requirements
- all work has been carried out in accordance with the building consent and complies with the following clauses of the Building Code (tick as applicable)
 - B2 Durability and E2 External Moisture
 - B2 Durability and E3 Internal Moisture

I attach copies of the following documents:

- Product warranty Workmanship warranty LBP record of work (if RBW - external W/P only)

I understand that Council will rely upon this producer statement, for the purposes of establishing compliance with the above building consent.

Signature: 

Date: **19/07/2014**

Applicator's contact details:

Address:	114 Pomona Road, Kumeu	Postcode:	0891
Business:	09 2151336	Fax:	
Mobile:	021 652803	Email:	auckland@wet-seal.ws

COUNCIL USE ONLY

Accepted in <input type="checkbox"/> support of inspection <input type="checkbox"/> accepted instead of inspection	Register checked:	<input type="checkbox"/> Council	<input type="checkbox"/> LBP	<input type="checkbox"/> N/A
Name:		Date:		
Producer statement accepted as establishing compliance with the consented plans:		<input type="checkbox"/> YES	<input type="checkbox"/> NO	

Producer statement construction (PS3) Plumbing



All sections of this form must be completed

TO BE COMPLETED BY THE CERTIFYING PLUMBER WHO COMPLETED THE WORK

Author name: Building consent No:

Author company:

Description of plumbing work:

Legal description:

Site address:

I have sighted the above building consent and read the attached conditions of consent, and confirm that the plumbing pipe work and fittings have been selected and constructed to comply with the consented plans. I confirm that I have personally tested the water supply system by the method indicated below:

- By pressurising the pipe work to 1500kPa for a period of not less than 15 minutes (NZBC G12/AS1 7.5.1) (AS3500.4, 11.3 for 30mins, AS3500.5, 2.23.1 for 30mins) for both hot and cold water and checking to see that there are no leaks.
- By pressurising the u.p.v.c. cold water pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking to see that there are no leaks (NZBC G12/AS1, NZS7643 9.3.2)
- By pressurising the pipe work in accordance with the manufacturer's requirements (note the most robust test must be used)

Test report attached Yes No

I understand that this producer statement, if accepted, will be relied on by Council for the purposes of establishing compliance with the above building consent.

Signature: Date:

Certifying plumber registration No:

Plumber contact details:

Address: Postcode:

Business: Fax:

Mobile: Email:

COUNCIL USE ONLY

- Central Henderson Manukau Orewa Papakura Pukekohe Takapuna

Received by:

Signature:

Register checked:

Registration current:

Producer statement accepted as establishing compliance with the consented plans:



ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE



This certificate has been generated by Moore Power Electrical through portal.icert.co.nz

UNIQUE ID:
MPL-591a

INSTALLATION ADDRESS:

**26 Daffodil St
Titirangi
Auckland**

CUSTOMER INFORMATION

Name: I-Renovate **Phone:** 021792782 **Email:** accounts@i-renovate.co.nz

ELECTRICAL WORKER INFORMATION

Name: Luke Moore **Registration:** E248781
Company name: Moore Power Electrical **Phone:** 09 215 6929
Email: info@moorepower.co.nz

WORK DETAILS

Date started: 15/05/2014 **Date completed:** 12/08/2014

Work has been done in accordance with: Part 2 of AS/NZS 3000 **Type of System:** 230/400 V MEN System

DESCRIPTION OF WORK DONE:

Owner has undertaken part of the electrical installation? NO

WORK INCLUDES

Mains
MEN Switchboard closest to point of supply
Main earthing system
Electric Lines

INSTALLED OR ADJUSTED

Number of Lighting Outlets 4
Number of Socket Outlets 1
Number of Water Heaters
Number of Emergency Lights
Number of Ranges

WORKERS UNDER SUPERVISION:

Nathan Tanner Jonothan Obrien Rob Dean

CERTIFICATION OF WORK

I certify the the completed prescribed electrical work to which this certificate applies, has been done lawfully and safely and the information in the certificate is correct in that the installation, or part of the installation:

- Has been installed in accordance with a certified design ✓
- Has an earthing system that is correctly rated ✓
- Contains fittings which are safe to connect to a power supply ✓
- Relies on supplier's Declaration of Conformity ✓
- Relies on manufacturer's instructions (attach or reference) ✓
- Has been satisfactorily tested in accordance with Electrical (Safety) Regulations 2010 ✓
- All parts of the installation are safe to connect to a power supply list, if NOT, please detail what parts ARE safe to connect ✓

Certified Worker's Signature:

Date:

Wednesday, September 17, 2014



THE BUILDING		
Street address: <i>26 Daffodil st</i>		
Suburb: <i>Titaraangi</i>		
Town/City: <i>Auckland</i>		Postcode: <i>—</i>
THE PROJECT		
Building consent number: <i>ABA-2014-838</i>		
THE OWNER(S)		
Name(s): <i>Philip and Monica Agres</i>		
Mailing address: <i>26 Daffodil st</i>		
Suburb: <i>Titaraangi</i>		PO Box/Private Bag:
Town/City: <i>Auckland</i>		Postcode:
Phone number:		Email address:
RECORD OF WORK THAT IS RESTRICTED BUILDING WORK		
PRIMARY STRUCTURE		
Work that is restricted building work Tick	Description of restricted building work If necessary, describe the restricted building work	Carried out or supervised Tick <input checked="" type="checkbox"/> whether you carried out the RBW or supervised someone else.
<input checked="" type="checkbox"/>	<i>Build new Nib for shower area.</i>	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
<input checked="" type="checkbox"/>	<i>Frame up new walls and line with Aqualine gibboard.</i>	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
<input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
<input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
<input checked="" type="checkbox"/>	<i>Gibboard</i>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
<input checked="" type="checkbox"/>	<i>Install Cavity Slider</i>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Damp proofing <input type="radio"/>	_____	<input type="radio"/> Carried out
	_____	<input type="radio"/> Supervised

Roof cladding or roof cladding system <input type="radio"/>	_____	<input type="radio"/> Carried out
	_____	<input type="radio"/> Supervised

Ventilation system (for example, subfloor or cavity) <input type="radio"/>	_____	<input type="radio"/> Carried out
	_____	<input type="radio"/> Supervised

Wall cladding or wall cladding system <input type="radio"/>	_____	<input type="radio"/> Carried out
	_____	<input type="radio"/> Supervised

Waterproofing <input type="radio"/>	_____	<input type="radio"/> Carried out
	_____	<input type="radio"/> Supervised

Other <input type="radio"/>	_____	<input type="radio"/> Carried out
	_____	<input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: Kelvin Laing LBP number: BP 114596

Class(es) licensed in: Carpentry

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: 5 Andros Place

Suburb: Glenfield Town/City: Auckland

PO Box/Private Bag: Postcode: 0632

Phone number: Mobile: 021-809-711

After hours: Fax:

Email address: buildtek@xtra.co.nz Website:

DECLARATION

I Kelvin Laing ~~carried out or supervised~~ the restricted building work recorded on this form.

Signature: K. Laing Date: 2/9/14

Notification of licensed building practitioner

ENTERED
J. SMITH

Auckland Council
Kāwhērea o Tāmaki Makaurau



The government has introduced new legislation known as restricted building work (RBW). These changes are designed to improve the quality of building work in New Zealand and to increase accountability and ongoing professional development of the building industry. The new rules apply to residential design and construction work that is critical to a building. As of 1 March 2012, RBW must be carried out or supervised by a licensed building practitioner (LBP). If RBW is involved in a project, it is the owner's responsibility to advise Council who the LBPs are and what work they are carrying out. This form serves as notification; alternatively this form can be completed electronically by visiting the building control home page at www.aucklandcouncil.govt.nz

TO BE COMPLETED BY THE PERSON SUBMITTING THIS RECORD

Owners name:

Phone number: Email address:

Relationship to the project: Owner LBP

BUILDING PROJECT DETAILS

Building consent N°:

Property address:

Area office:

LICENSED BUILDING PRACTITIONER (LBP) DETAILS

LBP's name:

Phone number: Email address:

Postal address: Postcode:

LBP N°: LBP license class:

Description of RBW:

Date LBP will start work:

Owner/LBP's signature: Date:

COMMERCIAL		
Installers Certificate for HVAC System	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Sprinkler System	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Automatic Doors	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Emergency Lighting	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Lift	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Manufacturers Certificate for Lift	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Independent Fire Systems Certificate	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Fire Alarm	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Fire Doors	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Product Certificate for Non-Slip Surface	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Manufacturers/Suppliers Certificate for Spread of Flame Index	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Manufacturers/Suppliers Certificate for Spread of Smoke Dev Index	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Suspended Ceilings	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
PLUMBING & DRAINAGE		
As-Built Drainage Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/> Required at <u>Final</u> Insp.
As-Built Drainage Pre-Floor	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Producer statement construction (PS3) Plumbing	<input type="checkbox"/>	<input checked="" type="checkbox"/> Required at <u>Final</u> Insp.
Producer statement construction (PS3) Drainage	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Engineers Cert. for Waste-Water Installation	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Producer statement construction (PS3) onsite wastewater	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Quality Assurance Certificate	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Licensed Cadastral Surveyors As-Built	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Backflow Preventer Test Certificate	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Installers Certificate for Backflow Preventer	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Water Saving Inventory Device	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Solar Heating Certificate	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Watercare Conditions	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
OTHER		
Application for Code Compliance Certificate	<input type="checkbox"/>	<input checked="" type="checkbox"/> Required at <u>Final</u> Insp.
Request for modification to B2 durability (CCC)	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
LBP Notification form for:	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.
Minor variation plan for:	<input type="checkbox"/>	<input type="checkbox"/> Required at _____ Insp.

To View - reflex Value & Final

Building Consent Number: *ABA2014/1838*

Inspectors Name: *e Wood*

ENTERED
S V I R E G I T

CERTIFICATES	Received	<input type="checkbox"/> Required at	Insp.
ENGINEERS			
Soil/Geotechnical Engineers (PS4) Certificate	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for Foundations (Structural))	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for Pile Driving	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for A/B Grade Masonry	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for Speciality Slab	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for Hardfill Compaction	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for Structural Framing	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for Concrete Structure	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers (PS4) Certificate for S/W Mitigation Devices	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers Certificate for Timber Pole Retaining Wall	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Engineers Site Observation Report	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
SURVEYORS			
Surveyors Certificate for Siting	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Surveyors Certificate for Height in Relation to Boundary	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Surveyors Certificate for Finished Floor Level (LINZ Datum)	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
WATERPROOFING			
Producer Statement construction (PS3) Water Proofing to <i>Bathroom</i> (state area)	<input type="checkbox"/>	<input checked="" type="checkbox"/> Required at <i>F-21</i>	Insp.
Applicators for Water Proofing to Decks	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Applicators for Water Proofing to Roof/Gutters	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Applicators for Tanking to Retaining Wall	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
TIMBER			
Manufacturers Cert. for Timber Treatment and Grading	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Manufacturers Certificate and Layout for Roof Trusses	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
CLADDING			
Applicators Certificate for Plaster Cladding	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Manufacturers Warranty for Plaster Cladding	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Applicators Certificate for Installation of Cladding	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
GENERAL			
Electrical Certificate	<input type="checkbox"/>	<input checked="" type="checkbox"/> Required at <i>F-21</i>	Insp.
Gas Certificate	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Glazing Certificate	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Installers Certificate for Barrier Installation	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.
Installers Certificate for Solid Fuel/Gas Heaters	<input type="checkbox"/>	<input type="checkbox"/> Required at	Insp.



Building Consent Status: Construction Review
Building Consent Issued: 27/06/2014

Property

Legal Desc LOT 93 DP 55504
Contact DAVE PEARSON ARCHITECTS
Address 26 Daffodil Street TITIRANGI
Description RES1: Bathroom addition.
LBP Carpentry K Laing
LBP Certificate of D Pearson
Work
Amendments

ABA-2014-838

Expiry Date:

Date	Event	Description	Officer	Status / Result / Reason
09/07/2050 00:00:00 16033/2014	CER Certificates	REFER TO PRE CCC FINDINGS		
16/09/2014 08:00:00 14138/2014	Residential Final	Certificates or Producer Statements Required: Customer would like the first inspection please * plese call customer to let hime to the time AM/ dog will be contained/ plans on site Contact Person: Andrew Willimet- builder Contact Number: 0217927882 Additional Information:	Alan Perich	Failed PPW
22/07/2014 10:00:00 14136/2014	Membrane Tanking	Certificates or Producer Statements Required: AM/PM Contact Person: Andy Willement --builder Contact Number: 021 792 782 Additional Information: Plans --dog on site -but very timid as per Andy	Carrick Wood	Passed Bathroom waterproofing to shower base / & walls and edge upstands concrete floor Galv angle in place PS3 & warranty required Notification of LBP received - Philip ayers #114596
08/07/2014 14:00:00 14135/2014	Framing	Certificates or Producer Statements Required: PM Contact Person: Andrew Site manager Contact Number: 021 792 782 Additional Information: POS no dogs	Carrick Wood	
08/07/2014 14:00:00 14137/2014	Plumbing	Certificates or Producer Statements Required: PM Contact Person: Andrew site manager onsite Contact Number: 021 792 782 Additional Information: POS no dogs	John Nicholls	
08/07/2014 00:00:00 16032/2014	Drainage	Certificates or Producer Statements Required:	Carrick Wood	Partial Pass Bathroom Sited ORG & W/C & Waste Pre exterior Note: To site relex Valeon 60m line as higher than ORG Interior 60m underslab bi shower & vanity pipe on test Internal non load bearing framing sited.

Residential final

checklist

Auckland Council
Te Kaunihera o Tāmaki Makaurau



DETAILS

Consent number: ABA-2014-838 Date: 16-9-14 Unit or level number: —
Address: 26 DAFFODIL ST, TITIRANGA
Inspector's full name: ALAN PERLETT Who attended: ANDREW WILLMENT *because*
Weather conditions: RAIN Site conditions: OK
 8am 10am 1pm 3pm Time units: 7.5 Chargeable No charge Partial Full
Consent involves RBW Yes No N/A LBP license checked and OK for this inspection Yes No N/A
Has work been completed in accordance with approved plans? Yes No (complete section below)

VARIATIONS

N/A (denotes not applicable)

Minor variations (AC2131); inspection may proceed. Documentation received Yes No
Has form AC2131 been completed Yes No If no then inspection is failed.
 Amendment; inspection may only proceed if building work does not affect this inspection. Formal amendment required.
CoW required from designer Yes No N/A RoW required from LBP Yes No N/A
Does the amendment affect this inspection? Yes No If yes, can inspection proceed? Yes No

INSPECTION RESULTS

Please tick the appropriate boxes

PASS denotes this inspection is in accordance with the building consent and building code. Work is complete.
 FAIL denotes inspection is not in accordance with the building consent and building code. Re-inspection required.

If the inspection fails, please issue a site instruction and record number: PENDING PAPERWORK

GENERAL

Are consented plans sighted? Yes No Is inspection for correct consent? Yes No
All previous inspections approved? Yes No Any applicable conditions/advice notes? Yes No
Any other site issues? (comments) Yes No

DOCUMENTATION

N/A

Pre CCC Findings available? Yes No Producer statement for solar/wetback? Yes No
Energy works certificate available? Yes No Swimming/spa pool (refer to pools team)? Yes No
Crossing or berm damaged? Yes No

Consent number: ABA-2014-838

Date: 16-9-14

BUILDING INTERIOR N/A

Dining room	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Family room	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Lounge/living room	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Study	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Bedrooms	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Hallways	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Rumpus room	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Stairs/balustrades/handrails	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Tenancy STC/IIC	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Fire/smoke separation	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Visual awareness	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Light/ventilation to habitable rooms	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Ceiling access	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Ceiling insulation	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Downlight clearance	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Glazing-markings	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Mechanical air inlets	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Smoke/fire alarms (test)	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A

BATHROOM N/A

Wall finishes sealed	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Floor finishes & containment	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Safety glazing (check markings)	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Window stays	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Waste traps vented	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Floor waste gully	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
WC/bath/basin/shower seals	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Non return valve to shower	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Extract fan vented to exterior	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Vermin proofing	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A

ENSUITE/BATHROOM N/A

Wall finishes sealed	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Floor finishes & containment	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Safety glazing (check markings)	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Window stays	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Waste traps vented	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Floor waste gully	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
WC/bath/basin/shower seals	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Non return valve to shower	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Extract fan vented to exterior	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Vermin proofing	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A

KITCHEN N/A

Wall finishes sealed	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Floor finishes & containment	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Waste traps vented	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Dishwasher/garbage	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Stove/hob clearance	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Extract fan vented to exterior	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Vermin proofing	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Floor waste gully	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A

LAUNDRY N/A

Wall finishes sealed	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Waste traps vented	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Floor finishes & containment	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Tub sealed and secured	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Extract fan vented to exterior	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Vermin proofing	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Floor waste gully	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A		<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A

HOT WATER N/A

Seismic restraints	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Tempering valve	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Safe tray	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	TPR & CW exp valve (test)	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Tundish & air gap	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Relief pipe	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Solar/Wetback	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Open vent	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Temperature (measure)	_____ °		

Consent number: ABA 2014-838

Date: 16-9-14

SOLID FUEL HEATER N/A

Installed to manufacturer's Spec. Pass Fail N/A Producer statement required Pass Fail N/A
Flue support Pass Fail N/A Seismic restraint Pass Fail N/A
Clearances (measure) Pass Fail N/A
Right Side _____ mm Front _____ mm Back _____ mm Left Side _____ mm

DECKS AND BALCONIES N/A SS means Stainless Steel Galv means Galvanised

Timber treatment Pass Fail N/A Timber size/spacing/span Pass Fail N/A
Connections SS or Galv (circle one) Pass Fail N/A Deck slope (2° min) _____ ° Pass Fail N/A
Waterproof membrane Pass Fail N/A Decking clear of membrane Pass Fail N/A
Outlet drain (size) _____ mm Pass Fail N/A Overflow drain (size) _____ mm Pass Fail N/A
Downpipes discharging clear of deck Pass Fail N/A Glass balustrade-markings Pass Fail N/A
Steps Pass Fail N/A Handrail height (measure) _____ mm Pass Fail N/A
Step down from interior (measure) _____ mm Pass Fail N/A
Barrier height (measure) _____ mm (1.0m min) Pass Fail N/A
Ballustrade gap (measure) _____ mm (100mm max) Pass Fail N/A
Deck wash down gap (measure) _____ mm (12mm min) Pass Fail N/A

ROOF N/A

Flashings Pass Fail N/A Spouting clearance Pass Fail N/A
Downpipes – size & fixing Pass Fail N/A Spreaders Pass Fail N/A

GARAGE N/A

Fire separation Pass Fail N/A Adequate weather seal Pass Fail N/A
Rebate to door Pass Fail N/A Downpipes – size & fixing Pass Fail N/A

RETAINING WALLS N/A

Type as per consent Yes No N/A Barrier required (over 1m) Pass Fail N/A
Timber treatment Pass Fail N/A Timber size/spacing/span Pass Fail N/A
Membrane/tanking (installed) Yes No N/A Subsoil drain to cesspit Pass Fail N/A

PERGOLA/CARPORT N/A

Timber treatment Pass Fail N/A Timber size/spacing/span Pass Fail N/A
Metal connections Pass Fail N/A Downpipes – size & fixing Pass Fail N/A

EXTERIOR N/A

External cladding integrity Pass Fail N/A Cladding painted Pass Fail N/A
Vertical & horizontal control joints Pass Fail N/A Penetrations sealed Pass Fail N/A
Window scribes Pass Fail N/A Base ventilation & access Pass Fail N/A
Flashings Pass Fail N/A Vermin proofing Pass Fail N/A
Floor clearance (measure) Distance from GL _____ mm Pass Fail N/A
Cladding clearance (measure) Distance from GL _____ mm Pass Fail N/A
Balustrades (measure) _____ m (100mm min) Pass Fail N/A
Handrail height (measure) _____ mm (900mm min 1m max) Pass Fail N/A

Consent number: ABA-2014-838 Date: 16-9-14

EXTERIOR (CONTINUED) N/A

Steps-stairs	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Secondary flow path	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Driveway/sealed areas	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Swimming/spa pool/fencing	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Haunching of gullies	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	ORG/Gully height	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Waste termination-support	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A	Vent cowls	<input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A
Cesspits - Ext. siphon	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Subsoil drainage	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Reflux valve	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A	Backflow prevention	<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A
Non return valve/air gap (secondary plumbing systems)			<input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A

COMMENTS

Specify area inspected BATHROOM ADDITION.

SIGHTED - BATHROOM FIXTURES
- SMOKE ALARMS
 Specify items inspected - GULLEY TRAP

ALL WORKS COMPLETED & PASSES FINAL VISUAL
INSPECTION, SUBJECT TO PROMSION & ACCEPTANCE
OF DOCUMENTATION AS PER CCC FINDINGS.

FAILED INSPECTION - PAPERWORK PENDING

NEXT INSPECTION PAPERWORK N/A

Membrane tanking

checklist

Auckland Council
Te Kaunihera o Tāmaki Makaurau



ENTERED
J. SMITH

DETAILS

Consent number: ABA 2014/838 Date: 22/7/14 Unit or level number: -
Address: 26 Daffodil St Taringa
Inspector's full name: L Wool Who attended: A.ely
Weather conditions: Fire Site conditions: Day
 8am 10am 1pm 3pm Time units: 6 Chargeable No charge Partial Full
Consent involves RBW Yes No N/A LBP license checked and OK for this inspection Yes No N/A
Has work been completed in accordance with approved plans? Yes No (complete section below)

VARIATIONS

N/A (denotes not applicable)

Minor variations (AC2131); inspection may proceed. Documentation received Yes No
Has form AC2131 been completed Yes No If no then inspection is failed.
 Amendment; inspection may only proceed if building work does not affect this inspection. Formal amendment required.
CoW required from designer Yes No N/A RoW required from LBP Yes No N/A
Does the amendment affect this inspection? Yes No If yes, can inspection proceed? Yes No

INSPECTION RESULTS

Please tick the appropriate boxes

PASS denotes this inspection is in accordance with the building consent and building code. Work can proceed.
 FAIL denotes inspection is not in accordance with the building consent and building code. Re-inspection required.

If the inspection fails, issue a site instruction and record number: _____

GENERAL

Are consented plans sighted? Yes No Is inspection for correct consent? Yes No
All previous inspections approved? Yes No Any applicable conditions/advice notes? Yes No
Any other site issues? (comments) Yes No

DOCUMENTATION

N/A

What type: Wet Seal Who installed: Robert Yett
Where installed: Bathroom How applied: Brush / Roller
Substrate for membrane inspection undertaken? Yes No Flood or flow test required? Yes No
Producer statement required? Yes No Warranty certificate required? Yes No

Consent number: ABA 2014/838 Date: 22/7/14

TANKING/MEMBRANE N/A

- | | | | |
|------------------------------|---|-------------------------------|---|
| Flood test holding | <input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A | Flow test adequate | <input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A |
| Upstand | <input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A | Bond breaker installed | <input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A |
| Penetrations sealed | <input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A | Overflow relief | <input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A |
| Sub-soil drainage | <input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A | Protection material installed | <input checked="" type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A |
| Ground clearances | (measure) _____ mm | | <input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A |
| Confirm falls | (measure) _____ ° | | <input type="checkbox"/> Pass <input type="checkbox"/> Fail <input type="checkbox"/> N/A |
| Cladding or lining clearance | (measure) _____ mm | | <input type="checkbox"/> Pass <input type="checkbox"/> Fail <input checked="" type="checkbox"/> N/A |

COMMENTS

Specify area inspected Bathroom

Specify items inspected Waterproofing to shower base /
Walls and edge Upstands
Concrete floor

Calc Angle in Place.

P/S3 & Warranty Required.

Notification of LBP received
Philip Ayers
114596

NEXT INSPECTION Final

Drainage

checklist



ENTERED

S. Vikash

DETAILS

Consent number: ABA 2014/1838 Date: 8/7/14 Unit or level number:
Address: 26 Daffodil St Titirangi
Inspector's full name: R. Wood Who attended: Analy Willmet
Weather conditions: Fine Site conditions: Dry
 8am 10am 1pm 3pm Time units: 8 Chargeable No charge Partial Full
Consent involves RBW Yes No N/A LBP license checked and OK for this inspection Yes No N/A
Has work been completed in accordance with approved plans? Yes No (complete section below)

VARIATIONS

N/A (denotes not applicable)

Minor variations (AC2131); inspection may proceed. Documentation received Yes No
Has form AC2131 been completed Yes No If no then inspection is failed.
 Amendment; inspection may only proceed if building work does not affect this inspection. Formal amendment required.
CoW required from designer Yes No N/A RoW required from LBP Yes No N/A
Does the amendment affect this inspection? Yes No If yes, can inspection proceed? Yes No

INSPECTION RESULTS

Please tick the appropriate boxes

PASS denotes this inspection is in accordance with the building consent and building code. Work can proceed.
 FAIL denotes inspection is not in accordance with the building consent and building code. Re-inspection required.

If the inspection fails, issue a site instruction and record number:

GENERAL

Are consented plans sighted? Yes No Is inspection for correct consent? Yes No
All previous inspections approved? Yes No Any applicable conditions/advice notes? Yes No
Any other site issues? (comments) Yes No

DOCUMENTATION

N/A

Maintenance contract required? Yes No Drains laid as per plan? Yes No
Progressive As built available? Yes No As built plans received? Yes No
Drainlayer's registration verified? Yes No
Drainlayer's name: Rob M. Belen Drainlayer's registration number: 21404
System used: AS/NZS 3500/G13/other:

Munier Nicholas Jore 17786

Consent number: NSA 2014/838

Date: 8/7/14

DRAINAGE FOULWATER N/A

PVC, clay, concrete (circle one)	<input checked="" type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Gradient _____%	<input checked="" type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Drain depth <u>100060</u> mm	<input checked="" type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Granular bedding	<input checked="" type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Inspection fittings	<input checked="" type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Drain test, air, water, smoke	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input checked="" type="checkbox"/> N/A
ORG or Gully trap	<input checked="" type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Connection to council drain	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Reflux valves <u>To View</u>	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input checked="" type="checkbox"/> N/A	Pumps, alarm, signage	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Manhole, chamber construction	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input checked="" type="checkbox"/> N/A	Water conservation devices	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Grease trap	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input checked="" type="checkbox"/> N/A	Septic tank and effluent field	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Drain vent	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input checked="" type="checkbox"/> N/A				

DRAINAGE STORMWATER N/A

PVC, clay, concrete (circle one)	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Gradient _____%	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Drain depth _____ mm	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Granular bedding	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Inspection fittings	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Drain test, air, water, smoke	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
ORG or Gully trap	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Connection to council drain	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Reflux valves	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Pumps, alarm, signage	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Manhole, chamber construction	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Connection to kerb/water course	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Retention or detention tanks	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A	Sumps/silt traps with external siphons	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A
Orifice size _____ mm	<input type="checkbox"/> Pass	<input type="checkbox"/> Fail	<input type="checkbox"/> N/A				

COMMENTS

Specify area inspected - Bathroom -

Specify items inspected Sitach ORG & of W/C & Waste Pipe exterior

Note To site reflux Valve on 60mm line as higher than ORG interior
60mm Underlay to shower & Vanity Pipe on test

Internal Non load Bearing Framing
Steel

NEXT INSPECTION Water-afiq

Code compliance certificate

Section 95, Building Act 2004
(Form 7 – Building (Forms) Regulations 2004)



Auckland Council
Te Kaurihera o Tāmaki Makaurau



THE BUILDING

Building consent number:	ABA-2014-838	Date building consent issued:	27-Jun-2014
Street Address of building:	26 Daffodil Street, TITIRANGI		
Legal description of land where building is located:	LOT 93 DP 55504		
Currently, lawfully established use:	Residential		
Year first constructed:	1972		

THE OWNER

Name of owner:	P J Ayers and M J Ayers		
Mailing address:	26 Daffodil Street, Titirangi, AUCKLAND 0604		
Street address/ registered office:	26 Daffodil Street, Titirangi, AUCKLAND 0604		
Phone Number: Landline:	N/A	Mobile:	027 451 9063
Daytime:	N/A	After hours:	N/A
Facsimile No:	N/A		
Email address:	Philip@advista.co.nz		

BUILDING WORK

The following building work is authorised by this building consent:

RES1: Bathroom addition.

CODE COMPLIANCE

The building consent authority named below is satisfied, on reasonable grounds, that:

- The building work complies with the building consent

On behalf of Auckland Council:		Date issued:	22-Oct-2014
Print name:	Ian McCormick	Position:	Manager, Building Control

Auckland Council, Private Bag 92300, Auckland 1142

Important information about the maintenance of your building



New Zealand is one of the few countries in the world that requires buildings and building components to last for specified minimum periods as part of legislation. It is therefore important that normal maintenance is carried out on buildings to ensure they meet legislative requirements.

Normal maintenance is defined as work that is necessary to achieve the expected durability periods for each building component. The frequency and nature of that maintenance will depend on the material or system, its geographical location and position within the building, and may involve the replacement of some components, which are subject to accelerated wear.

The Building Code (B2/AS1, clause 2) states that it is the responsibility of the person specifying (designing) the building elements to determine normal maintenance requirements. This information is usually contained within the specifications attached to your building consent. Maintenance requirements are often based on manufacturer's recommendations and may include the periodic inspection of elements that are not readily visible without special effort (e.g. access to the roof or sub-floor spaces).

Normal maintenance tasks include, but are not limited to:

- Regularly washing down external surfaces, especially those subject to wind driven salt spray
- Regularly cleaning internal surfaces, especially those subject to moisture (bathrooms, laundries, etc)
- Ensure your home / building is well-ventilated; open windows and clean air-extraction systems
 - Dampness encourages mould and mildew which can harm your health
- Ensure ground levels are maintained around the building and kept well below the cladding
 - Don't block subfloor ventilators or weep holes in brick veneer, they are there for a reason
 - Remove all moss, dirt, overgrown vegetation and obstacles
- Removing and cleaning water traps in showers to remove hair and other foreign matter
- Re-coating or painting interior and exterior surface finishes
- Replacing sealant, seals and gaskets in joints
- Replacing valves, washers and similar high-wearing components in service equipment and other building elements
- Cleaning and replacing filters in building services
- Cleaning out gutters and spouting
- Cleaning out cess pits and cut-off drains
- Regular servicing of boilers, cooling towers, lifts, escalators, emergency lighting and fire protection equipment
- Regular servicing of heating, ventilation and air-conditioning systems
- Cleaning and maintaining signs for access, escape routes, emergency equipment and hazardous areas

Maintenance does not include replacing or upgrading building elements to meet the demands of new technology or to increase the environmental expectations of users.

For more information about maintenance, please refer to the Consumer build website at <http://www.consumerbuild.org.nz/publish/maintenance.php>

22-Oct-2014

P and M Ayres
26 Daffodil Street
Titirangi
AUCKLAND 0604



Dear Sir or Madam

Building consent number: ABA-2014-838
Address: 26 Daffodil Street, TITIRANGI
Description: RES1: Bathroom addition.
Area office: Henderson

Code Compliance Certificate (CCC) approved

We refer to the building consent for the above described work. Please find attached your code compliance certificate issued under s.95 of the Act, which confirms the satisfactory completion of this project.

If you have any further queries regarding this matter, please contact the undersigned on (09) 301 0101 extn 42 8084 or email quoting the above building consent number.

Yours faithfully

Kathleen Handley
Process Support Administrator
BUILDING CONTROL- HENDERSON SERVICE CENTRE
Email: InspSupport@aucklandcouncil.govt.nz

CCC / CPU fees assessment



Building consent number:	ABA-2014-838
Project address:	26 Daffodil Street, TITIRANGI
Application type:	<input checked="" type="checkbox"/> CCC <input type="checkbox"/> CPU

Stage 1: Outstanding fees	Yes	No	N/A
Has Assessor's billable hours been completed and correctly charged?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Are there any additional systems to be charged	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has the BWOF building support officer flat fee been correctly charged?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has the compliance schedule been collected from BWOF officer?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is there a development contribution outstanding?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Have all inspection unit charges been broken down and calculated? (Show all workings on Pre-CCC findings fees section for checking purposes if required)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Have additional fees for addressing encumbrances been charged? If yes: \$	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Billable time for administration and/or billable time for processing charged?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Stage 2: Deposit paid	
Site inspections	\$ 520.00
CCC fee	\$ 112.00
Compliance schedule set up fee	\$
Compliance schedule features	\$
Other	\$
Other	\$

Stage 3: Additional charges

Fee for issuing each Notice to Fix	Nº: _____	\$
Fee for additional chargeable site visits	Nº: _____	\$
Refund of unused site inspections	Nº: <u>3</u>	\$ 405.00
Code compliance certificate		\$
Compliance schedule set up		\$
Compliance schedule features	Nº: _____	\$
CCC admin billable time		\$ 83.30
Assessor's billable time		\$ 93.81
Records		\$ 49.00
Encumbrances		\$
CPU		\$
Other		\$
Other		\$
Total balance of fees to pay:		\$ 0
Invoice:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Fees owing: \$
Refund:		\$
BS officer :	Kathleen Handley	Date: 22/10/2014

Debit Note

Auckland Council
 Private Bag 92300
 Auckland 1142
 09 301 0101

www.aucklandcouncil.govt.nz

WCC

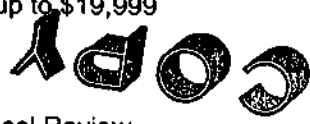
GST No. 104-736-998

P J Ayers
 26 Daffodil Street
 Titirangi
 AUCKLAND 0604

Customer number: 305840-1
 Debit note number: 1194981
 Debit note date: 22-Oct-2014
 Reference:

Application No. ABA-2014-838 **Location** 26 Daffodil Street, TITIRANGI
Description RES1: Bathroom addition.

Fee code	Fee description	Fee amount
ACINS	Building Inspection deposit	-520.00
ACCC1	Code Compliance Certificate value up to \$19,999	-112.00
ACADMN	Administration	83.30
ACDOCM	Document Management	49.00
ACINPR	Inspection Processing	405.00
ACCC4	Code Compliance Certificate Technical Review	93.81



This is an adjustment to a previous invoice

All items are GST inclusive unless specifically marked otherwise.

Payment is due immediately.

Total amount due \$-0.89

Please see overleaf for payment options

Remittance advice

To:

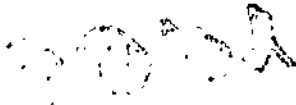
Auckland Council
 Private Bag 92300
 Auckland 1142
 New Zealand

WCC

For:

Application number: ABA-2014-838
 Customer number: 305840-1
 Debit note number: 1194981
 Debit note date: 22-Oct-2014

Total amount due \$-0.89



Payment options:																					
Internet banking / Direct credit	Log into your internet banking site and select "One off payments" and complete all the payee information as shown below.																				
	<table border="1"><tr><td>Payee name</td><td>Payee Account number</td><td></td><td></td></tr><tr><td>AUCKLAND COUNC</td><td>02-0192-0135259-04</td><td></td><td></td></tr><tr><td>Details to appear on payee statement</td><td></td><td></td><td></td></tr><tr><td>Particulars (Invoice/Debit Note No.)</td><td>Code (Customer Name)</td><td>Reference (Customer No.)</td><td></td></tr><tr><td>1194981</td><td>P J Ayers</td><td>305840-1</td><td></td></tr></table>	Payee name	Payee Account number			AUCKLAND COUNC	02-0192-0135259-04			Details to appear on payee statement				Particulars (Invoice/Debit Note No.)	Code (Customer Name)	Reference (Customer No.)		1194981	P J Ayers	305840-1	
	Payee name	Payee Account number																			
	AUCKLAND COUNC	02-0192-0135259-04																			
	Details to appear on payee statement																				
Particulars (Invoice/Debit Note No.)	Code (Customer Name)	Reference (Customer No.)																			
1194981	P J Ayers	305840-1																			
Please direct all remittance advices to direct.credit@aucklandcouncil.govt.nz																					
In person:	You can pay by cash, cheque, Eftpos or Credit Card (MasterCard or Visa) at Auckland Council Service Centres, a list of which can be found at www.aucklandcouncil.govt.nz . Credit card payments will incur a surcharge of 1.75 percent of your payment amount.																				
By post:	Send your cheque and remittance advice to: Auckland Council Private Bag 92300 Auckland 1142 To ensure payment is processed to your account, please include remittance advice.																				

CONSTRUCTION REVIEW FEE RECONCILIATION - lodged post 1 Nov 2010



Application Number: ABA-2014-838
Address: 26 Daffodil Street, Titirangi
Application Class: Res 1
Category description - project value: 3 - \$999

Inspection fees				
Number of 45 min inspections carried out	135.00	3	405.00	
Total time exceeding 45min inspection at rate:	112.00	0.00	0.00	
Total time exceeding 45min inspection at rate:	133.00	0.00	0.00	
Saturday surcharge fee	55.00	0	0.00	
Total Inspection charge			405.00	
Less Inspection deposit paid			520.00	
Total inspection fee - additional charge / refund				-115.00

Certificate of Public Use				
Number of 45 min inspections carried out	110.00	0	0.00	
Total time exceeding 45min inspection at rate:	112.00	0.00	0.00	
Total time exceeding 45min inspection at rate:	133.00	0.00	0.00	
Administration time at rate: (0.5hrs)	87.00	0.00	0.00	
Technical Review time at rate:	112.00	0.00	0.00	
Technical Review time at rate:	133.00	0.00	0.00	
Total CPU fees			0.00	
Less CPU deposit paid (\$395.00)				
Total CPU fee - additional charge / refund				0.00

Code Compliance Certificate Fees				
Administration time at rate: (as per project value)	98.00	0.85	83.30	
Document Management time at rate: (0.5hrs)	98.00	0.50	49.00	
Technical Review time at rate:	159.00	0.59	93.81	
Technical Review time at rate:	133.00	0.00	0.00	
Total CCC fees			226.11	
Less CCC deposit paid			112.00	
Total CCC fee: additional charge / refund				114.11

Other Fees	
Other fees yet to be invoiced (WaterCare)	0.00
Other unpaid invoices	0.00
Total other invoices:	0.00

Total to be: Paid prior to CCC issue / Refunded **-0.89**

Name: _____ Date: _____

CCC technical decision checklist



Pre-CCC Assessor			
Date of final inspection:	16-9-2014	Date technical decision started:	14-10-14
Year 1 st constructed:	1972	Date CCC requested:	10-10-14
Project complexity level:	Rcs 1	Assessor competency:	Com 3
Consent N ^o :	ABA 2014/838		
Amendments:	—		
Address:	26 Daffodil St Titirangi		
Description in Pathway is accurate:	YES	Updated	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Assessor's name:	Janica Morunga		

Instructions to BS for CCC with amendments – only apply option if YES box checked	<input type="checkbox"/> Yes
The following text must be inserted into the CCC- this information is written in the 'description of building work' field after generating the CCC but before finalising the document	

Instructions to BS for CCC involving staged consents – only apply option if YES box checked	<input type="checkbox"/> Yes
The following text must be inserted into the CCC - this information is written in the 'description of building work' field after generating the CCC but before finalising the document	

Instructions to BS for issue of CCC identifying applicable legislation – tick relevant legislation		
Relevant legislation	<input type="checkbox"/> BA91	<input checked="" type="checkbox"/> BA04

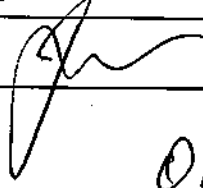
Instructions to BS for issue of CCC with B2 Modification – only apply option if YES box checked		<input type="checkbox"/> Yes
B2	<p><i>This code compliance certificate has been issued subject to a modification of Clause B2.3 of the New Zealand Building Code and determination number <insert number> (delete if not applicable). The modification has the effect that the required durability periods for building elements put in place in the course of the work carried out under this building consent, are to be measured from the date of substantial completion of the building work being the agreed date. The agreed date is (enter date of preline inspection or date of substantial / practical completion), not the date of issue of the code compliance certificate.</i></p>	

Development contribution payable	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
----------------------------------	--

Instructions to BS for issue of compliance schedule – only apply option if YES box checked		<input type="checkbox"/> Yes
The specified systems in the building are capable of performing to the performance standards set out in the building consent.	<input type="checkbox"/> Yes	
Attachments – AC1411 maintenance manual (ensure AC1411 attached to CCC)	<input type="checkbox"/> Yes	<input type="checkbox"/> N/A
Cooling tower register updated	<input type="checkbox"/> Yes	<input type="checkbox"/> N/A
Expiry date for new compliance schedule if <u>interim</u> compliance schedule being replaced		<input type="checkbox"/> N/A
The compliance schedule is to be kept at:		

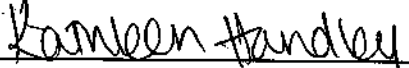
Records check – Regulation 16		On file	Missing	N/A
a.	Application for code compliance certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b.	Producer statements construction (if not applicable, please note)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c.	Energy works certificate gas / electrical (if not applicable, please note)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d.	Inspection checklists	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e.	Drainage as-built plans (if not applicable, please note)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f.	Copy of building consent conditions and advice notes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g.	Copy of notifiable inspections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h.	Application for building consent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i.	Lodgement application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
j.	Processing checklists	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
k.	Consent plans, specifications and reports	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
l.	Copies of all correspondence (RFI and responses)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
m.	Copy of PIM if applicable	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
n.	Copy of design memorandum	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o.	Copy of LBP records of work	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If documentation is missing, try and locate and record your actions in comment sections

Assessor final technical decision:			
Have all required items as described in the Pre-CCC findings been completed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Final inspection passed	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If no Pre-CCC findings completed (refer to exceptions AC1306), reasons recorded	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
If no final inspection performed by Council, PS3 / PS4 verified	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
CCC approved for issue	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Assessors signature:		JOHN NICHOLLS SENIOR PLUMBING & DRAINAGE INSPECTOR	Date: 14-10-14
COMMENTS: OK for CCC			

Supervision (name and signature)		<input type="checkbox"/> N/A
Supervisor:		Date:

If supervised, supervision form must be completed and forwarded to BCaudits@aucklandcouncil.govt.nz

Building support final issue:		On file	Missing	N/A
a.	Code compliance certificate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b.	Compliance schedule statement (if not applicable, please note)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c.	Code compliance certificate technical decision (this form)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
All items entered into the CCC template and actions completed; documents sent to scanning				<input checked="" type="checkbox"/> Yes
BS officer :		Date:	22/10/14	

Pre CCC findings



This checklist to be completed by Pre-CCC Assessor with the appropriate level of competency

Section 1: Preliminary

Date of final inspection:	16/09/2014 Tuesday	Date findings commenced:	15 September 2014
Project complexity level:	RES1	Assessor competency:	RES2, COM1
Consent N°:	ABA-2014-838		
Address:	26 Daffodil Street, TITIRANGI		
Description:	RES1: Bathroom addition.		
Associated amendments:	--		
Associated consents:	--		
Lawful use:	Housing		
Compliance schedule:	A compliance schedule is not required for this building		
All inspections except final completed:	Yes	N° of completed site visits:	2
Date of last recorded inspection:	ITK - 22/07/2014	N° of failed site visits:	--
Missing inspections: (code)	--		
Inspection waivers:	No		
Pool fencing inspection:	N/A		

Section 2: Documentation

Applications	Received	Required	N/A
Application for Code Compliance Certificate (AC2108)	✓	X	
Records of Work (RBW)	Received	Required	N/A
Walls (Kelvin Laing #114596)	✓	X	
Documentation / advice notes:	Received	Required	N/A
Summary sheet from consent book - site inspection records	TAKEV.	X	
Drainage as-built plan	<input type="checkbox"/> Stormwater <input type="checkbox"/> Sewer	X	
Plumbing	✓	X	
• Producer Statement Construction (PS3) for the plumbing (test)		X	
Electrical Work Certificate	<input type="checkbox"/> Record of inspections (high risk work)	X	
Waterproofing (Wet areas, roofs, decks, tanking, membranes)	✓	X	
• Wet Area Membrane (Wet seal): Producer Statement Construction (PS3) and Manufacturer's Product Warranty		X	

COMMENTS:

Customer contacted:	No	Method:	<input type="checkbox"/> Phone <input type="checkbox"/> Email	Date:	
Name of person contacted:					
CCC assessors name:	Tania Morunga			Date:	15 September 2014

Application for code compliance certificate



Section 92 (Building Act 2004)

Auckland Council

-6 OCT 2014

Henderson

The building consent

Building consent number: ABA - 2014 - 838 Date granted: 27/6/2014

Street address of building: 26 Daffodil Street, Titirangi

Issued by: Auckland Council

Current lawfully established use:

The compliance schedule (only complete this section if the buildings has had specified systems installed or removed)

Purpose group: _____ Occupancy No. _____ Highest fire hazard category: _____

Compliance schedule: New Amendment Ex. compliance schedule No. _____ Year first constructed: _____

Owner details (must be completed in full in all cases)

Owners name: (Include preferred form of address if an individual) Philip Ayres / Monica Ayres

Mailing address: 26 Daffodil St, Titirangi Postcode: _____

Street address / registered office: _____ Postcode: _____

Business phone: _____ After hours: _____

Facsimile number: _____ Mobile: Philip 027 451 9063

Email address: Philip@advista.co.nz

Evidence of ownership to the application (e.g. copy of certificate of title, lease agreement, agreement for sale and purchase or other document showing full name of legal owners of the building). Note only required if ownership has changed since the application for building consent was made:

Ownership changed: Yes No

Agent (only required if application is being made on behalf of the owner)

Contact person: Andrew Wilimont

Mailing address: 8 Ewen St, Takapuna Postcode: 0622

Business phone: 021 792 782 After hours: _____

Facsimile number: _____ Mobile: _____

Email address: andy@i-renovent.co.nz

Relationship to owner: Home contractor

Note: written authorisation must be provided when an application is made by an agent on behalf of an owner

First point of contact for communication with council (must be in New Zealand)

Full name: Andrew Whimont
Mailing address: 8 Ewen St, Takapuna Postcode: 0622
Business phone: 021 792 782 Mobile:
Facsimile number: Email address: andy@1-renoate.com

The personnel of licensed building practitioners (LBP) who carried out or supervised the restricted building work are as follows, continue on another page if necessary (applies as of 1 March 2012) (list names, addresses, telephone numbers, and (where relevant and if not provided above) licensed building practitioner numbers or Plumbers, Gasfitters and Drainlayers Board registration numbers)

Designer or Architect	Structural Engineer
Name: Dave Pearson	Name:
Address: 93 Victoria Rd	Address:
Daytime: 09 445 8544 After Hours:	Daytime: After Hours:
Mobile: 0274 972205 Fax:	Mobile: Fax:
Registration or LBP Registration No: 1236/1561	Registration or LBP Registration No:

Head Contractor / Site Manager	Building / Carpentry work
Name: Andrew Whimont	Name: Kelvinia Iaing
Address: 8 Ewen St, Takapuna	Address: 5 Andros Place
Daytime: After Hours:	Daytime: After Hours:
Mobile: 021 792 782 Fax:	Mobile: 021 809 711 Fax:
LBP Registration No:	LBP Registration No: BP 11 45 96

Drain layer	Plumber
Name: Rob McEhgan	Name: Nicholas Hayden Jones
Address: 15 Pitt Rd, Drury	Address: 69a Rathmar Drive, Manurewa
Daytime: After Hours:	Daytime: 0508 438758 After Hours:
Mobile: Fax:	Mobile: 021 463877 Fax:
Registration No: 21404	Registration No: 17786

Electrician	Gas Fitter
Name: Luke Moore	Name:
Address: 16 Grande Ave, Mt Albert	Address:
Daytime: 09 215 6929 After Hours:	Daytime: After Hours:
Mobile: 027 466 6737 Fax:	Mobile: Fax:
Registration No: E248 781	Registration No:

Foundation work	Bricklaying
Name:	Name:
Address:	Address:
Daytime: After Hours:	Daytime: After Hours:
Mobile: Fax:	Mobile: Fax:
LBP Registration No:	LBP Registration No:

Blocklaying

External plastering

Name:		Name:	
Address:		Address:	
Daytime:	After Hours:	Daytime:	After Hours:
Mobile:	Fax:	Mobile:	Fax:
LBP Registration No:		LBP Registration No:	

Roofing work

Other **Water proofing**

Name:		Name: Robert Watt	
Address:		Address: 114 Pomona Road, Kumerau.	
Daytime:	After Hours:	Daytime: 09 215 1336	After Hours:
Mobile:	Fax:	Mobile: 021 652803	Fax:
LBP Registration No:		LBP Registration No: 2308	

The building contains the following specified systems:

(Only complete this section if the building has had specified systems installed or removed during construction)

NB: If there are no specified systems in this building, please go to the last page and complete application.

Specified system	Inspection, maintenance & reporting standards (please list standard if not referenced)	System notification (tick as applicable)		
		New	Altered	Removed
1 Automatic systems for fire suppression				
1.1 Sprinkler system	<input type="checkbox"/> NZS4541:2007 <input type="checkbox"/> NZS4515:2009 <input type="checkbox"/> NFPA25 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1.2 Gas and foam flood or deluge systems; dry and wet fire extinguishing systems	<input type="checkbox"/> NFPA25 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2 Automatic or manual emergency warning systems for fire or other dangers				
2.1 Manual and automatic fire alarms; smoke / heat detectors; gas; radiation systems <input type="checkbox"/> Audible <input type="checkbox"/> Visual	<input type="checkbox"/> NZS4512:2010 <input type="checkbox"/> NFPA25 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.2 Automatic gas leak detection systems for the detection and measurement of combustible gases	<input type="checkbox"/> NZS5263:2003 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3 Electromagnetic or automatic doors or windows				
3.1 Automatic doors e.g. sliding or revolving doors Are doors interfaced with emergency warning system? <input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> NZS4239:1993 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.2 Access controlled doors (swipe card, key pad, sensor-delayed egress, etc)	<input type="checkbox"/> NZS4239:1993 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.3 Interfaced fire or smoke door or windows (electromagnetic door holders)	<input type="checkbox"/> AS4178:1994 <input type="checkbox"/> NZS4232:1988 <input type="checkbox"/> NZS4520:2010 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The building contains the following specified systems: (other fire safety features or systems)

Specified system		Inspection, maintenance & reporting standards (please list standard if not referenced)	System notification (tick as applicable)		
			New	Altered	Removed
4	Emergency lighting systems	<input type="checkbox"/> AS/NZS2293.2:1995 <input type="checkbox"/> NZS6104:1981 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5	Escape route pressurisation systems	<input type="checkbox"/> AS1851.6:2005 <input type="checkbox"/> AS1668.1:1998 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6	Riser mains for use by fire services	<input type="checkbox"/> NZS4510:2008 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7	Automatic backflow preventers connected to a potable supply	<input type="checkbox"/> AS/NZS2845:2010 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Lifts, escalators, travelators or other systems for moving people or goods within a building				
8.1	Passenger carrying lifts	<input checked="" type="checkbox"/> NZS4332:1997 <input type="checkbox"/> EN81:2003 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.2	Goods or service lifts	<input type="checkbox"/> NZS4332:1997 <input type="checkbox"/> EN81:2003 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.3	Escalators and moving walks	<input type="checkbox"/> EN115:2008 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9	Mechanical ventilation or air-conditioning systems Cooling tower installed <input type="checkbox"/> Yes <input type="checkbox"/> No Interfaced with fire alarm <input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> AS/NZS3666.2:2011 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10	Building maintenance units or other devices providing access to the exterior of a building	<input type="checkbox"/> BS6037.1:2003 <input type="checkbox"/> AS/NZS1891.4:2009 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11	Laboratory fume cupboards	<input type="checkbox"/> AS2243.8:2006 <input type="checkbox"/> NZS7203:1992 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12	Audio loops or other assistive listening systems				
12.1	Audio loop	<input type="checkbox"/> AS60118.4:2007 <input type="checkbox"/> NZS4121:2001 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12.2	FM radio frequency systems and infrared beam transmission	<input type="checkbox"/> AS60118.4:2007 <input type="checkbox"/> NZS4121:2001 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13	Smoke control systems				
13.1	Mechanical smoke control	<input type="checkbox"/> AS/NZS 1668.1:1998 <input type="checkbox"/> AS1851:2005 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13.2	Natural smoke control	<input type="checkbox"/> AS/NZS1668:1998 Part 1 <input type="checkbox"/> AS1851:2005 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The building contains the following specified systems: *(other fire safety features or systems)*

Specified system	Inspection, maintenance & reporting standards (please list standard if not referenced)	System notification (tick as applicable)			
		New	Altered	Removed	
13.3	Smoke curtains	<input type="checkbox"/> AS/NZS1668:1998 Part 1 <input type="checkbox"/> AS1851:2005 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Emergency power systems for, or signs relating to, a system or feature in any of the specified systems 1 - 13				
14.1	Emergency power systems installed for the purpose of supplying power to any of the specified systems 1 - 13	<input type="checkbox"/> NZS6104:1981 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.2	Signs for all systems	<input type="checkbox"/> NZS4121:2001 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	Any or all of the following systems and features, so long as they form part of a building's means of escape from fire, and so long as those means also contain any or all of the systems or features specified in clauses 1 to 6, 9 and 13:				
15.a	System for communicating spoken information intended to facilitate evacuation	<input type="checkbox"/> NZS4512:2010 <input type="checkbox"/> AS1851:2005 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15.b	Final exits	<input type="checkbox"/> AS/NZS2293.2:1995 <input type="checkbox"/> NZS4121:2001	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15.c	Fire separation	<input type="checkbox"/> NZS4520:2010 <input type="checkbox"/> NZS4232:1998 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15.d	Signs for communicating information intended to facilitate evacuation; and such signs as required by: • the NZBC (all systems); and • S.120 of the Act	<input type="checkbox"/> NZS4121:2001 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15.e	Smoke separation	<input type="checkbox"/> AS/NZS1688.1:1998 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16	Cable cars	<input type="checkbox"/> NZS5270:2005 <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: The compliance schedule must be kept in a location agreed to between Auckland Council and the Owner. The compliance schedule and the written reports obtained in accordance with the compliance schedule are to be kept at:

Application

All building work to be carried out under the building consent specified on this form was completed on _____


I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004

The code compliance certificate should be sent to Owner Agent

All consent related invoices/refunds to be billed and posted to: Owner Agent

Mailing address: 26 Daffodil St, Titirangi Postcode: _____

Name of person signing application: Andrew Williment

Signature:  Owner Agent Date: 26/9/14

Attachments (the following documents are attached to this application)

- Certificates from the personnel who carried out the work
- Memoranda from licensed building practitioners stating what restricted building work they carried out or supervised
- Certificates that relate to the energy work (e.g. gas and electrical certificates)
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent

Office only use

Receipt No:	
Deposit \$:	
CS No:	
Date:	

Area Office		
<input type="checkbox"/> Central	<input type="checkbox"/> Henderson	<input type="checkbox"/> Orewa
<input type="checkbox"/> Papakura	<input type="checkbox"/> Pukekohe	<input type="checkbox"/> Takapuna
<input type="checkbox"/> Manukau	<input type="checkbox"/> Compass	<input type="checkbox"/> MBC
<input type="checkbox"/> Professional		

Application

All building work to be carried out under the building consent specified on this form was completed on _____

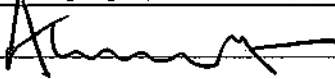
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Office only use

Receipt No:	
Deposit \$:	
CS No:	
Date:	

Area Office		
<input type="checkbox"/> Central	<input type="checkbox"/> Henderson	<input type="checkbox"/> Orewa
<input type="checkbox"/> Papakura	<input type="checkbox"/> Pukekohe	<input type="checkbox"/> Takapuna
<input type="checkbox"/> Manukau	<input type="checkbox"/> Compass	<input type="checkbox"/> MBC
<input type="checkbox"/> Professional		

As built drainage plan



Building Consent number: _____

DETAILS

Owner: _____

Mailing address:

26 DAFFODIL STREET, TITIRANGI

Postcode:

0604

Legal description of land where building is located: _____

Lot number: _____

DP number: _____

Drain-layer:

ROB McGEHAN

Registration number:

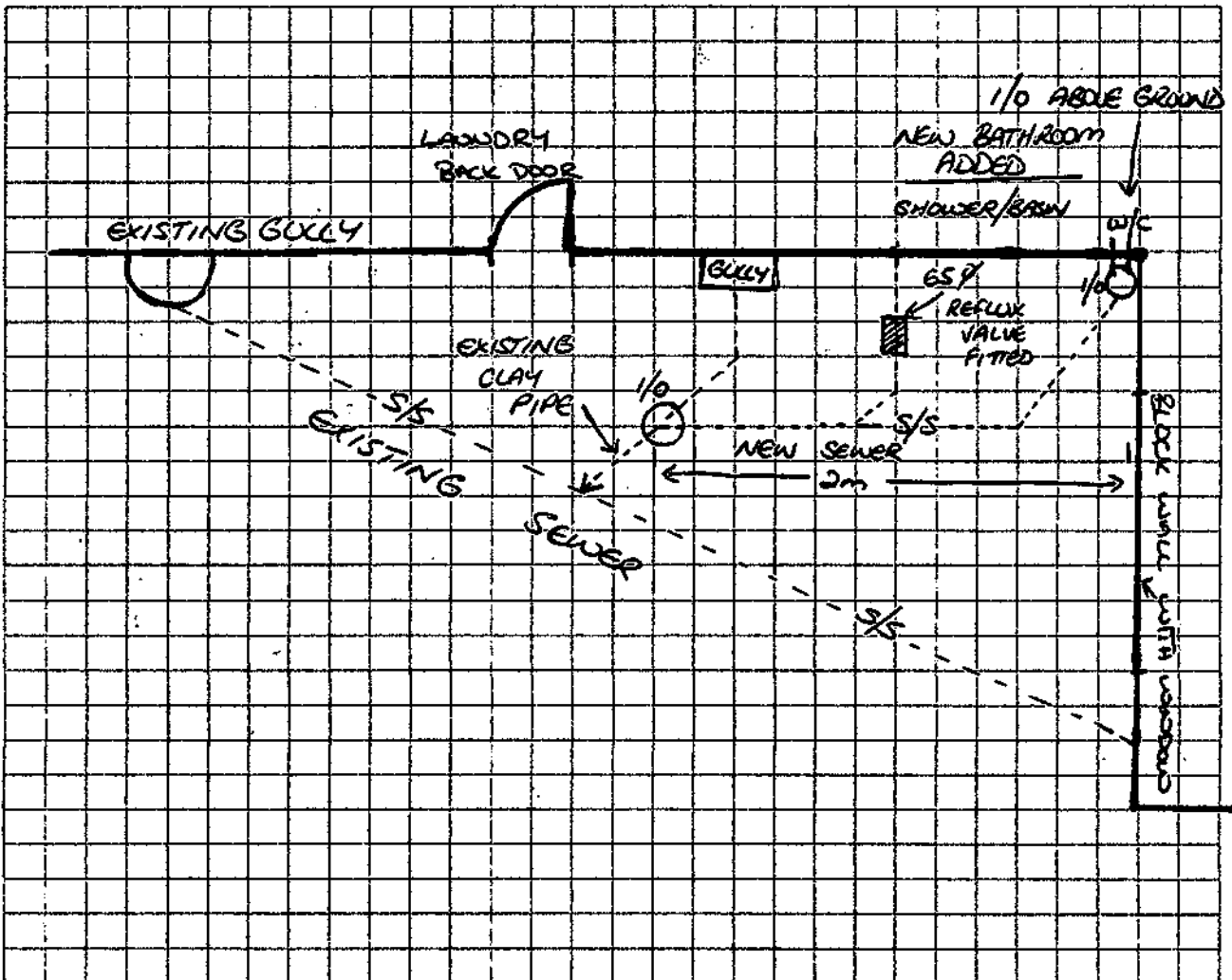
21404

Date submitted:

07 - JULY - 2014.

Note: Please provide figures/measurements from a defined point of reference.

Note: Use black ink for building outline. Denote stormwater as **SW** and sanitary sewer as **S/S**



Ref: Reg Pritchard
(Field Services) rjb

28 April 2009

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 26 Daffodil Street, TITIRANGI
LOT 93 DP 55504
SWP: SWIM-2000-9563

Further to our previous correspondence, the Council has received no notification that the work required at this property to achieve compliance with the Fencing of Swimming Pools Act 1987, has been carried out.

If you have not already undertaken the required work then I urge you to take immediate action to bring your pool fence up to a compliant standard.

Should you have any queries in relation to this matter please contact me urgently.

Yours faithfully

Reg Pritchard
POOL FENCING INSPECTOR
FIELD SERVICES

15 March 2012

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
AUCKLAND 0604

SWIM-2000-9563

Dear Owner/Occupiers

26 Daffodil Street, TITIRANGI

Swimming/Spa Pool Safety Inspection

A review of your swimming/spa pool is now due. An Auckland Council swimming pool inspector will be checking pool fencing in your area to ensure that your swimming pool/spa pool is fenced to a standard that meets the Fencing of Swimming Pools Act 1987.

Why pool fencing is important:

Pool fencing is an effective means of substantially reducing the risk of drowning for small children. Home pools are fun but it is the responsibility of the pool owner/tenant or those in charge of the pool to ensure the pool barriers are complying at all times. The Fencing of Swimming Pools Act 1987 exists to protect young children from the danger of accidental drowning, these have been substantially reduced since the introduction of the 'Act'. **We all need to work together to prevent a tragedy.**

What you need to do:

- If you wish to be present at this inspection or there is difficulty with accessing your property because of security gates, dogs etc, **please call this office on 4407479 on receipt of this letter** to arrange a convenient time to call.
- **Otherwise, if we have no response from you or it is too difficult to find a suitable time our inspector will inspect the pool in your absence and leave a note. The inspection will be followed up by a letter if the Council finds that your fence is not complying.**
- **Please Note**, there may have been changes to the fencing requirements since our last visit, these may affect your current compliance. Please use the enclosed information brochure to ensure your pool fence meets today's safety standards or ring the above phone number to talk to one of our pool inspectors.
- Carry out any remedial work required **before our visit**, this will save any repeat inspections that may incur an inspection fee (see information over)

FEE RATES

First inspection **free** of charge if pool fencing complies.

Any further inspections required will be charged at the current advertised rate. This information is available of our website www.aucklandcouncil.govt.nz

IMPORTANT:

If work on your pool area is required, a recheck inspection will take place at approximately the time noted on your inspection form. (Usually 21 days)

Yours faithfully,

pp

Wolfgang Nethe
Team Leader Compliance & Enforcement
Henderson Service Centre
Auckland Council

4 March 2015

P J Ayers
26 Daffodil Street
Titirangi
AUCKLAND 0604

Dear Sir or Madam

Letter of intent to carry out inspection of pool fencing

Swimming pool number: SWIM-2000-9563
Address: 26 Daffodil Street, TITIRANGI
Area office: Henderson Service Centre

This letter is to advise your swimming pool fencing inspection is now due; there is no charge for this inspection. However, **any additional inspections we may have to undertake are chargeable**; therefore it is important that you carry out any remedial work before our visit.

Under the Fencing of Swimming Pools Act 1987 (**the Act**) it is the responsibility of the owner or person in control of a pool to ensure that swimming (and spa) pools are fenced in accordance with the Act.

Furthermore, Council is obliged to take all reasonable steps to ensure that all swimming pools are fenced. Auckland Council maintains a register of pools and undertakes inspections of all pools on its register about every 3 years

The purpose of the Act is to promote the safety of young children in and around pool environments by requiring the fencing of certain pools.

We have developed some guidance information to assist you:-

- refer to enclosed brochure setting out your responsibilities explaining pool fencing requirements; or
- search the Auckland Council website key word 'swimming and spa pools'

If you wish to be present and fix a time for this inspection, or there is difficulty with accessing your property because of security gates or dogs, please contact the undersigned on **(09) 484-7237** or email quoting the above swimming pool number. If you do not arrange a time, our inspector will attend an inspection within the month.

Yours faithfully

Christine Beatson
Senior Building Support Officer
BUILDING CONTROL - TAKAPUNA SERVICE CENTRE
Email: poolsnorthwest@aucklandcouncil.govt.nz

05 April 2012

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
AUCKLAND 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 26 Daffodil Street, TITIRANGI
LOT 93 DP 55504
SWP: SWIM-2000-9563 **Swimming Pool Secondary Spa
Pool fenced within same area**

I am writing to advise you that after an inspection of your Swimming and Spa pool on 05 April 2012 the Swimming/Spa pool fencing was confirmed as being in accordance with the Fencing of Swimming Pools Act 1987.

Council will re-inspect the property's pool fencing in approximately three (3) years in order to ensure that it still meets the requirements of the Act.

Should you intend to carry out any work on the pool fence, or any other work on the pool which may affect the pool fencing prior to the next inspection, please ensure that you notify Council of any such proposal.

Yours faithfully

Reg Pritchard
Swimming Pool Inspector
Auckland Council
Western Building Control
Ph 4407549
Mob 021 895 723

Ref: Reg Pritchard
(Field Services)

14 May 2009

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

SITE ADDRESS: 26 Daffodil Street, TITIRANGI
LOT 93 DP 55504
SWP: SWIM-2000-9563

I am writing to advise you that after an inspection of your Swimming/Spa pool on 12 May 2009 the Swimming/Spa pool fencing was confirmed as being in accordance with the Fencing of Swimming Pools Act 1987.

Council will re-inspect the property's pool fencing in approximately three (3) years in order to ensure that it still meets the requirements of the Act.

Should you intend to carry out any work on the pool fence, or any other work on the pool which may affect the pool fencing prior to the next inspection, please ensure that you notify Council of any such proposal.

Yours faithfully

Reg Pritchard
Pool Fencing Inspector
FIELD SERVICES

Ref: Reg Pritchard
(Field Services)

30 March 2009

D J Thomson and L B Franks and I J Thomson
26 Daffodil Street
Titirangi
WAITAKERE 0604

Dear Sir/Madam

FENCING OF SWIMMING POOLS ACT 1987

**STREET ADDRESS: 26 Daffodil Street, TITIRANGI
LOT 93 DP 55504
SWP: SWIM-2000-9563**

In keeping with Council's regular pool fencing inspection programme a recent inspection of the property has been carried out and has revealed that the pool fence does not currently comply with the requirements of the Fencing of Swimming Pools Act (The Act). Consequently you are required to bring the pool fencing up to the legal requirement by carrying out the work described on the attached page. Please feel free to contact me to discuss these requirements if you need any further information.

Unfortunately the Act does not grant a pool owner any time at all to comply, continuous compliance being the requirement. Therefore I urge you to take immediate action to bring the pool fence up to standard.

Immediate compliance can be achieved by reducing the water level in the pool to a depth of 400mm or less. However with some pools there may be a risk to the structure of the pool if it is emptied. Consequently please check with the pool manufacturer, supplier and installer or engineer before embarking on this course of action.

It is important to realise that you must carry out all the items of work necessary to achieve the proper fencing of the pool in the manner defined by the Act before the pool is available for any further use. As previously mentioned details are provided on the attached page.

Upon completing the required works, please request Council to re-inspect the pool by returning the enclosed form and inspection fee of \$155.00. This charge is in line with our Regulatory Fees and Charges (2008/2009) and is effective to 30th June 2009. Should your re-inspection be carried out after this date please contact our Call Centre for updated re-inspection fees. (It is Council's policy that the pool owner must carry the cost of re-inspecting non-complying swimming/spa pools.)

For your further information, the relevant section of the Fencing of Swimming Pools Act is as follows:

8 *Obligations of owner and persons in control of pool*

- (1) Every owner of a pool to which this Act applies shall ensure that, except as provided in any exemption granted under section 6 of this Act, the pool, or some or all of the immediate pool area including all of the pool, is fenced by a fence that complies with the requirements of the [building code in force under the Building Act 2004 in respect of swimming pools subject to this Act] at all times when this Act applies in respect of the pool.*
- (2) Every owner of a pool to which this Act applies shall comply or ensure that there is compliance with every condition imposed under section 6(2) of this Act.*
- (3) Every person who has possession of this property on which any pool to which this Act applies is situated shall ensure that the pool is not filled or partly filled with water at any time when the person knows or could reasonably be expected to know that any obligation imposed by this section on that or any other person is not complied with.*
- (4) The fact that a person complies with any obligation imposed by this section shall not excuse that person from any other duty imposed by law.*

Should you have any queries in relation to this matter please feel free to contact me.

Yours faithfully

Reg Pritchard
Pool Fencing Inspector
FIELD SERVICES

30 March 2009

26 Daffodil Street, TITIRANGI
SWIM-2000-9563

Work Required.

- 1) Ensure that the Swimming/Spa pool gate is self closing and self latching from a stationary measured distance of 150mm.
- 2) A latching device must be fitted at either 1.2m if located on the inside of the gate, and if accessible only by reaching over the gate (not accessible through the gate), or 1.5m if located outside the gate e.g. raise the height of the existing latch to a minimum height of 1.5m. See photos.
- 3) Raise the height of the Swimming pool gate to a minimum height of 1.2m.
- 4) Either add extra vertical rails (in between existing rails) or cover the outside of the Swimming pool fence that abuts the Swimming pool gate for a minimum distance of 1.2m to eliminate the foot holds in the abutting fence. See photo.
- 5) Remove all items not associated with the use of the Swimming/Spa pool from within the immediate Swimming/Spa pool area, i.e., clothes lines, gardening equipment, general storage etc e.g. children's play equipment: - swing set and trampoline etc.
- 6) The large gap trellis, greater than the maximum 50mm, is to be replaced or covered with an approved material (shade cloth etc) e.g. trellis fence abutting the spa pool fence. See photos.
- 7) Ensure that any other fences or handrails etc., which abut the Swimming/Spa pool fencing, are a minimum height of 1.2m and are un-climbable for a minimum distance of 1.2m from the point where they abut the Swimming/Spa pool fencing, i.e., would themselves comply with the Act e.g. cover the outside of the South-Western Swimming pool fence (Steel Modwine fence) for a minimum distance of 1.2m back from where it abuts the panel / trellis fence. See photo.

“Should you require any further advice or information with regards to the items of work prescribed, please do not hesitate to contact the writer at your earliest convenience.”



Waitakere City Council
Te Taiao o Waitakere

Registration or Re-inspection of Swimming Pool or Spa Pool for Compliance of Pool Fencing Pursuant to the Fencing of Swimming Pools ACT 1987.

<p>Send to: The Operational Compliance Manager Waitakere City Council Private Bag 93109 Henderson WAITAKERE 0650 Attention: Field Services</p>	<p>For more information: Waitakere City Council Waitakere Central 6 Henderson Valley Road Henderson WAITAKERE 0612 Telephone: (09) 839-0400 Facsimile: (09) 836-8001</p>
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SWP Number: <u>SWIM-2000-9563</u>	
Building Consent Number:	
I/We request the pool/spa at the address given below be: (Tick <input checked="" type="checkbox"/> appropriate box)	
A. Registered <input type="checkbox"/>	B. Inspected <input checked="" type="checkbox"/>
Applicant / Owners Full Names (s): D J Thomson and L B Franks and I J Thomson	
Contact Phone Number	
Site address: 26 Daffodil Street, TITIRANGI	

Address for Correspondence: _____

Dog on site	YES <input type="checkbox"/>	NO <input type="checkbox"/>
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- Swimming Pool Spa Pool
 In ground Above ground In deck On deck
 Other (state where):

The following arrangements have been made for the security of the pool.

Registration fee payable:

Inspection / re-inspection fee payable:

Receipt number: _____

Date paid _____

SWP20026286 Swimming pool fencing Inspection
Inspection checklist outcome statement 09-05-2022

Inspection Address : 26 Daffodil Street Titirangi, 1 Waerenga Place
Titirangi



Important Note: The following inspection checklist must be read in conjunction with the Auckland Council Inspection Code of Practice where individual line items have been defined to support reasons for decisions. N/A means Not Applicable (not part of this inspection)

* Indicates a photo has been taken in relation to a particular line item

Inspection Details	
Inspection Type Code	Swimming pool fencing(SWP)
Date of inspection	09-05-2022
Start time	10:10:00
Does the checklist need to be completed?	Yes


Checklist Item	Result	Comment
Choose method of determining compliance	FOSPA	
FOSPA- type of pool as per Council records	Pass	
Type of pool	In ground,In ground spa	
Pool fencing area as per previous inspection/ plans and defines the immediate pool area	Pass	*
Immediate pool area free from non-pool associated activities	Pass	
Pool fencing minimum 1.2m height above and away from (in an arc) ground level or any permanent projections	Pass	*
Fencing horizontal rails and climbable features are at least 900mm apart (i.e barrier has 900mm no climb zone)	Pass	
Gaps under or through the fence < 100mm dia sphere	Pass	
Steel wire mesh max openings 13mm. If openings 13-35mm height to be 1.8m. No openings greater than 35mm	Pass	Mesh cloth fixed to adjoining trellis
Boundary fence min height and no climb zone	N/A	
Balcony / deck > 2.4m above pool area- barrier 1m min height. < 2.4m- barrier 1.2m min height.	N/A	
Returns/solid barriers installed to prevent climb arounds	Pass	
Gate swings away from pool, self closes and self latches from 150mm open	Pass	One gate
Gate swings clear of anything that may prevent the gate from closing	Pass	
Latch 1.5m above ground/permanent projection.Or only accessible by reaching at least 1.2m and over or through the gate	Pass	
Doors self latch and self-close with latch at 1500mm height?	N/A	
Doors self latches and fitted with an audible warning device	N/A	
Doors fitted with a top bolt or latch at 1500m if approved before 2017	Pass	Sliding door to have top lockable bolt fixed back in place
"SWIMMING POOL - CLOSE DOOR" sticker displayed between 1200mm and 1500mm	Pass	Sticker provided
Window less than 2.4m above pool area	N/A	
Fencing subject to FOSPA section 6 "exemption" or F9 modification	N/A	

LBP Name (if applicable)	LBP Number	LBP Class
Not applicable to this inspection.		

Documents required	Comment
Not applicable to this inspection.	

Minor Variation Description (if applicable)	Outcome	Outcome reason / Comment
Not applicable to this inspection.		

Inspection Summary	
Fail Comments	Not applicable to this inspection.
Additional Comments	<p>Please note the sliding door requires a top lockable bolt (child proof lock). To be fitted by the next audit.</p> <p>Your pool fencing inspection has passed. Please continue to maintain the safety and compliance of your pool barrier until your next 3 yearly inspection. Contact details - (09) 353 9143; https://www.aucklandcouncil.govt.nz and search "pools"</p>
Inspection Outcome	Pass
Person on site (name)	Alison Dyer 0210602604
Inspection outcome statement recipient email	alisonhjdye@gmail.com
Inspector's name	Farley Makaea
Inspector's email	FARLEY.MAKAEA@AUCKLANDCOUNCIL.GOV.NZ
Inspectors phone number	+64 27 675 2984
Inspection duration (minutes) Note- Time may be added for travel and additional processing (eg minor variations)	30

Photos	
<p>Pool fencing area as per previous inspection/ plans and defines the immediate pool area</p>	

Pool fencing area as per previous inspection/ plans and defines the immediate pool area



Pool fencing area as per previous inspection/ plans and defines the immediate pool area



Pool fencing area as per previous inspection/ plans and defines the immediate pool area



Pool fencing minimum 1.2m height above and away from (in arc) ground level or any permanent projections



Mesh cloth fixed to adjoining trellis



Pool fencing minimum 1.2m height above and away from (in an arc) ground level or any permanent projections



Pool fencing minimum 1.2m height above and away from (in an arc) ground level or any permanent projections



Pool fencing minimum 1.2m height above and away from (in an arc) ground level or any permanent projections



5 June 2018

Philip James Ayers
26 Daffodil Street
Titirangi
Auckland 0604

Dear Sir/Madam

Swimming pool number: SWP20026286
Address: 26 Daffodil Street Titirangi, 1 Waerenga Place Titirangi
Area office: Henderson

**Letter of intent to carry out inspection of pool barrier
Your 3 yearly pool inspection is due**

Nationwide Legal Requirements

Under the Building Act (2004), inspections to barriers for residential swimming pools are required to be carried out every three years. It is the responsibility of the owner and/or occupier to ensure that every residential pool that is filled or partly filled with water has physical barriers that restrict access to the pool by children under the age of five.

Inspection Options

Pool owners can choose who will inspect their pool barrier; this may be Council or a private inspector registered with the Ministry of Business, Innovation and Employment. A list of registered pool inspectors can be found online at mbie.govt.nz.

If within 14 days we have not received your notification that a private inspector is to inspect your pool barrier we will automatically schedule a visit from a council inspector to ensure compliance. If we visit your property the council inspection fee will apply. If we are unable to access your pool area when we visit your property the inspection fee will still apply.

Council Inspection Fees

The pool barrier inspection fee is \$126.00 per inspection. Keep your costs down by ensuring your pool barrier complies and passes its first inspection. Please refer to the guidelines overleaf to check your pool barrier prior to inspection.

Accessing your pool

If you wish to be present for the inspection or if your property is difficult to access (dogs, security gates etc.), please contact us to arrange safe access for our inspector.

What should I do now?

- Call the relevant number or email below to advise us if you are using an independent inspector or if you wish to book another time for an inspection by Council. The inspection must occur within the next two months.
- Check your pool fence using the information overleaf to make sure your pool barrier passes first time avoiding repeat inspection fees.

Pools North West Support Team

DDI: 09 484 7237

poolsnorthwest@aucklandcouncil.govt.nz

Pools Central South Support Team

DDI: 09 353 9143 or 09 353 9120

pools@aucklandcouncil.govt.nz

Yours faithfully

Pool Compliance
Building Support Team
BUILDING CONSENTS

Pool Barrier Self Check List

Fence

- Must be at least 120cm high and 120cm away from outside ground level or other object placed on the ground including tree branches, retaining walls etc.
- Must not have any gaps under or in the fence more than 10cm
- Watch out for changes in ground and fence level where the lowest part of the fence might be too low
- Must not have horizontal rails or climbable features closer than 90cm apart
- Mesh size 13mm max or 35mm max if fence is at least 1.8m high.

Gates

- Latch at 1.5m high
- Must self-close from 15cm open
- Must self-latch when closed
- Must not be propped open
- Must comply with the rules for fences.

Doors and windows

- Windows less than 1m from floor level must be restricted to 10cm opening
- Doors, depending on when they were installed, may be required to self-close
- Doors must have a latch (if self-closing) or slide bolt at least 1.5m from floor level

Immediate Pool area

- The pool fence should only contain items and activities that are pool related.
These may include:
 - BBQs, tables and chairs, diving boards, changing facilities.
- but not:
 - clotheslines, vegetable gardens, dog kennels, children's play equipment or pedestrian access through the pool area for unrelated activities e.g. access to your front door.

General

- If the council has your pool recorded as empty, contact council for an inspection before refilling it
- Portable and inflatable pools that hold 40cm depth of water or more are required to have a fence by law
- Other portable pools should be supervised at all times and emptied after use

Is your spa exempt?

If you have a small heated pool (spa) it may be exempt from inspections. Please google "NZ AC1814" to review Auckland Council's guidance document. If you think that your pool meets the criteria for exemption, please email us a photo for review.

2 August 2018

Philip James Ayers
26 Daffodil Street
Titirangi
Auckland 0604

Dear Sir/Madam

Swimming pool number: SWP20026286
Address: 26 Daffodil Street Titirangi, 1 Waerenga Place
Titirangi
Area office: Henderson

Access required for inspection of residential swimming or small heated pool

Our records show that an inspection of your swimming or small heated pool barrier is now due.

On the 2nd of July, an inspector attempted to inspect your pool barrier but was unable to access your property.

Under the Building Act 2004 (the Act) it is the responsibility of the owner or the pool operator to ensure that every residential pool that is filled or partly filled with water has physical barriers that restrict access to the pool by unsupervised children less than 5 years of age.

The Act also places an obligation on Auckland Council (the Council) to take all reasonable steps to ensure that residential and small heated pools have suitable barriers to restrict unsupervised children under 5 from accessing the pool and includes undertaking a 3 yearly monitoring and inspection programme.

Please urgently contact our booking team on (09) 353 9143 to arrange a suitable time for an inspection of your pool barrier.

If you are unable to be present during this inspection, please advise whether our inspectors might encounter any difficulties accessing your property due to security gates, alarms, dogs, etc.

Yours faithfully

BUILDING CONTROL

Swimming Pools Team